

CANYON CREEK SPECIFIC PLAN AMENDMENT NO.3



Prepared For:

City of Lake Elsinore
May 2005

EXHIBIT 'E'
PC 6-21-05

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CANYON CREEK

SPECIFIC PLAN AMENDMENT NO. 3

MAY 2005

CITY OF LAKE ELSINORE

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I. INTRODUCTION

A. PURPOSE AND SUMMARY

The Specific Plan for the Canyon Creek Properties will fulfill the City of Lake Elsinore requirements for a Specific Plan. The Specific Plan process establishes a procedure for an orderly and comprehensive approach for the planning and implementation of medium scale development projects containing several land uses in phased construction.

The initial procedure in the City's Specific Plan process was a conference with the City staff for the purpose of discussing the overall magnitude of the project, the anticipated impacts and the City requirements which would be implemented to assure that an optimum development was planned. The initial meetings with the staff of the City of Lake Elsinore were held during the months of July and August of 1984.

The Specific Plan document formalizes the information discussed at the initial conferences with the City staff, and provides for the required mechanisms to assure that the planned development falls within the General Plan and Zoning regulations of the City of Lake Elsinore. The Specific Plan establishes the type, intensity, location and interrelationships of the various land uses proposed. The infrastructure systems needed to support the project are defined and the circulations system is established so that it may serve the project for both the residential and commercial uses. In addition to the infrastructure systems of water, sewer, drainage and circulation, other public service needs identified including police, fire, and public health and safety needs.

The Specific Plan procedure establishes the guidelines for the implementation of the ordinances of the City of Lake Elsinore as well as the General Plan. Long-range community and City needs are considered and provided for with particular emphasis on aesthetic planning and the optimization of recreational opportunities. The Specific Plan identifies desirable intensities of land uses as well as open space areas that will be preserved. Development standards are established as well as architectural review procedures to assure that each successive phase of the development implements the intent of the Specific Plan.

Canyon Creek Specific Plan Amendment No. 1 (2000)

The original Canyon Creek Specific Plan was approved in June 1985 and contained two noncontiguous Planning Areas (PA) with no nomenclature to identify or distinguish between the two separate parcels. In 2000, the first amendment to the Canyon Creek Specific Plan was approved to allow 32 acres to be removed from the Specific Plan. A second application was filed to amend the Specific Plan but was

withdrawn. Therefore, the new amendment is No. 3 to the Canyon Creek Specific Plan.

Canyon Creek Specific Plan Amendment No. 3 (May 2005)

Canyon Creek Specific Plan Amendment No. 3 is being proposed to amend the northern parcel of the Specific Plan, which will be referred to as the La Strada Planning Area or PA 2 (see General Plan Map, Exhibit 15). All references to the amendment, Amendment No. 3, SPA, PA 2 or the La Strada Planning area contained herein shall refer to the proposed May 2005 Canyon Creek Specific Plan Amendment No. 3.

The proposed amendment will establish the developable area in PA 2 which is approximately 64.5 acres and a remainder parcel of approximately 75.5 acres that will be donated to the City of Lake Elsinore, Western Riverside County Regional Conservation Authority (RCA) or other appropriate agency. All references herein to the remainder parcel shall refer to the approximately 75.5 acres of land that will be donated to the City or other appropriate resource agency.

The Canyon Creek Specific Plan Amendment No. 3 also provides detailed design guidelines and standards, including architectural and site planning criteria that will ensure a comprehensive approach to development within PA 2.

Amendment No. 3 will create neighborhood designs that integrate architecture, site planning and landscaping. A comprehensive, conceptual master landscape plan has also been developed for PA 2 that will ensure adequate active and passive open space areas, recreational amenities and connections throughout the community. The master landscape plan will also result in unique landscaped streetscapes that will identify PA 2, and yet, be complimentary to the adjacent Tuscany Hills development.

B. MUNICIPAL JURISDICTION

The City of Lake Elsinore retains the jurisdiction over the planning of the Canyon Creek properties by virtue of the California Government Code §§ 65450-65507. These sections of the Government Code empower the City of Lake Elsinore City Council to determine the appropriate level of development that will be realized within the Canyon Creek Community. The Lake Elsinore City Ordinance 654 identifies the process for the adoption of a Specific Plan following appropriate land use planning, public hearings, environmental assessment and identification of implementing fee requirements. The City Council will take the necessary actions to adopt zoning, building and grading ordinances which will be supportive of the proposed Specific Plan.

C. PROJECT LOCATION AND DESCRIPTION

The planning process for the Canyon Creek properties was initiated in June 1984. A preliminary development feasibility study established that a market exists for medium priced housing units within the Lake Elsinore area. The feasibility study also determined that the most desirable product was a single family unit which would be detached. The proposed project includes 1,100 units on 491 acres. These residential dwelling units will be supported by 17.5 acres of commercial uses, 17.5 acres of community park areas, and approximately 235 acres of open space terrain. The Planning Commission and the City Council has approved a General Plan density of 2.0 - 3.0 dwelling units per acre. The Specific Plan includes numerous community considerations including public playing fields and soccer field, solar orientation of units, underground utilities, community street tree system, cable television, low-maintenance community parks and regional recreation opportunities and trails.

Canyon Creek Specific Plan Amendment No. 3

An updated fiscal impact report (FIR) was conducted on December 6, 2004 for Amendment No. 3 to the Canyon Creek Specific Plan. The FIR assessed 133 detached single family units with a minimum lot size of 5,000 square feet. The FIR concluded that the La Strada Planning Area would result in a positive fiscal impact on the City at project build out. One additional lot would not change the analysis of the FIR; therefore, the proposed Amendment No. 3 with 134 would have a positive fiscal impact on the City of Lake Elsinore.

The Canyon Creek Specific Plan Amendment No. 3 will amend PA 2 (see Zoning Map, Exhibit 16) to allow up to 134 detached single family lots instead of the 82 estate lots as originally approved in the 1985. Amendment No. 3 will also provide better clarification between the two Planning Areas. With Amendment No. 3, the Canyon Creek Specific Plan would result in a total number of 1,152 dwelling units. This represents an additional 52 units from the previously approved 1985 Specific Plan which approved 1,100 units. Although this represents an increase to the number of units permitted in PA2, there will not be a net increase of units within the Specific Plan because approximately 638 residential units approved in PA 1 were not developed (see Table 1 below). Therefore, the additional 52 units in PA 2 would still be far below the maximum dwelling units allowed in the original Specific Plan because 638 units have not been built.

Moreover, the additional 52 units in PA 2 would result in an overall gross density of less than one (1) dwelling unit per acre, and a net density of 2.3 dwelling units per acre, which is consistent with the original Canyon Creek General Plan gross density range of 2.0–3.0 dwelling units per acre. Therefore, the proposed Canyon Creek

Specific Plan Amendment No. 3 is consistent with the City of Lake Elsinore’s General Plan land use designation.

TABLE 1
RESIDENTIAL UNIT SUMMARY
FOR
PLANNING AREA 1

<u>Number of Units Approved in the 1985 Canyon Creek Specific Plan</u>	<u>1,100</u>
<u>Units Actually Built as of May 2005</u>	<u>226 (Tract 20704)</u> <u>and</u> <u>236 (Tract 20705)</u>
<u>Undeveloped Units as of May 2005</u>	<u>638</u>

As part of Amendment No. 3, PA 1 will be labeled the San Jacinto Planning Area which is the southern parcel adjacent to I-15 and north of Railroad Canyon Road. This Planning Area is currently developed with residential and commercial uses. Planning Area 2 is a separate non-contiguous parcel of vacant land approximately one-half mile north of PA 1 and will be labeled the La Strada Planning Area or PA 2.

Of the 140 acres within PA 2, only approximately 64.5 acres would be utilized for development of the 134 units. A distinct boundary has been established to preserve and protect the natural resources located within the remainder parcel (see Exhibit 22, Proposed Conservation and Development Map).

The remaining approximately 75.5 acres contained within the remainder parcel will be donated to the City of Lake Elsinore, or an appropriate resource agency to comply with the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) adopted by the City of Lake Elsinore City Council on January 13, 2004 and approved by the United States Fish and Wildlife Service (USFWS) in July 2004.

Regional Setting - The Canyon Creek properties are located in southwestern Riverside County to the east of Lake Elsinore and Interstate 15. The project site affords optimization of solar energy considerations due to its southern orientation along the landforms that decrease in altitude from the north to the south direction.

Local Context - The project site in southwestern Riverside County lies adjacent to and to the north of Railroad Canyon Road and directly to the east of Interstate 15 (12.5 acres of commercial uses are to the west of Interstate 15). It is bounded on the north by undeveloped hilly terrain and on the east by the Railroad Canyon Wastewater Treatment Facility. Railroad Canyon Reservoir, known locally as Canyon Lake, lies one mile to the north and the east. The project site lies within the City of Lake Elsinore, which has jurisdiction for development.

CANYON CREEK Specific Plan



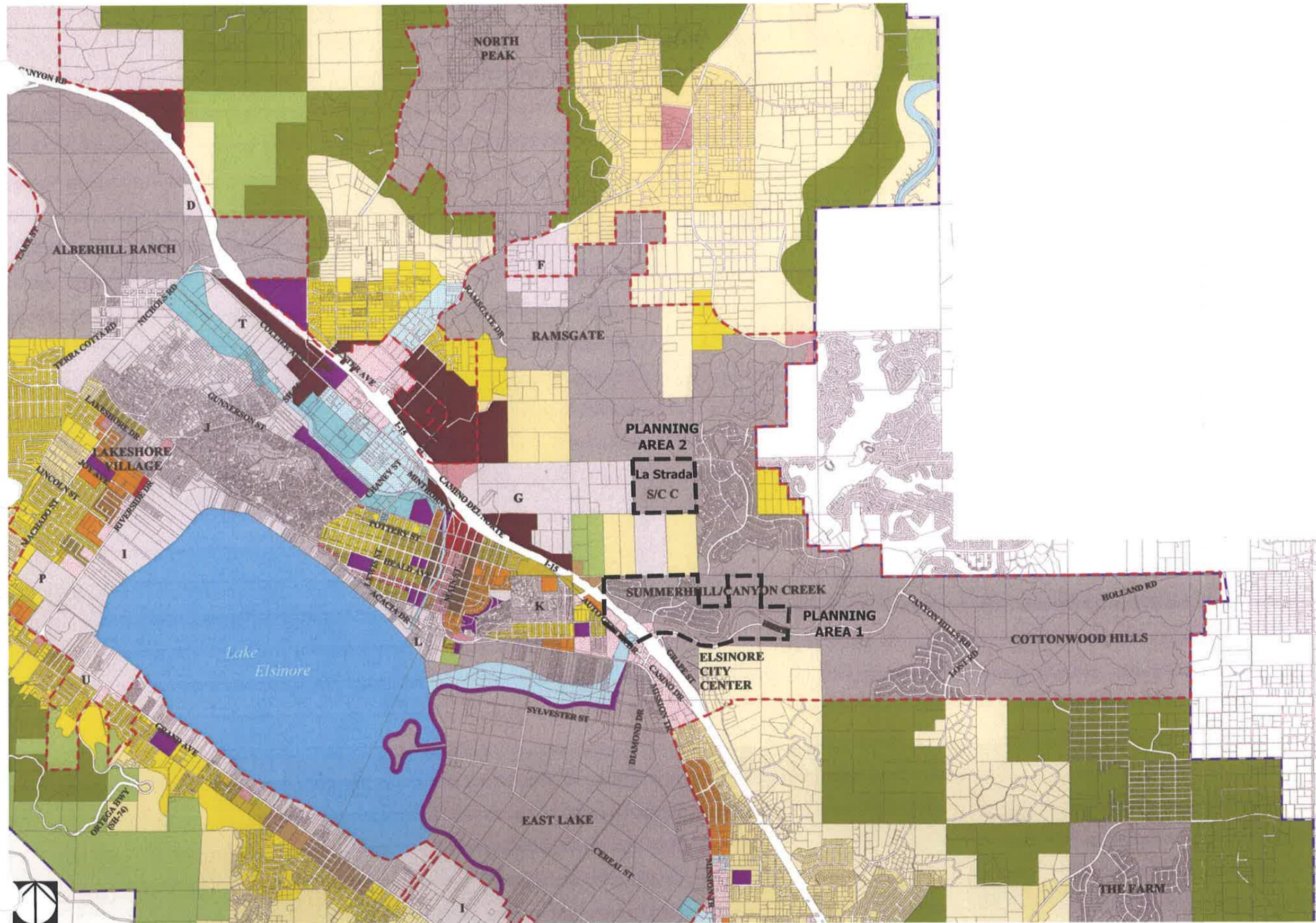
Exhibit 1

Regional Map

CANYON CREEK
Specific Plan



Planning Area No.1
Planning Area No.2



D. PHYSICAL SETTING

Existing Land Forms - The Canyon Creek project site consists of an irregularly shaped parcel ranging in elevation from 1,300 feet at the southern portion of the property adjacent to the San Jacinto River up to an average ridgeline of 1,540 feet with certain peaks extending to approximately 1,800 feet in elevation.

Topographically, the property consists of two distinct types. The southern areas adjacent to the San Jacinto River are flatter alluvium deposits providing opportunities for development with minimal land reconfiguration. The northern portions of the property encompass a series of ridge lines and steeply sloping canyons which provide a dramatic backdrop to the gently rolling terrain in the southern portion of the site.

Two types of drainage courses flow through the property. The San Jacinto River represents the major water course and drains the area from the east to the west direction. The San Jacinto River generally forms the southern boundary of the project site and is the receptor for all surface drainage to that point.

The second type of drainage course is surface flows draining from the project site down three side channels into the San Jacinto River. All of the drainage from the property passes beneath Interstate 15 and flows into Lake Elsinore.

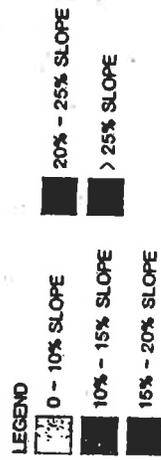
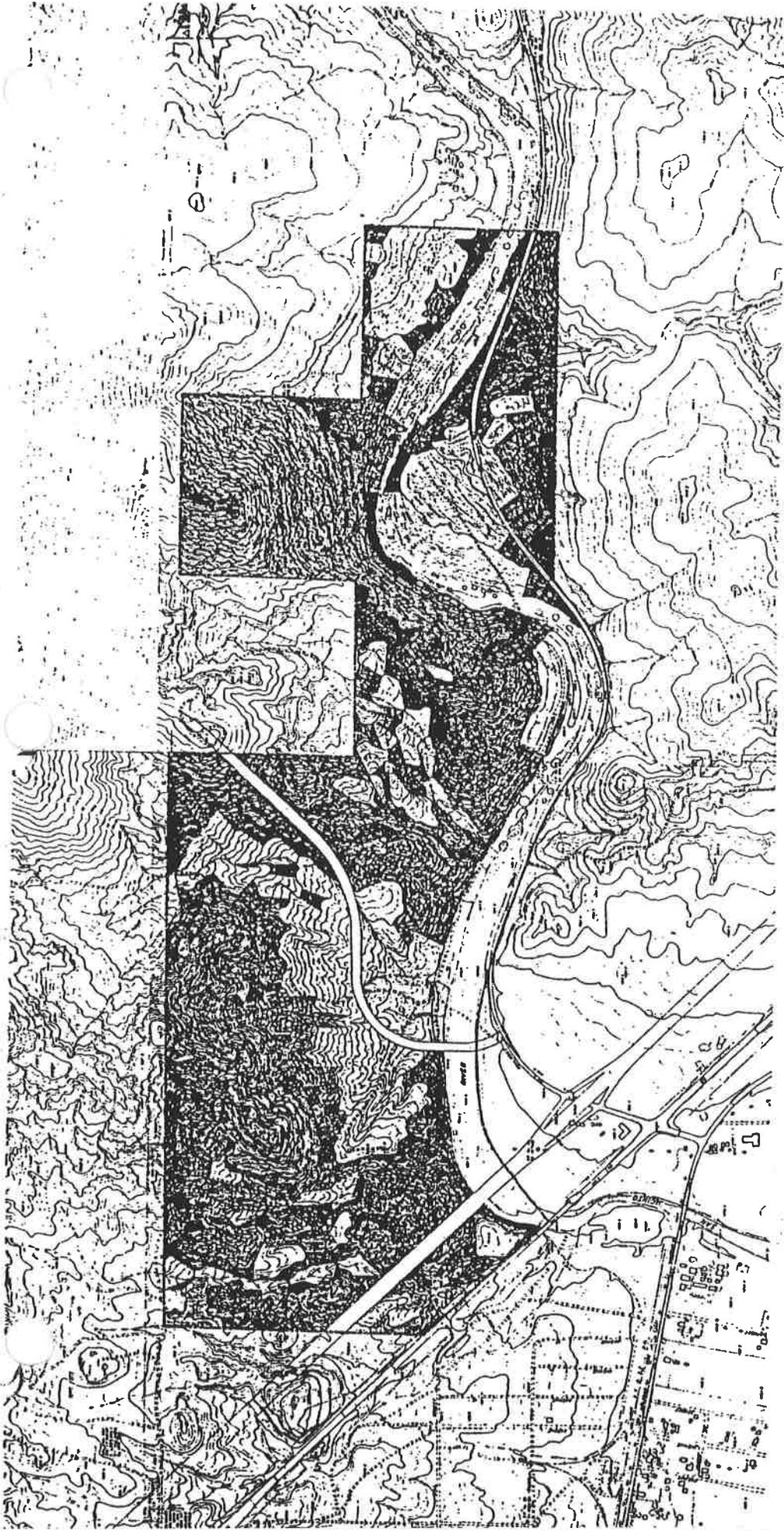
The site's predominant vegetation consists of introduced grasslands. Some coastal sagescrub communities and introduced grasslands are found on the slopes extending above the San Jacinto River, although the most diverse form of vegetation is found in the riparian areas adjacent to the river itself.

The historic use of the property has been vacant. The existing land use features include temporary dirt roads and access which have been cut by users during the past several years. There are no permanent structures currently located on the project site.

Geology of the area is characteristic of the semi-rugged hillside areas predominant in the Santa Ana Mountains to the west of Lake Elsinore, and the El Sobrante Hills. The project site is underlain by the uppertriassic Santa Ana formation which consists of moderately to highly fractured, gray hard shales and slate. Regional data suggests that bedding strikes northwest and northeast at 40' to 50' from the horizontal with closely spaced high angle jointing generally observed to strike to the northwest and the northeast. The upper 1 to 2 feet is highly weathered with moderate weathering extending to estimated depths of 12 to 16 feet.

A thick 4-inch to 16-inch cover of topsoil consisting of a loose, red/brown gravelly silt-to-clay sand mantles the natural slope. The lower elevations of the project site include alluvial material, consisting of brown clayey sand with an abundance of slate, cobbles and boulders. This material is present in the greatest amounts in the areas adjacent to the San Jacinto River.

The structure of the geology and characteristics of the soil present on the site can accommodate both the residential and commercial development types proposed for this area. Consideration of grading techniques will be implemented to take full advantage of opportunities to stockpile topsoil for reapplication. The Environmental Impact Report prepared for the Specific Plan discusses in detail the geology and soils of the area.



CANYON CREEK
SLOPE ANALYSIS

EXHIBIT 3



-  0-10% SLOPE
-  10%-15% SLOPE
-  15%-20% SLOPE
-  20%-25% SLOPE
-  > 25% SLOPE



CANYON CREEK



NORTH
SCALE: 1"=200'

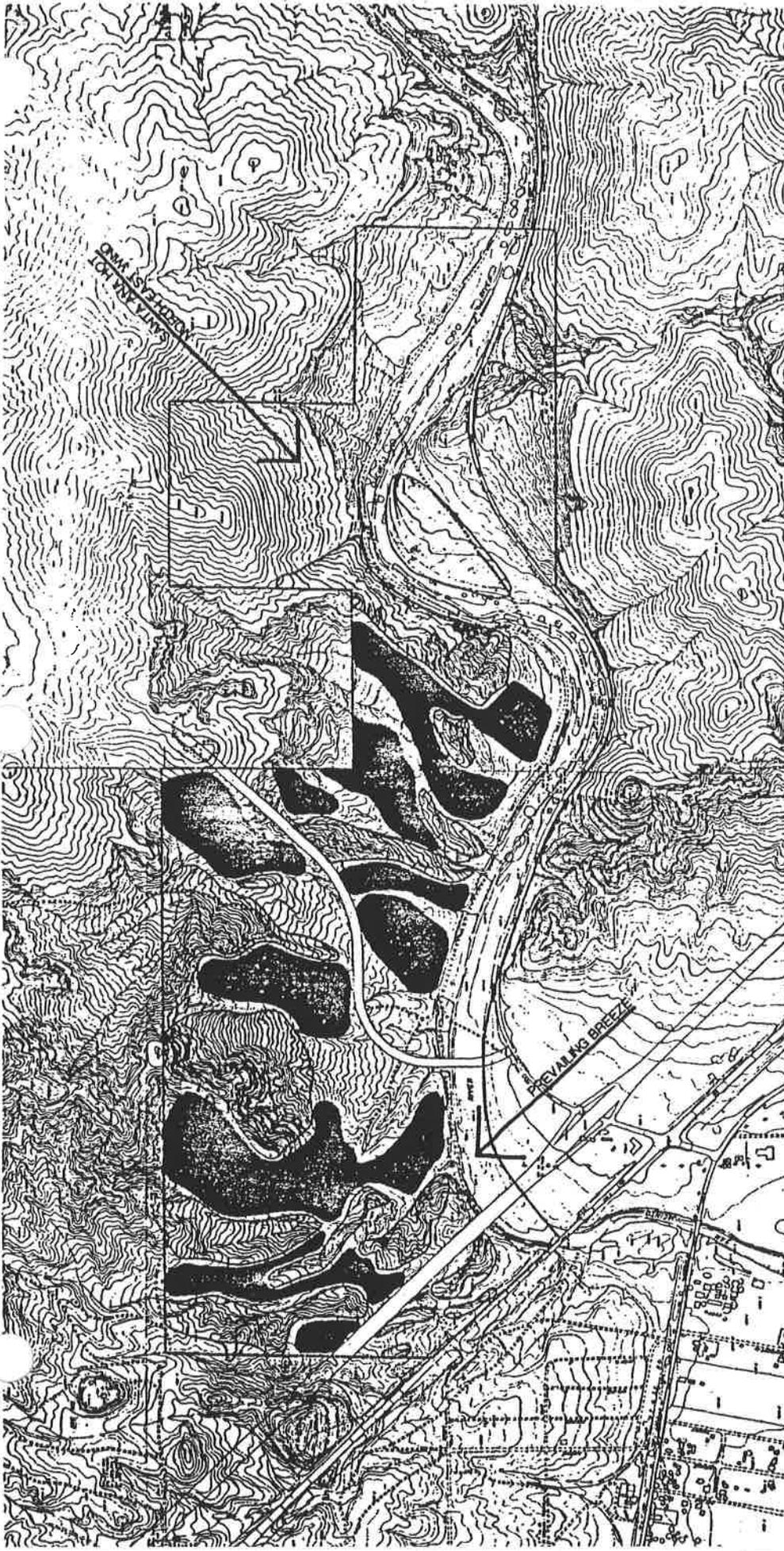


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SLOPE ANALYSIS

EXHIBIT 4





LEGEND

■ HOT AFTERNOON SUN EXPOSURE

▨ AFTERNOON SHADOW / SHADE



CANYON CREEK

SOLAR ORIENTATION

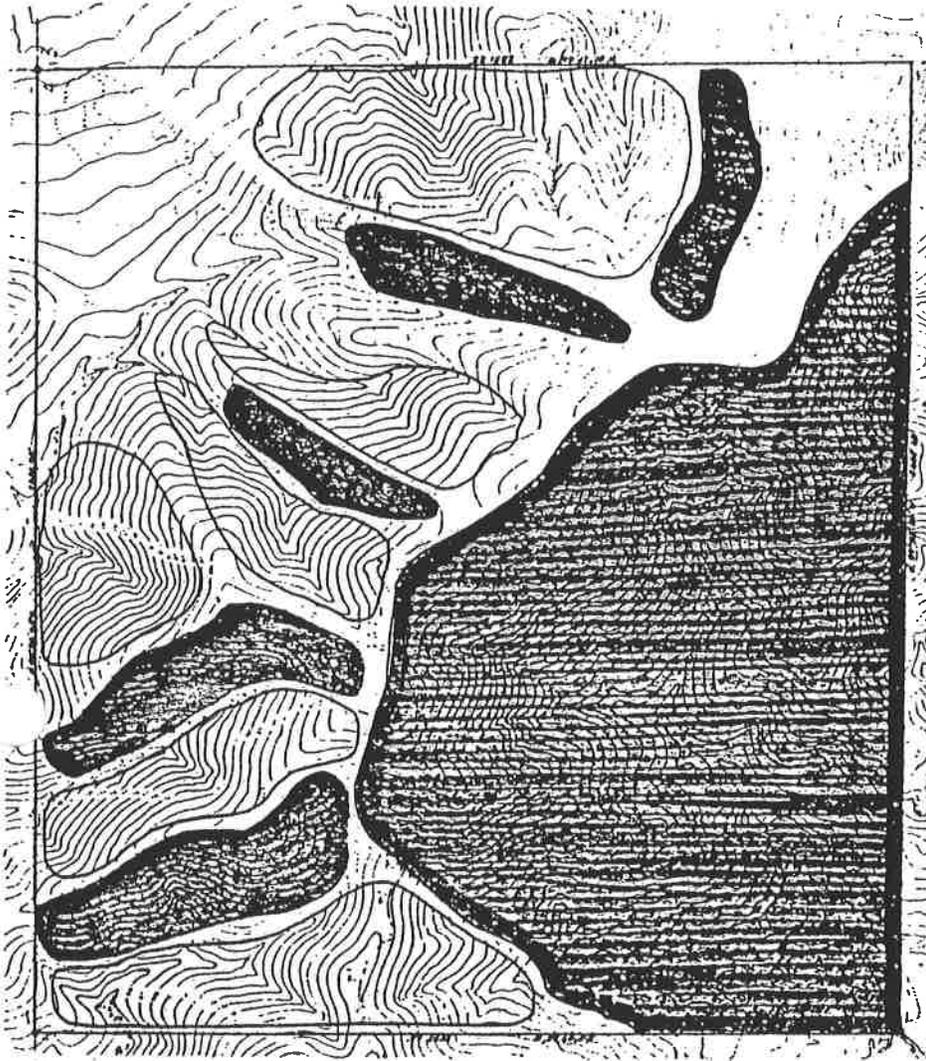
EXHIBIT 5

LEGE

HOT AFTERNOON SUN EXPOSURE



AFTERNOON SHADOW/ SHADE



SOLAR ORIENTATION

EXHIBIT 6

CANYON CREEK



NORTH
SCALE: 1"=200'



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Architectural Site Planning
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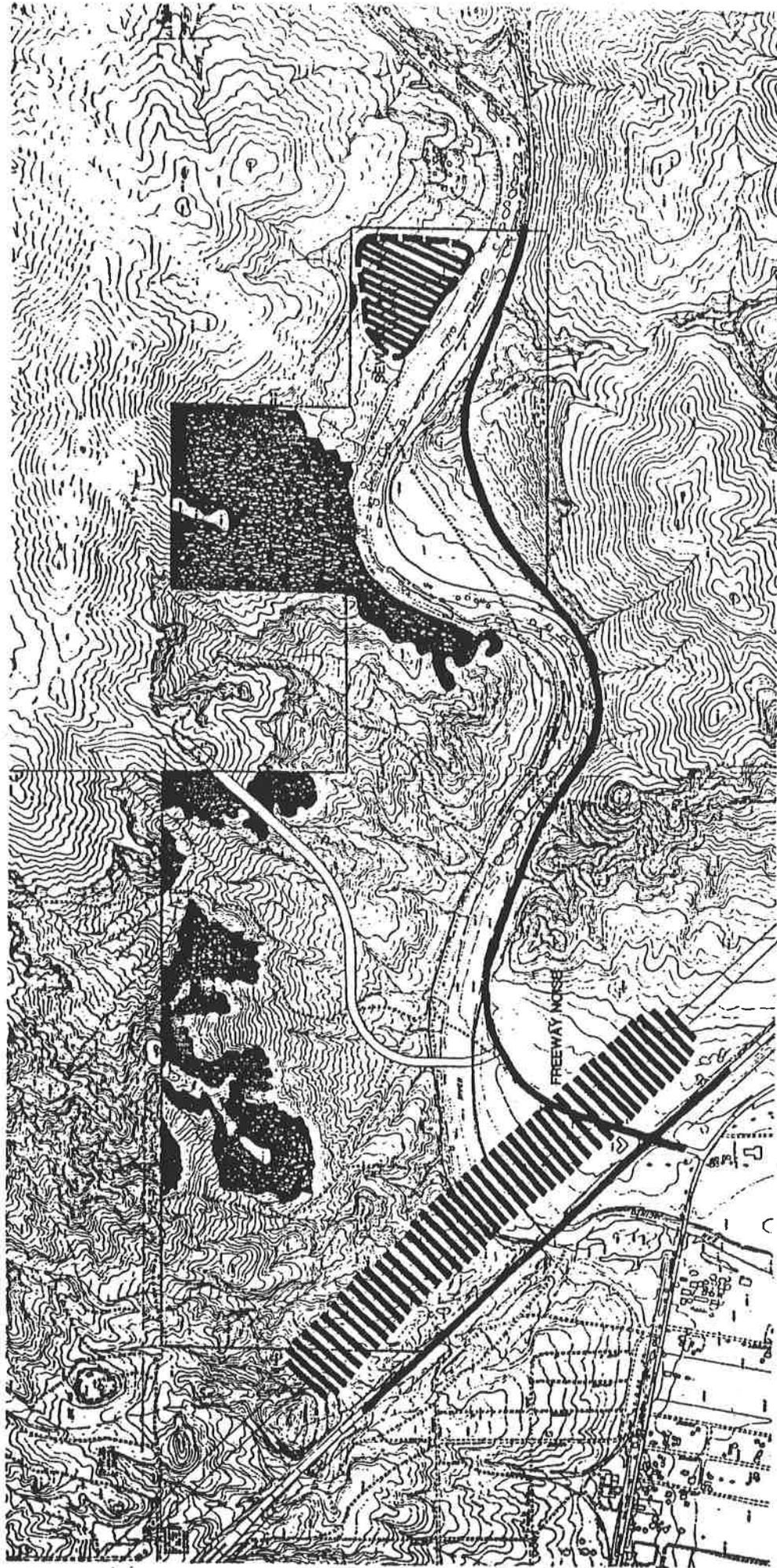


EXHIBIT 7



**CANYON CREEK
CONSTRAINTS MAP**

LEGEND

□ 100 YEAR FLOOD PLAN

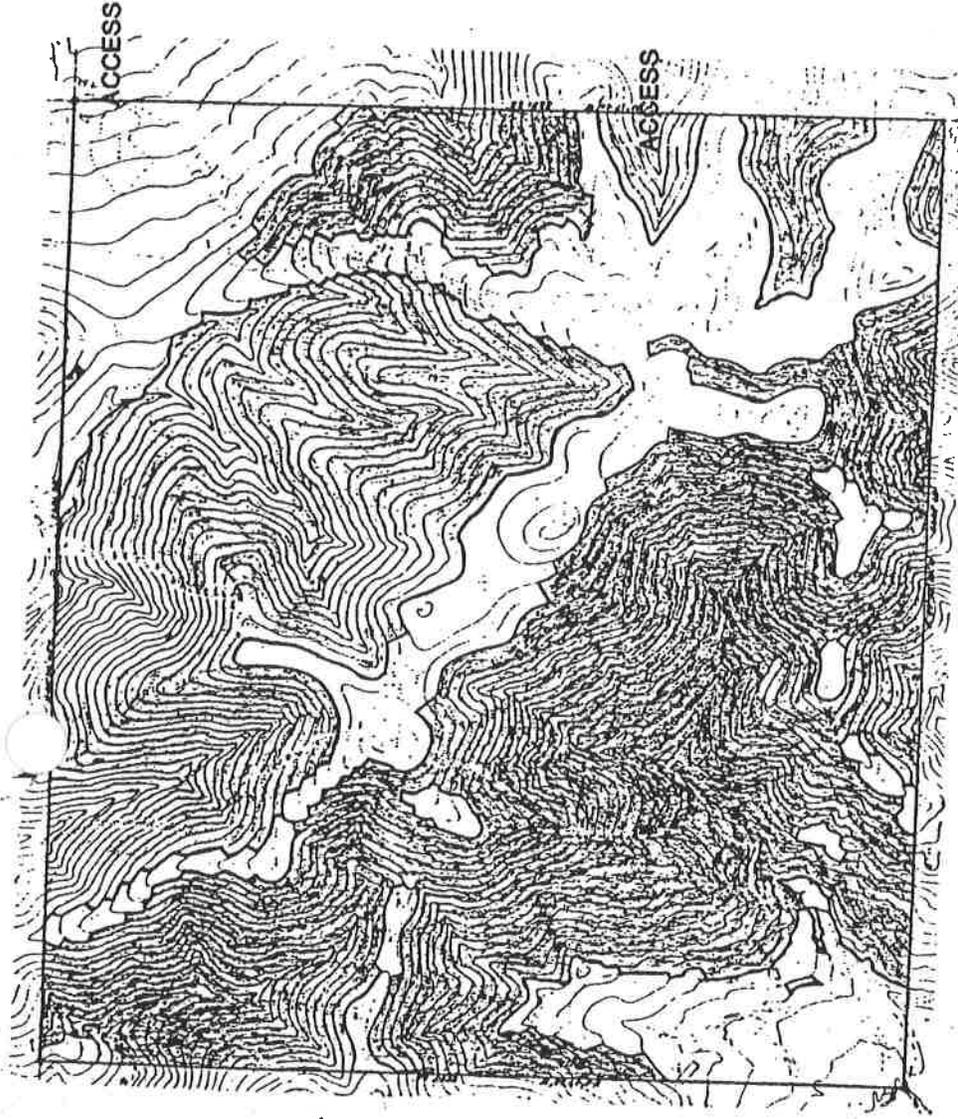
■ SLOPE OVER 25%

▨ ROAD NOISE

LEGEND



SLOPE OVER 25%



CONSTRAINTS MAP

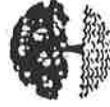
EXHIBIT 8

CANYON CREEK

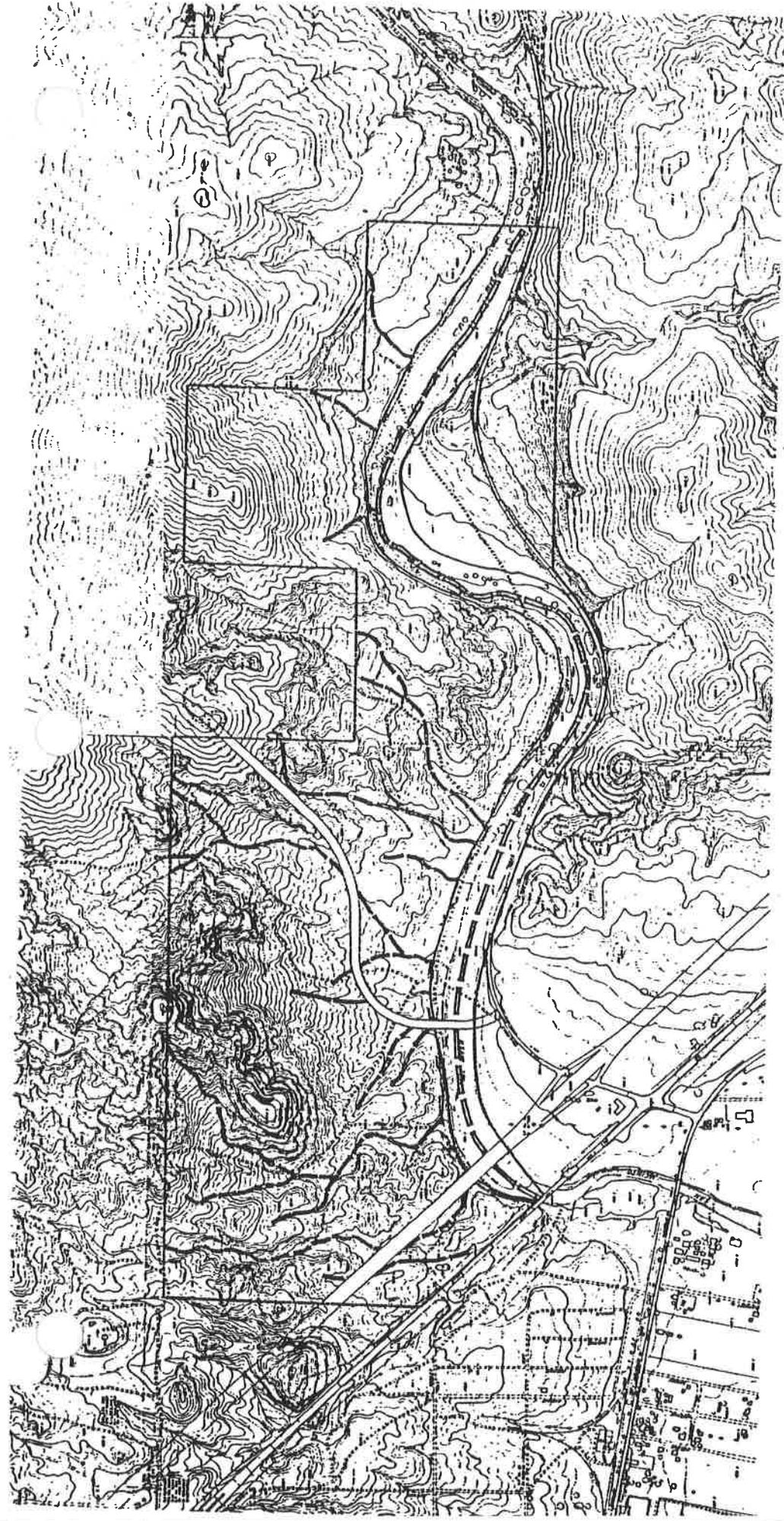
NORTH
SCALE: 1"=200'



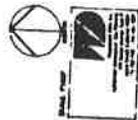
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LEGEND
[Symbol] DRAINAGE COURSE
[Symbol] 100 YEAR FLOOD PLAN


CANYON CREEK
SITE DRAINAGE
EXHIBIT 9

LEGEND



DRAINAGE COURSE



SITE DRAINAGE

EXHIBIT 10

CANYON CREEK

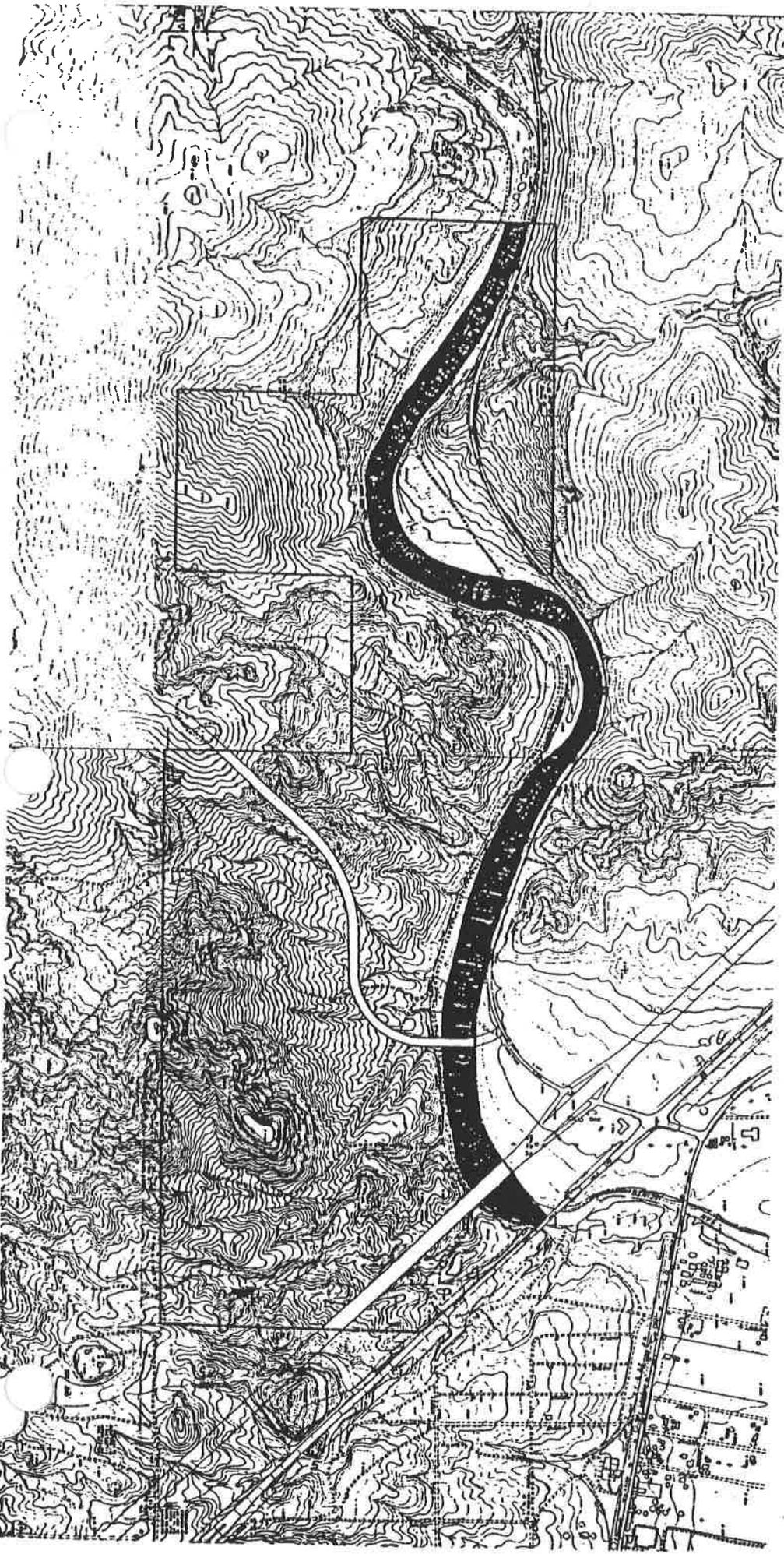
NORTH
SCALE: 1"=200'

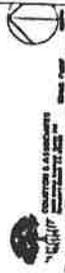


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CANYON CREEK
VEGETATION
EXHIBIT 11

- LEGEND
-  COASTAL SAGE SCRUB
 -  RIPARIAN VEGETATION

LEGEND



COASTAL SAGE SCRUB



CANYON CREEK



NORTH
SCALE: 1"=200'



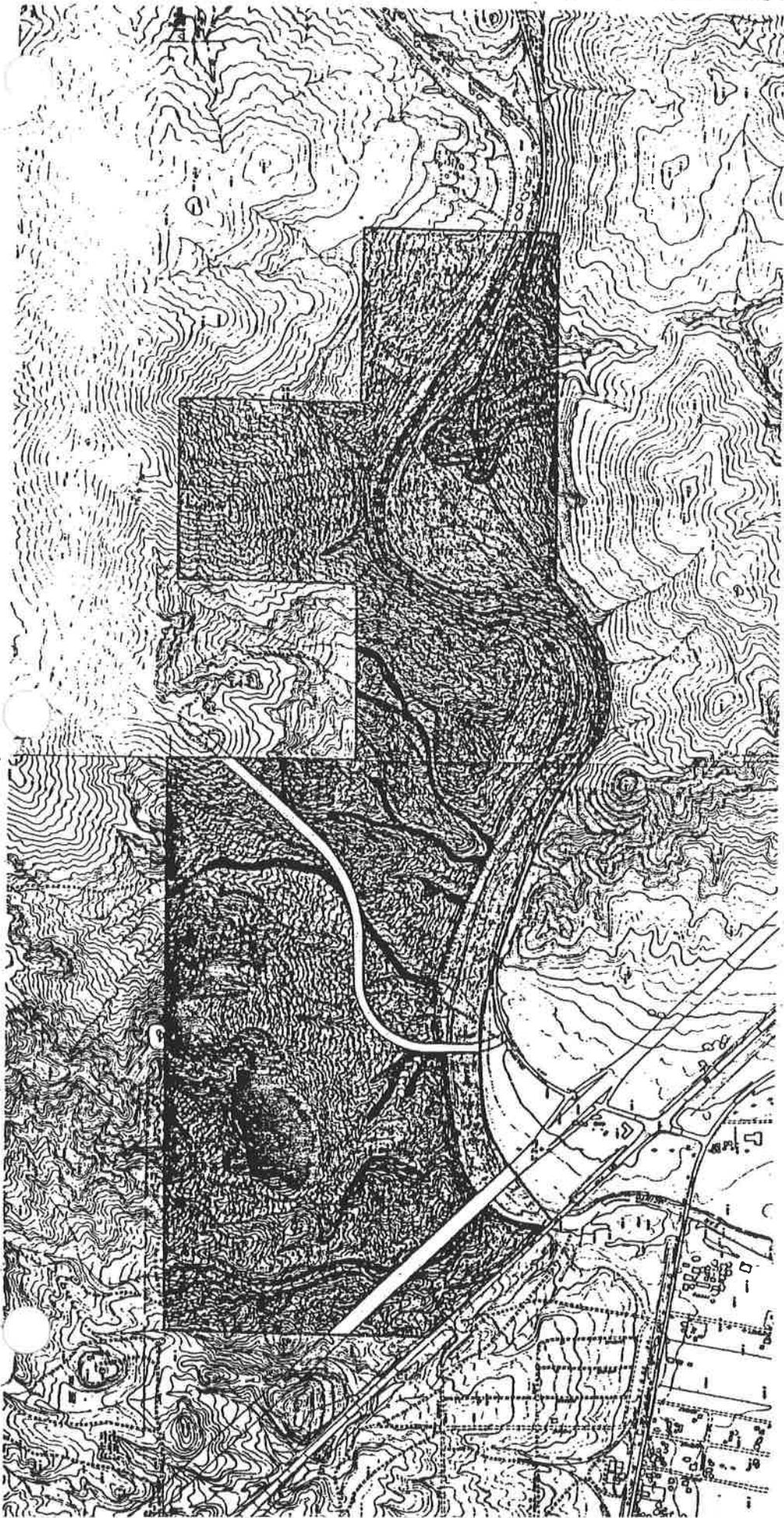
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VEGETATION

EXHIBIT 12

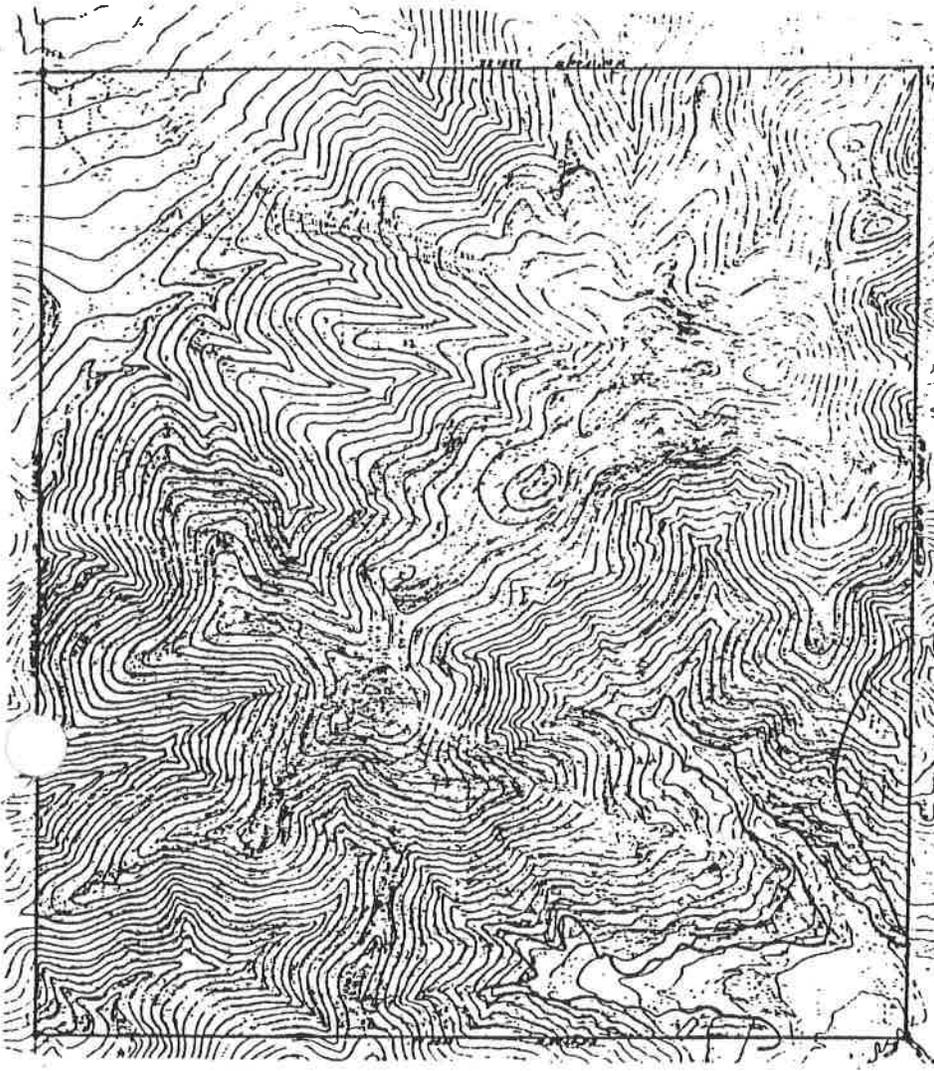


LEGEND

-  ALLUVIUM - Q^a
-  COLLUVIUM - Q^{cl}
-  TERRACE DEPOSITS - Q^t
-  CRETACEOUS DIORITES AND METAMORPHIC ROCKS - K^{cm}
-  BEDFORD CANYON FORMATION - J^b



CANYON CREEK
SOILS AND GEOLOGY
 EXHIBIT 13



LE

-  COLLUVIUM - Qcd
-  CRETACEOUS DIORITES AND METAMORPHIC ROCKS - Kgm
-  BEDFORD CANYON FORMATION - Jb

CANYON CREEK

NORTH
SCALE: 1"=200'



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SOILS AND GEOLOGY

EXHIBIT 14

Surrounding Land Uses -The surrounding land uses for the project site are depicted on the following Exhibit, the **updated** General Plan Land Use map of the City of Lake Elsinore. The property to the north **of PA 1** is currently undeveloped and has a General Plan designation of ~~very~~ low density uses (4-3 DU/2 acres), **Future Specific Plan and Open Space Recreation (OS/R).** **The area to the north of PA 2 is zoned Approved Ramsgate Specific Plan.** Areas to the northeast are Specific Plan areas with a general designation for the Canyon Lake Hills development approved at the low density of two dwelling units per acre (2 DU/acre). Ramsgate to the north has similar approved land uses in its Specific Plan. Canyon Lake to the east is medium density residential. To the south of the project site are areas for general commercial and residential uses. The San Jacinto River is designated as flood plain and floodway requiring special consideration for construction. The property lying to the west of the project site has a General Plan designation for neighborhood commercial, public/semi-public special purpose, and general commercial uses.

II. SPECIFIC PLAN DESCRIPTION

A. SPECIFIC PLAN GOALS AND OBJECTIVES

The purpose of the Canyon Creek Specific Plan is to provide for the construction of residential housing units as well as to provide business opportunities for the community through the construction of commercial facilities. The Canyon Creek Specific Plan was developed utilizing several guidelines.

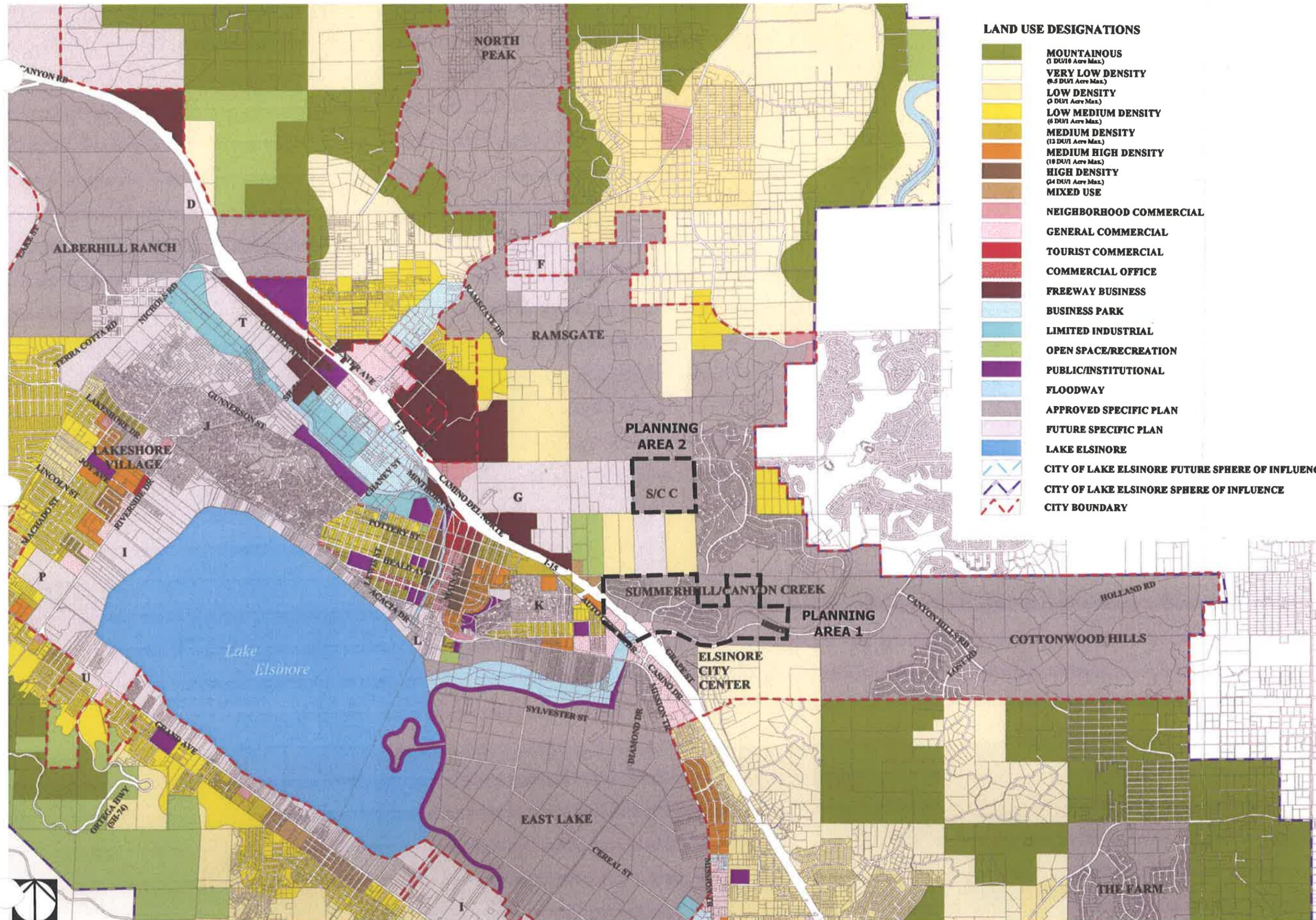
1. Establishing a residential community which will put the land forms of the site to the best use for residential development while preserving approximately 50% of the area as open space;
2. Providing obtainable housing to meet the future needs of the community of Lake Elsinore and the Growth Management Plan;
3. **Create a high standard in neighborhood design and implement it consistently over an entire new community;**
4. **Create neighborhood designs that integrate architecture, site planning and landscaping;**
5. **Create attractive and comfortable street scenes to promote a walkable community;**
6. Establishment of a community with an adequate balance of public parks and open space, community facilities, infrastructure, residential and business development;

7. Provision for an appropriate road system which will serve this project and provide for necessary emergency and other access to the other projects;
8. The development of a project which can be constructed and phased to meet the changing and evolving housing market in Lake Elsinore; **and**
9. **Provide development projects which are consistent with the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) as adopted by the City of Lake Elsinore City Council on January 13, 2004 and approved by the United States Fish and Wildlife Service (USFWS) in July 2004.**

CANYON CREEK
Specific Plan



Planning Area No. 1
Planning Area No. 2



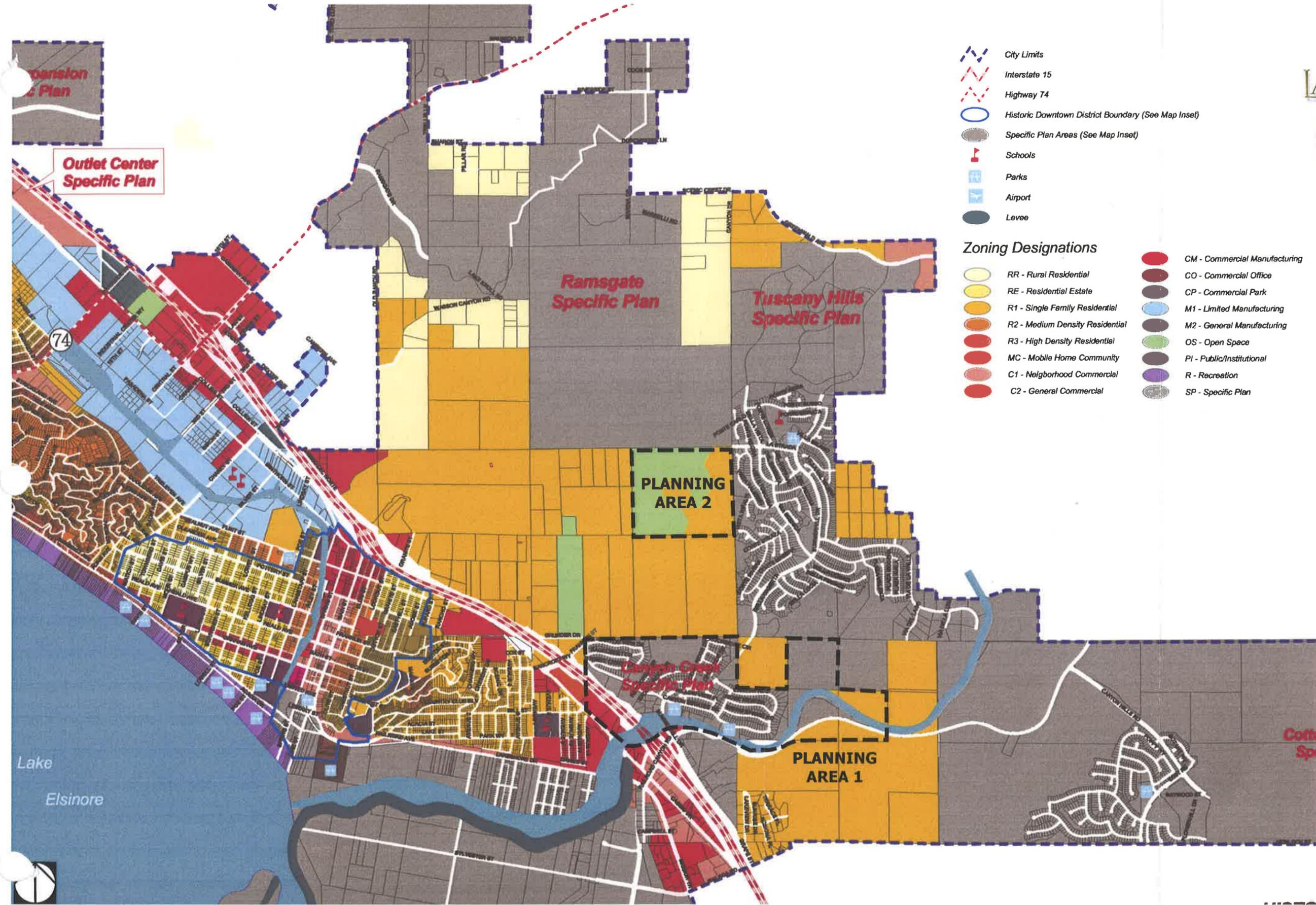
LAND USE DESIGNATIONS

- MOUNTAINOUS (1 DU/10 Acre Max.)
- VERY LOW DENSITY (0.5 DU/1 Acre Max.)
- LOW DENSITY (0 DU/1 Acre Max.)
- LOW MEDIUM DENSITY (6 DU/1 Acre Max.)
- MEDIUM DENSITY (13 DU/1 Acre Max.)
- MEDIUM HIGH DENSITY (18 DU/1 Acre Max.)
- HIGH DENSITY (24 DU/1 Acre Max.)
- MIXED USE
- NEIGHBORHOOD COMMERCIAL
- GENERAL COMMERCIAL
- TOURIST COMMERCIAL
- COMMERCIAL OFFICE
- FREEWAY BUSINESS
- BUSINESS PARK
- LIMITED INDUSTRIAL
- OPEN SPACE/RECREATION
- PUBLIC/INSTITUTIONAL
- FLOODWAY
- APPROVED SPECIFIC PLAN
- FUTURE SPECIFIC PLAN
- LAKE ELSINORE
- CITY OF LAKE ELSINORE FUTURE SPHERE OF INFLUENCE
- CITY OF LAKE ELSINORE SPHERE OF INFLUENCE
- CITY BOUNDARY

CANYON CREEK Specific Plan



Planning Area No.1
Planning Area No.2



- City Limits
- Interstate 15
- Highway 74
- Historic Downtown District Boundary (See Map Inset)
- Specific Plan Areas (See Map Inset)
- Schools
- Parks
- Airport
- Levee

Zoning Designations

- | | |
|---------------------------------|-------------------------------|
| RR - Rural Residential | CM - Commercial Manufacturing |
| RE - Residential Estate | CO - Commercial Office |
| R1 - Single Family Residential | CP - Commercial Park |
| R2 - Medium Density Residential | M1 - Limited Manufacturing |
| R3 - High Density Residential | M2 - General Manufacturing |
| MC - Mobile Home Community | OS - Open Space |
| C1 - Neighborhood Commercial | PI - Public/Institutional |
| C2 - General Commercial | R - Recreation |
| | SP - Specific Plan |

B. PROJECT FEATURES

The residential components of the Canyon Creek Specific Plan area include ~~three types of housing:~~ two distinct Planning Areas: Planning Area 1, now referred to as the San Jacinto Planning Area and Planning Area 2, the La Strada Planning Area. PA 1 is an approximately 338 acre parcel generally located east of I-15, and north of Railroad Canyon Road and the San Jacinto River, and west of Canyon Lake is primarily developed with residential and commercial uses. PA 2 is a separate, vacant 140 acre parcel located approximately one-half mile north of PA 1.

The Canyon Creek Specific Plan offers ~~three~~ two types of housing: single-family detached and attached (condominiums/apartments) units, and estate lots. The three hundred and fifty (350) apartments will also be constructed in Planning Area 1. The proposed residential densities range from less than one (1) dwelling units per acre up to four (4) dwelling units per acre. ~~350 apartments will also be constructed.~~

3-acre and 2-acre commercial facilities will provide convenient shopping opportunities for the community's residents. An additional 12.5 acre parcel located to the west of the Interstate 15 will include 125,000 square feet of business and commercial opportunities in a business park setting. Other support facilities include a fire station site, soccer/multi-use playing fields, a vita course, 14 neighborhood parks, and a regional trail which will serve not only the Canyon Creek Community, but the citizens of Lake Elsinore as well.

Open space corridors will be established throughout the project and will include approximately 50% of the total project area. These open space corridors will preserve the natural land forms of the project site and will also be utilized as interfaces with contour grading for the residential communities. Fuel modification and appropriate setbacks will be included where appropriate to lower the danger of wild-land fires.

The mix of land uses proposed within the Specific Plan area is balanced to the majority of needs of the community.

Both the internal and external circulation systems will be planned to serve both on-site and off-site traffic. Infrastructures are planned to safely satisfy the identified demands of the project, including water, sewer, utilities and public services.

The Land Use Plan depicts the locations and relationship of the various elements of Canyon Creek. The planning areas include an apartment complex with 350 units and 750 residential units on approximately 346 acres within PA 1 and ~~82-estate~~ 134 detached single-family lots on

approximately ~~145~~ **140** acres **within PA 2, for a total of 1,152 dwelling units. Even though this represents an increase to the number of units permitted in PA2 and the overall Specific Plan, there will not be a net gain in units within the Specific Plan since several existing developments within PA 1 did not develop the total number of units permitted in the planning area.**

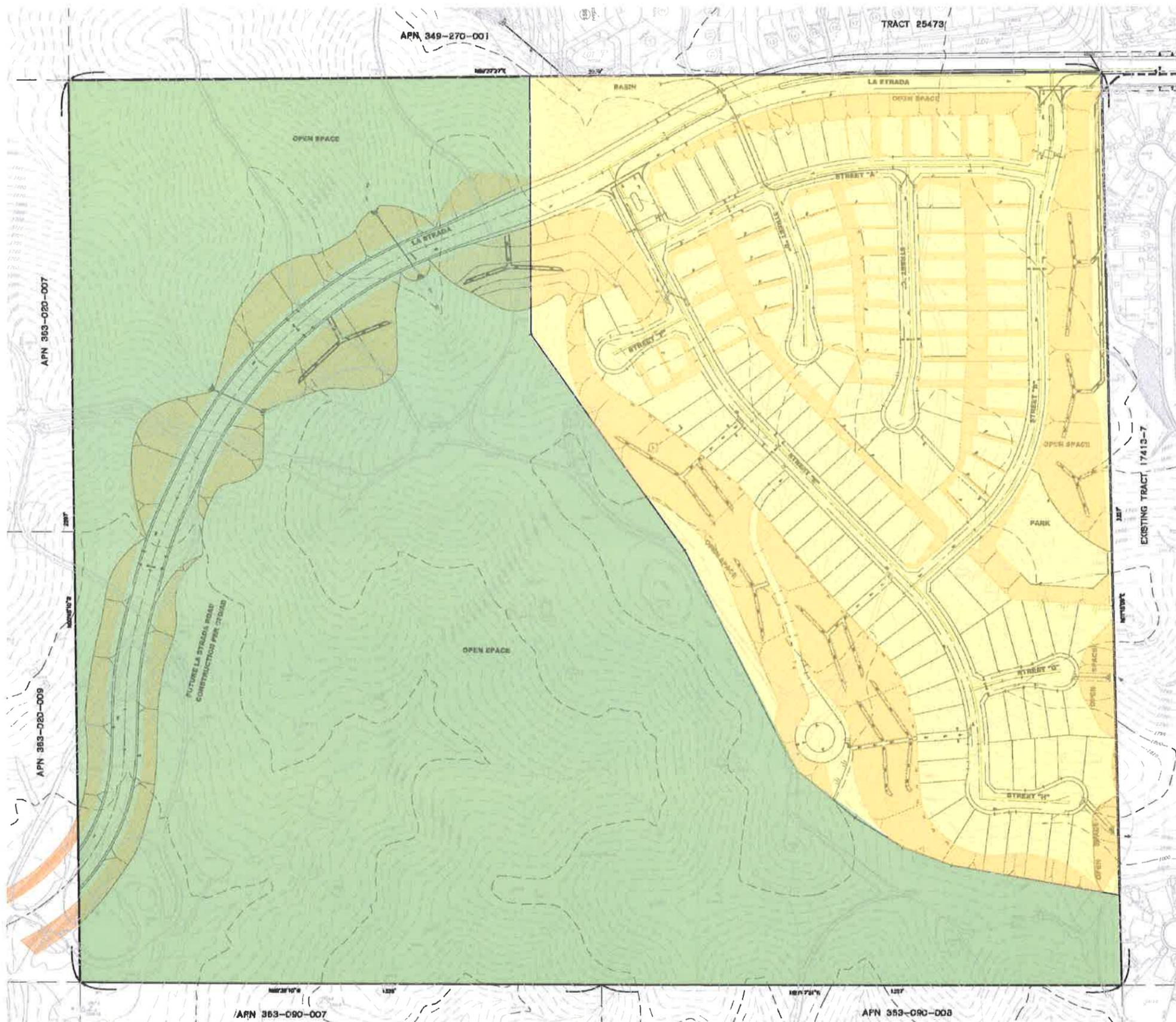
~~The 1,100 residential dwelling units are comprised of t (Two distinct housing types make up this designation: single family detached and single family attached/condominium). The remaining planning areas include a 12.5 acre commercial area, and a 3 acre commercial shopping facility, a 2 acre commercial shopping facility, and 14 park sites and a connecting regional trail.~~

The open space designations comprise a significant component of the project's concept. Combined with the 14 park sites, floodway, the community facilities and the fire station site, these open space elements account for approximately 50% of the project area. Open space features common areas, recreational facilities, landscaped slopes and private yard areas will also contribute to the total community open space.

CANYON CREEK
Specific Plan

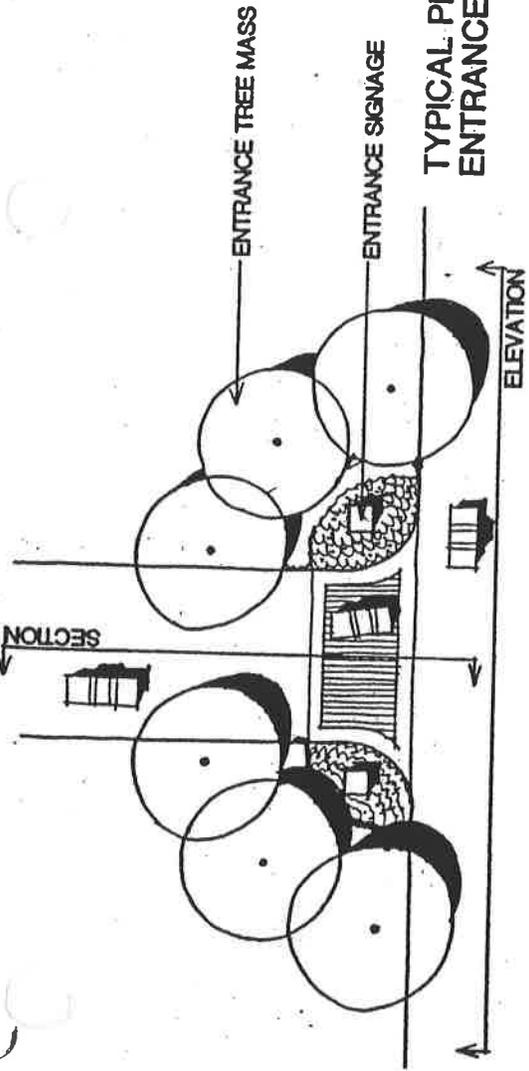


Planning Area No.2



LEGEND

- VLD - Very Low Density Residential -**
64.5 acres @
2.00 du/ac (net)
0.95 du/ac (gross)
- Remainder Parcel -**
75.5 acres



TYPICAL PROJECT
ENTRANCE CHARACTER

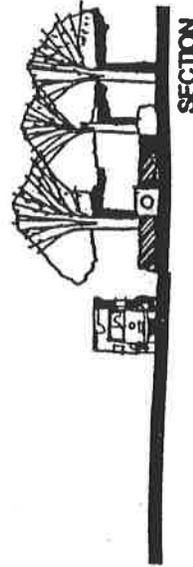
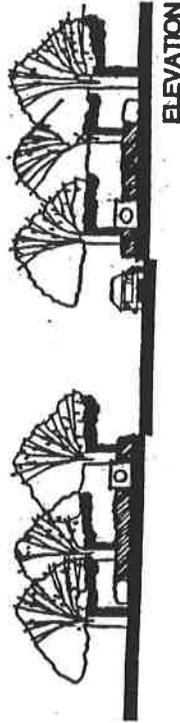


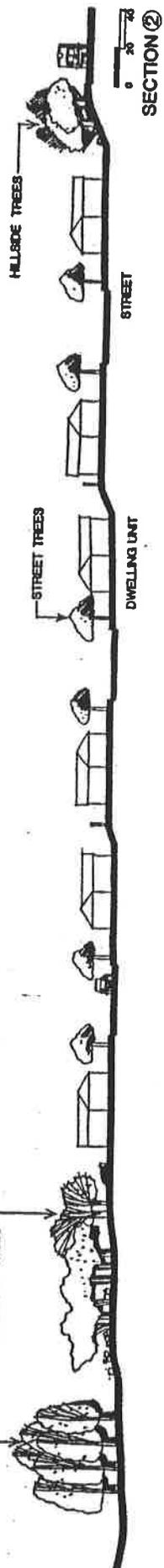
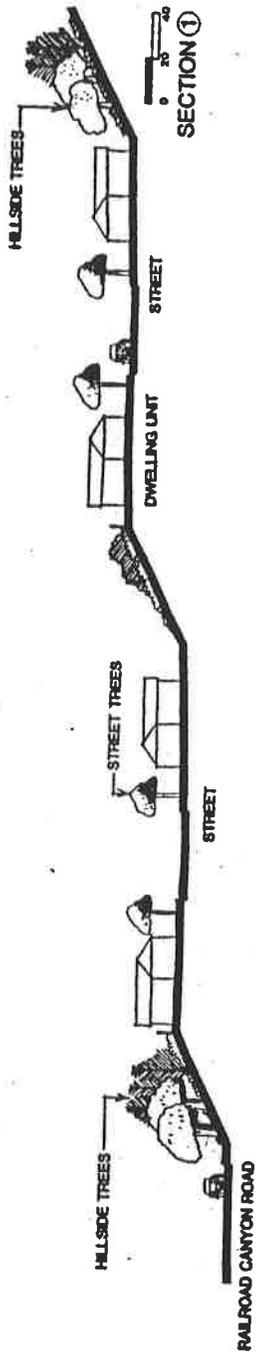
EXHIBIT 18
CANYON CREEK



COURTNEY & ASSOCIATES
3400 Irvine Avenue, Suite 215, Newport Beach, CA 92660 (714) 952-0678

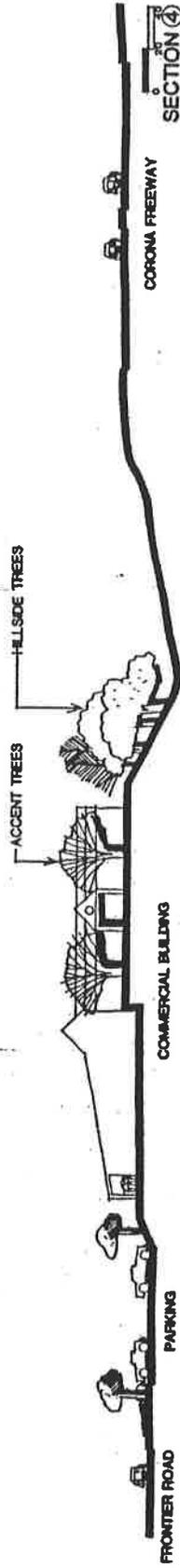
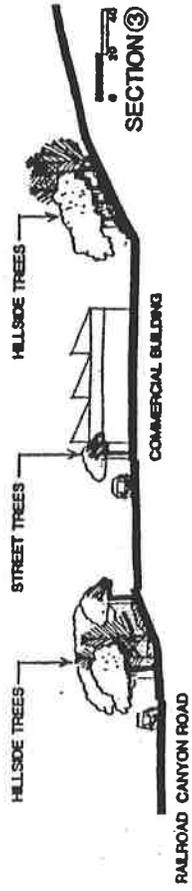


ARCHITECTS
3400 Irvine Avenue, Suite 215
Newport Beach, CA 92660
(714) 952-0678
© 1994



CANYON CREEK
 COURTESY & ASSOCIATES
 1000 WEST 1000 NORTH, SUITE 100, SALT LAKE CITY, UT 84119
 801.487.1111

EXHIBIT 19



CANYON CREEK



CANYON CREEK ASSOCIATES
 LANDSCAPE ARCHITECTS AND PLANNERS
 10000 WEST 10TH AVENUE, SUITE 100, DENVER, CO 80231
 (303) 751-1100

EXHIBIT 20

The on-site circulation system has been designed to provide safe and convenient traffic movement to all parts of the community. Consisting of a secondary arterial (connecting road to ABC Heritage), collector streets, local streets and private streets and drives, the circulation system has been planned to City standards, and typical street sections have been proposed. The vehicular system is augmented by a network of bike lanes, pedestrian/bike trails, and the proposed regional trail adjacent to the San Jacinto River.

La Strada Planning Area (Planning Area 2)

The internal roads in PA 2 are intended to be private, and fifty-two (52) feet in width, which are slighter narrower than a comparable standard City street that would be fifty-six (56) feet (see Exhibit 40, Private Street Cross Section). The slightly narrower roads are intended to provide less hardscape, less focus on the automobile, and to provide a more pleasant streetscape environment for the residents.

PA 2 will be a gated community with privately maintained streets. Like the rest of the Canyon Creek Specific Plan, PA 2 shall be designed to provide a safe and convenient internal network of roads with the purpose of allowing movement to all areas of the neighborhood, and connection to the community at large.

C. NEIGHBORHOOD PLANNING AREAS

The Canyon Creek community is a series of individual neighborhoods connected by a system of roadways and connecting trails **or pedestrian walkways**. These communities are all buffered by adjacent open space areas.

The higher density residential units will have the appearance of a Mediterranean villa community. The medium **and lower** density units will preserve individual lifestyles and autonomy through the creation of single-family detached products. ~~The lower density estate lots will provide for a more rural, open rustic country character utilizing larger lots and building pads' sloped areas for residential amenities and landscaping~~

The La Strada neighborhood is intended to be a distinct neighborhood within the Canyon Creek Specific Plan. La Strada will be a gated community, with high quality architecture offering four distinct architectural styles: Early California, Italian Mediterranean, Tuscan and Santa Barbara (see Architectural Renderings, Exhibits 28-32). In addition, PA 2 will have a comprehensive landscape plan (see Exhibit 42) which establishes a hierarchy of entry monumentation (major and minor), recreational amenities, active and passive open space areas, pedestrian pathways and streetscape treatments for all public and

private roads. Amendment No. 3 to the Canyon Creek Specific Plan provides a detailed, comprehensive approach to guide development within PA 2.

D. LAKE ELSINORE GENERAL PLAN

Land Use Element - The City of Lake Elsinore General Plan designates in its land use element the planning area as the Daon Specific Plan area. The Canyon Creek, Specific Plan reflects the adopted General Plan of 2.0 to 3.0 units per acre density and is therefore consistent with the land use element of the City of Lake Elsinore General Plan, upon approval.

Canyon Creek Specific Plan Amendment No. 3

The existing General Plan Land Use Designation is S/C C—Approved Specific Plan and the existing Zoning Classification is R-1, Single Family Residential and OS, Open Space. The proposed amendment to the La Strada Planning area would allow an additional 52 units within the Canyon Creek Specific Plan. Even though this represents an increase to the number of units permitted in PA2 and the overall Specific Plan, there will not be a net gain in units within the Specific Plan as several existing developments within PA 1 did not develop the total number of units permitted in the planning area. The additional units would still result in an overall net density of 2.3 dwelling units per acre which is consistent with the original 1985 General Plan density ranges of 2.0 – 3.0 units per acre as stated in the paragraph above. Therefore, the proposed Canyon Creek Specific Plan Amendment No. 3 is consistent with the City of Lake Elsinore’s General Plan.

Circulation Element - The General Plan policies and goals provide for a safe, fast, efficient movement of people to and from and within Lake Elsinore by an integrated system. The primary issues associated with the circulation system for the Canyon Creek Specific Plan area are the improvements which will be needed to Railroad Canyon Road, establishment of Canyon Creek Drive and bridge and identification of the appropriate size and location of collector streets within the Canyon Creek project. Safe and convenient access to the various components of the Specific Plan is addressed by the circulation system, including bicycle and pedestrian access, and the regional trail system.

Environmental Resources Management Element - The Environmental Resources Management Element (ERME) sets forth the policies and program necessary to manage the preservation and productivity of natural resources as well as providing for outdoor recreation, public health and safety within the City of Lake Elsinore. The ERME also includes that State mandated conservation, open space, safety and seismic safety elements of the General Plan. The purpose of the ERME is to assure that those natural resources included within the planning area are maintained and protected so

that the highest and best use of the citizens of the City of Lake Elsinore are preserved.

The riparian corridor adjacent to the San Jacinto River as well as approximately 50% of the project site will be preserved as part of the parks and open space areas. These areas also include the San Jacinto River floodway and flood plain upon which there is anticipated no construction with the exception of a bridge crossing adjacent to Interstate 15. A total system is proposed along the river edge. The use of landscape materials resistant to fire will aid in the protection of the project from wildland fires. The landscaping and buffer areas will be maintained by **a lighting and landscaping maintenance district**, an improvement district or community facilities district established under the guidelines of **the Lighting and Landscaping Act of 1972**, 1911-1913-1915 Acts Municipal bonds or the Mello-Roos Act.

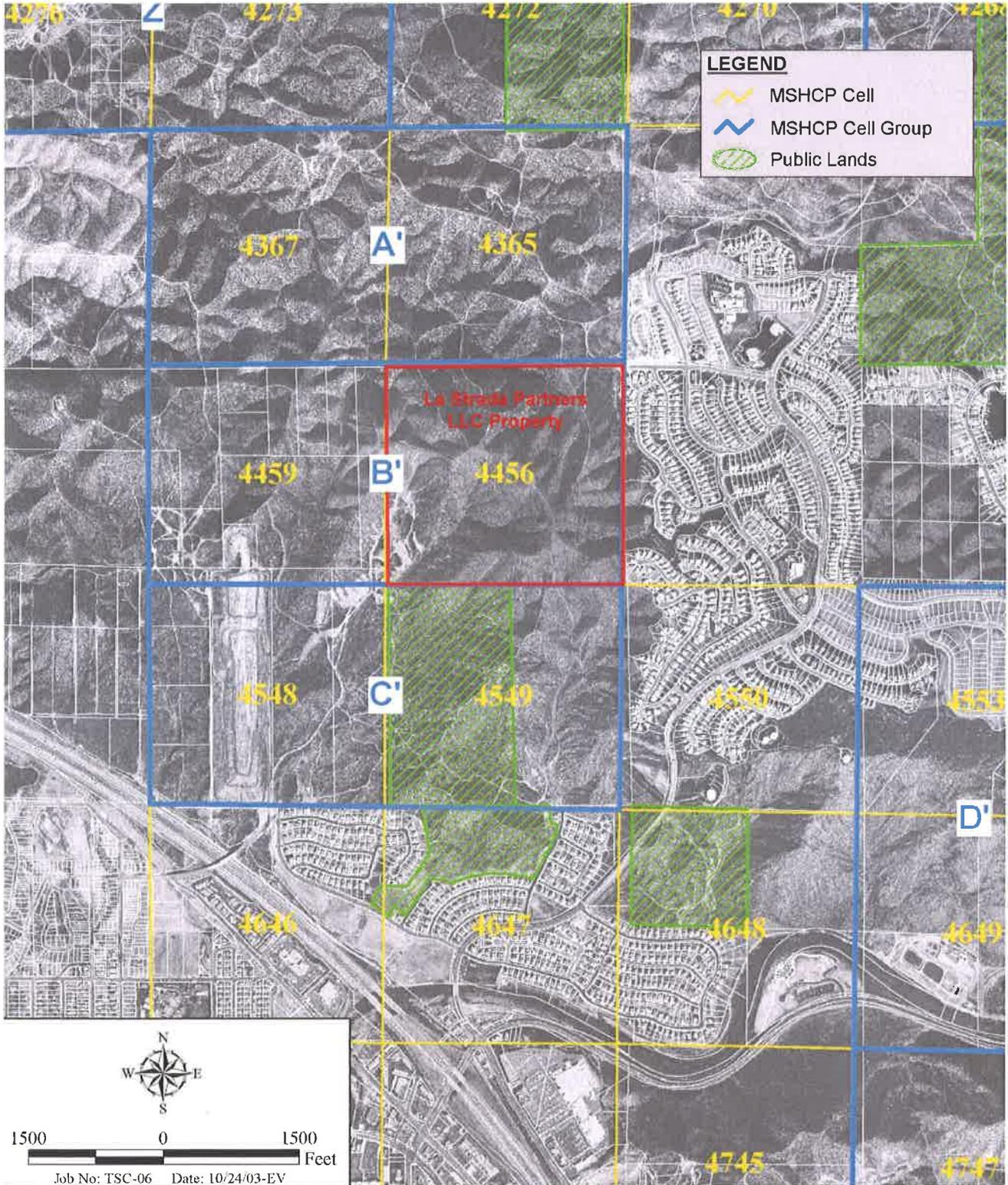
Canyon Creek Specific Plan Amendment No. 3

Since the adoption of the Canyon Creek Specific Plan in 1985, the Western Riverside County Multiple Species Habitat Conservation Program (MSHCP) has been developed in order to reconcile habitat conservation needs with development needs for Western Riverside County. The MSHCP was adopted by the City of Lake Elsinore City Council on January 13, 2004, and was approved by the United States Fish and Wildlife Services (USFWS) in July 2004.

In compliance with the intent of the MSHCP, the project may potentially offer to donate approximately 75.5 acres of land towards the implementation of the MSHCP to preserve and protect the natural resources located within the remainder parcel.

Part of the MSHCP approval included an access road through a portion of the remainder parcel in PA 2 to allow vehicular access to serve PA 2. Once a final road alignment is secured, the primary entry into PA 2 may need to be modified to accommodate the final alignment. See Exhibit 26, Tentative Tract Map, for the proposed conceptual road alignment.

The access road into PA 2 will be a separate work of improvement from the proposed Specific Plan Amendment No. 3. Therefore, the road improvement project shall have a separate CEQA review process.



CANYON CREEK Specific Plan



Planning Area No.2

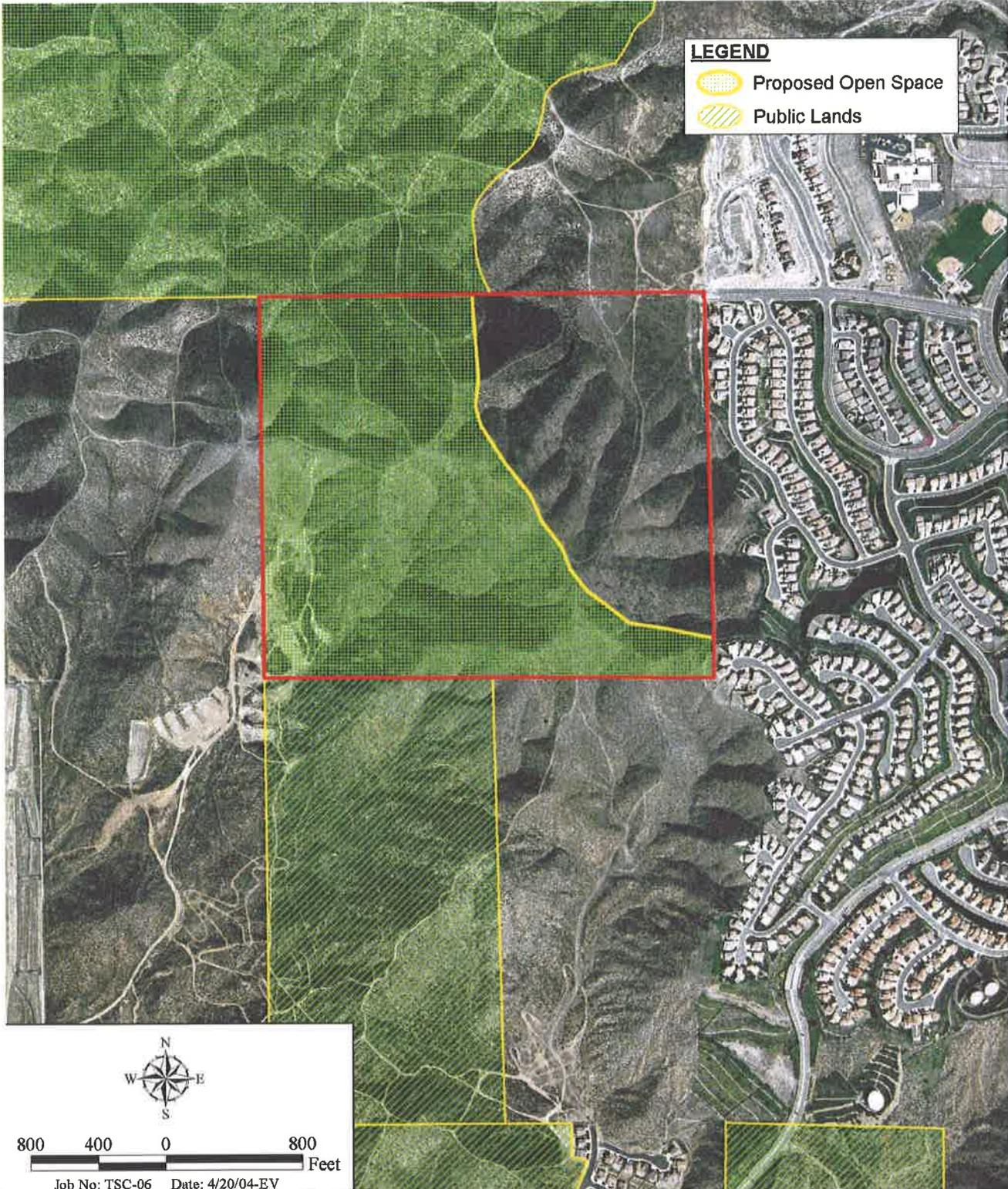


Exhibit 22

May 2005

Proposed Conservation/Development Area

Noise Element - The General Plan of Lake Elsinore indicates that the majority of the existing noise within the City is due to roadway traffic and recreational activities. The General Plan states as a guideline that it should "protect and maintain those areas having acceptable noise environments, and provide for reduction where the noise environment is unacceptable".

The Canyon Creek Specific Plan incorporates design features such as the use of appropriate setbacks and building code requirements to protect the acoustical environment. In addition, noise attenuation walls will be incorporated for areas where potential high noise may occur. Consistency with the noise element is assured through the careful arrangement of land uses, sensitive location of residential areas and siting of structures.

The impacts of noise will principally impact: (1) Tract 20472 (202 lots) adjacent to Railroad Canyon Road; (2) the 350 apartments adjacent to Interstate 15; and (3) Tract 20473 (12.5 acre commercial) adjacent to the I-5 frontage road (identified as Frontier on the land use map).

Tract 20472 (202 lots) is designed with greater setbacks from Railroad Canyon Road and noise will be further buffered by the landscape treatment. The 350 apartments adjacent to Interstate 15 will include fewer windows on the west side, added insulation and a landscape buffer. Tract 20473 (12.5 acre commercial) will be situated at a grade significantly above the Interstate, includes parking and landscaping uses adjacent to the noise source, and will be insulated for sound even though the buildings will not be occupied as residences.

Community Design Element - The Canyon Creek Specific Plan area is currently designated as ~~the Daon Specific Plan area~~ **S/C C Approved Specific Plan** within the General Plan. Community design guidelines state that the basic policy of the City is "to create the highest order of visual continuity and functional compatibility among the various physical and historic components of the Lake Elsinore Community". **See Section IV. E-2 for the Design Guidelines for PA 2 to illustrate how the Community Guidelines will be incorporated.**

The goals, policies, objectives, principles and implementation programs as set forth in the General Plan are incorporated into the design guidelines. The major concerns within the design guidelines are to assure that adequate setbacks are maintained, appropriate buffers are created between various differing elements of the Plan, and that the overall environmental character of the community is preserved. Architectural and landscaping control will be included within the CC&Rs, and the overall Specific Plan area will be visibly compatible with the region. The use of the design guidelines to maintain the necessary controls within the community assure consistency with the community design elements of the General Plan.

Housing Element - The Housing Element of the General Plan will be implemented through the Canyon Creek Specific Plan. The Specific Plan provides for the specific development criteria outlined by the General Plan assuring cooperation between both the public and private sectors. A variety of housing types will be provided to assure that the overall housing needs within the City of Lake Elsinore are met, as well as those anticipated needs which will be created by new types of business and commercial opportunities which will be coming to the City during the next several years. The housing goals and policies of the General Plan will therefore be implemented by the Canyon Creek Specific Plan as it develops uses which are environmentally and socially acceptable and compatible to the Lake Elsinore community.

III. SPECIFIC PLAN LAND USES

A. RESIDENTIAL USES

The Specific Plan establishes a total of 1,100 dwelling units for the Canyon Creek community; **however, with the proposed Canyon Creek Specific Plan Amendment No. 3, the total number of residential units would be 1,152 (see Table 1 Residential Areas Statistical Summary below).** ~~This plan presents more specific information regarding housing types and numbers of dwelling units proposed for the planning area described in the preceding section.~~

A total of ~~six~~ **four** individual product types may comprise the residential component of the community (**single-family detached, townhomes, condominiums and apartments.** ~~Two of the product types (estate lots and s Single-family) homes constitute 750 802 units, or 70% 69% of the project total. The remaining 350 dwelling units are multi-family dwelling units (townhomes, condominiums and apartments). All of the attached/multi-family units are clustered close to the commercial area and all are accessed by a collector level street. All townhomes, condominiums and apartments will be associated with recreation facilities limited to use by residents only~~

See Sections IV. D. Neighborhood Character and IV. E-2 Design Guidelines below for detailed architectural guidelines and standards for PA 2.

A summary of the residential element categorized by planning area is presented in the following **Residential Area Statistical Summary table 1 below.**

**TABLE 2
RESIDENTIAL AREAS STATISTICAL SUMMARY**

Planning Area	Product Type	Tract	Acres of Developed Area	Acres of Open Space	Total Residential Acres	Units	Total Area Density
PA 1	Single Family	20472	32.5	60.5	93.0	125	1.3 units/acre
PA 1	Single Family	20704	90.0	25.4	115.4	258	2.2 units/acre
PA 1	Single Family	20705 (Partial)	40.0	22.0	62.0	155	2.5 units/acre
PA 1	Single Family	20705 (Partial)	41.2	6.8	48.0	130	2.7 units/acre
PA 1	Apartments	20705 (Partial)	16.0	4.0	20.0	350	17.5 units/acre
PA 2	Single Family	32077	58 64.5	82 75.5	140.0 476.4*	134 1,152	.96 units/acre

* Does not include commercial tract 20473 of 12.5 acres

1,152 units divided by 490.90 **gross acres** = 2.34 dwelling units per acre

B. COMMERCIAL USES

The 17.5 acres included in these commercial sites are located at the intersection of old State Highway 71 and San Jacinto river, within the residential core adjacent to the apartment site, and at the east border of the project site. The commercial sites are intended to provide convenience shopping for the future residents of Canyon Creek.

TABLE 3
COMMERCIAL AREA STATISTICAL SUMMARY

<u>Product Type</u>	<u>Planning Area</u>	<u>Acres</u>
Commercial/Business	C-1	12.5
Neighborhood Commercial	C-2	3.0
Neighborhood Commercial	C-3	<u>2.0</u>
		17.5

~~C. COMMUNITY FACILITIES AND SERVICES~~

~~The community support elements consist of 17.5 acres of commercial uses, a fire station site, 14 park sites, 2 soccer/ playing fields, and a system of trails.~~

~~The park sites have been located next to the natural open spaces and in close proximity to higher density development. The community parks are intended to serve the residents of Canyon Creek and will include picnic benches and play areas. The several passive parks adjacent to the San Jacinto River trail system will provide a unique opportunity to enjoy the riparian environment.~~

~~All park facilities will be completed in strict compliance with the standards and regulations of the City of Lake Elsinore.~~

~~The Canyon Creek project will include a child care center capable of caring for approximately 100 children. The facility will be operated by a non-profit organization and will provide services only to the residents of the City of Lake Elsinore. The parking areas at the child care center will be made available for use by the park and soccer facility, after hours and on weekends when the child care center is not open.~~

~~A fire station site will be provided in lieu of fees that would be paid for fire protection services. The aforementioned fire station site will be subject to the Riverside County Fire Department's review and approval. The fire station building will ultimately be used to house additional fire trucks and equipment which may be provided by other adjacent developments such as Canyon Lake Hills and Ramsgate.~~

~~In addition to the recreational hiking trail adjacent to the San Jacinto River, other trails will be included in the Canyon Creek Plan. This comprehensive system links the residential, recreational, open space and commercial elements of the community and encourages alternate, non-vehicular transportation.~~

C. D. LANDSCAPE CONCEPT — San Jacinto Planning Area - PA 1 (See Section V. E-2 Landscaping (PA2) for detailed landscape requirements for the La Strada Planning Area).

The Specific Plan for Canyon Creek includes a landscape concept, to serve as a guideline to enhance the overall character and image of the community. This concept will include landscape treatments for the entries, Railroad Canyon Road, collector streets, local streets, buffers, slope planting and fuel modification/fire buffer zones.

The major community entry zone consists of a landscaped parkway for Canyon Creek Drive between Railroad Canyon Road and the project's northern boundary. The treatment here would include stately trees, grass, project monumentation signs, masonry walls and stamped concrete bands. Secondary entries would be accented with flowering trees and groundcover massing, monumentation signs and stamped concrete bands.

The formal trees of the major entry would be continued along the parkway of Canyon Creek Drive to continue this theme through the backbone arterial of the community. Collector streets would be landscaped in a different character to differentiate their hierarchy from Canyon Creek Drive. A broad spreading evergreen canopy tree with turf groundcover will be incorporated along these streets. Local streets should be treated with various species such as crape myrtle, oleander and honey locust to define neighborhood units.

All manufactured slopes will be planted or hydro seeded with a mixture of trees, shrubs and groundcovers to restore them to a more natural appearance and to provide slope stabilization and erosion control.

The landscaping and buffer areas will be maintained by an improvement district or community facilities district established under the guidelines of 1911-1913-1915 Acts Municipal bonds or the Mello-Roos Act.

See Section V. I-2 for PA 2 maintenance requirements.

D. PARKS, RECREATION AND OPEN SPACE — San Jacinto Planning Area - PA 1 (See Section V. D-2 Open Space (PA2) for detailed park, recreation and open space requirements for the La Strada Planning Area).

The recreation and open space considerations for the Canyon Creek project are a major component of the project theme. The project includes approximately 50% of its area in open space as well as the inclusion of community park areas connected by 9,400 feet of trails.

The general open space of the area encompasses the steeper hillside area preserving the bluff tops and ridge lines from development. In addition, this rockier terrain is characteristic of this portion of Lake Elsinore and is to be preserved so as to include the natural land forms within the project. The second largest open space preservation area is the San Jacinto River and adjacent floodway. This area provides marvelous opportunities for a passive park system and a connecting trail system enabling residents of the Canyon Creek and Canyon Lake communities, and Lake Elsinore as a whole, to enjoy the riparian environment adjacent to the San Jacinto River. This area will also be planted with trees which will utilize the groundwater of the San Jacinto River for growth and will ultimately be a lush natural area.

Canyon Creek will include two major community parks and twelve smaller parks. The improvements that will be made will reflect the standards established by the City of Lake Elsinore for restrooms, fencing, irrigation systems and other pertinent design features. A City chosen landscape architect shall review and comment upon the proposed landscaping plan which will be incorporated throughout the Canyon Creek Specific Plan area. The fee for this review shall not exceed \$2,000 and will be subject to final review and approval by the City Planning Division and appropriate decision-making bodies prior to the obtainment of a Certificate of Use or Occupancy (for residential structures) and prior to construction of the community parks and facilities. Any remainder of the \$2,000 fee becomes property of the City.

The community parks will be improved with picnic benches, restrooms, playing fields and children's jungle gym. Two of the community parks will have major soccer playing fields which can also be utilized for other sports activities requiring large, flat areas.

The passive parks will be wooded and turfing areas which will support picnicking and quieter areas for residents to enjoy. The passive parks in the riparian area will be connected by a vita exercise course.

TABLE 4
PARK AREA STATISTICAL SUMMARY

Community Parks	Acres	Activities (estimated construction date)
CP-1	1.50	Picnic, soccer fields, all purpose courts (1986)
CP-2	2.40	Picnic, soccer fields, all purpose courts, hiking (1985)
CP-3	2.60	Picnic, sand volleyball courts, hiking (1986)
CP-4	1.40	Picnic, General Plan area (1986)
CP-5	1.57	Picnic, all purpose courts (1987)
CP-6	<u>2.00</u>	Picnic, sand volleyball courts (1987)
	11.47	
PASSIVE PARKS		
PP-1	.30	
PP-2	.78	
PP-3	1.00	
PP-4	.69	
PP-5	.26	
PP-6	.69	
PP-7	.75	
PP-8	1.61	
TOTAL ACREAGE OF PARKS	17.55	

The entire park system will be interconnected by a 9,400 foot trail system. This trail system may also serve to connect the individual neighborhoods within the development so that there is an alternative to the circulation system. The anticipated local community park sites will be dedicated and improved pursuant to the requirements set forth in the Parkland Dedication Ordinance. **See Section V. I-2 for PA 2 maintenance requirements.**

E. F. CIRCULATION

Canyon Creek is bounded on its southern border by Railroad Canyon Road and generally on its western perimeter by Interstate 15. These two roads provide the major connecting link to regional systems outside of the Lake Elsinore area. They also provide access to areas of Los Angeles, San Bernardino, Riverside, Orange and San Diego Counties.

Access to the project site will be obtained through the construction of a bridge across the San Jacinto River adjacent to Interstate 15. This roadway will become the major circulation system for Canyon Creek as well as for the Canyon Lake Hills Specific Plan area. The portions of the project site

which have access without crossing the San Jacinto River include residential neighborhood R-1 which is adjacent to Railroad Canyon Road, and commercial area C-1 which lies between Interstate 15 and the western frontage road. Access to these two parcels will be from existing roadways.

A secondary access to the site will be a northern connection to Franklin Street. The third point of access will be realized when Canyon Creek is connected to the ABC Heritage project.

Road Systems - The internal road system for the Canyon Creek project is designed to provide convenience and safety to users. The system provides for major collectors which will transport the majority of the traffic with smaller surface collectors to provide access to individual dwelling units.

Part of the recent MSHCP approval for the City of Lake Elsinore included an access road through a portion of the remainder parcel in PA 2. The access road is for the purpose of allowing vehicular access to serve the residents within PA 2. See Exhibit 26, Tentative Tract Map, for the proposed conceptual road alignment.

The access road into PA 2 shall be a separate work of improvement from the proposed Canyon Creek Specific Plan Amendment No. 3. Therefore, the road improvement project shall have a separate CEQA review process.

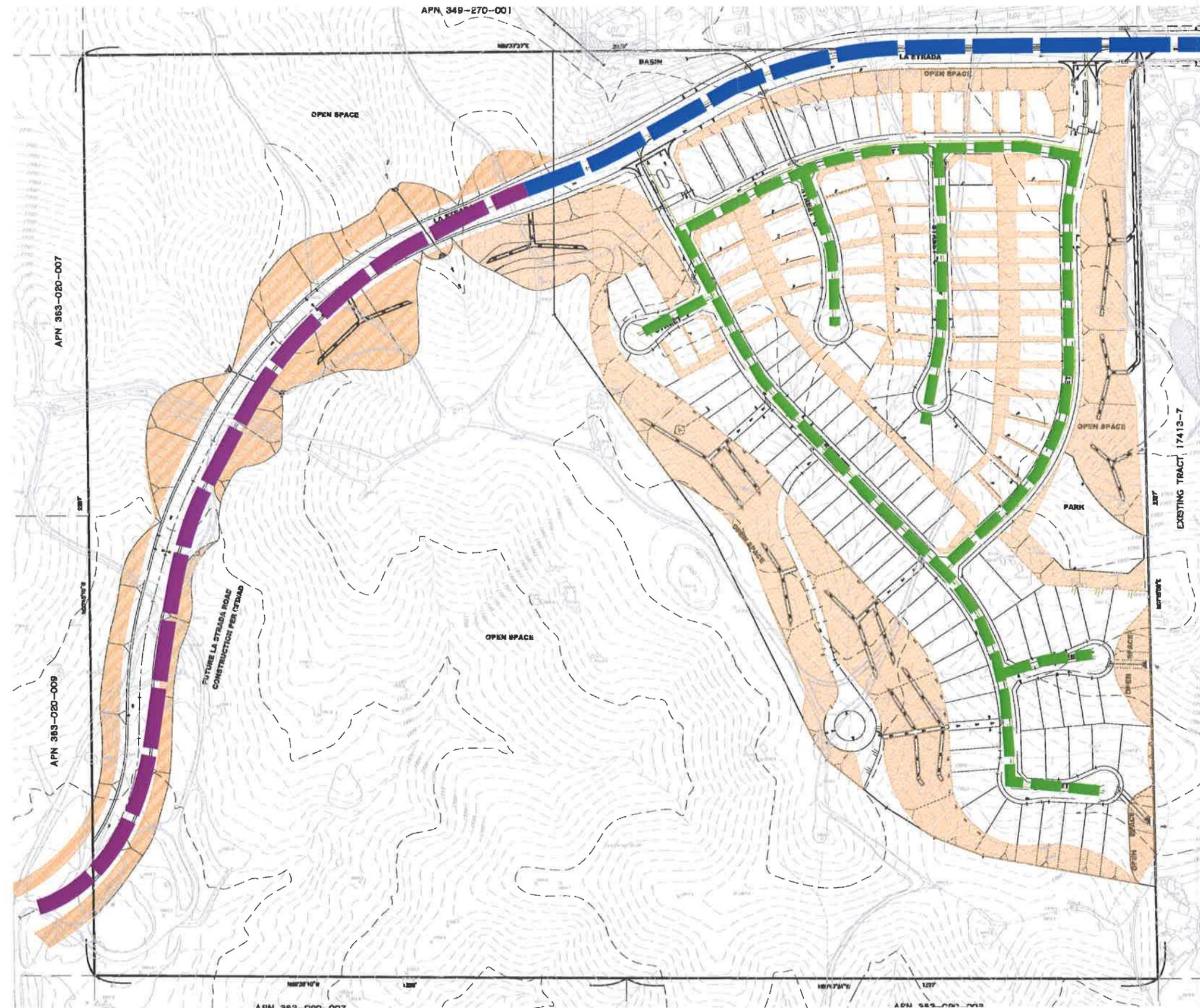
Bicycle Trails. A system of local bikeways is proposed within the Canyon Creek community. This bike trail will connect as many of the local neighborhood areas as is practical to assure a flow of bicycle traffic which does not interfere with other transportation considerations. These bikeways will connect the parks and open space areas as well as the community center and the parks and open space areas as well as the community center and the major points of destination and commercial areas.

Public Transportation. Currently, the City of Lake Elsinore transit system (L.E.T.S.) provides service within the City limits. It is anticipated that the L.E.T.S. will connect the existing transit system to the Canyon Creek community. Canyon Creek will work with the transit system to assure that the appropriate transit facilities are constructed, with considerations for parking, bus stops (designed to L.E.T.S. requirements), adequate turning radii, and pedestrian access. These facilities will be consistent with the policies established by the City of Lake Elsinore General Plan in its Circulation Element.

CANYON CREEK
Specific Plan



Planning Area No.2



Legend

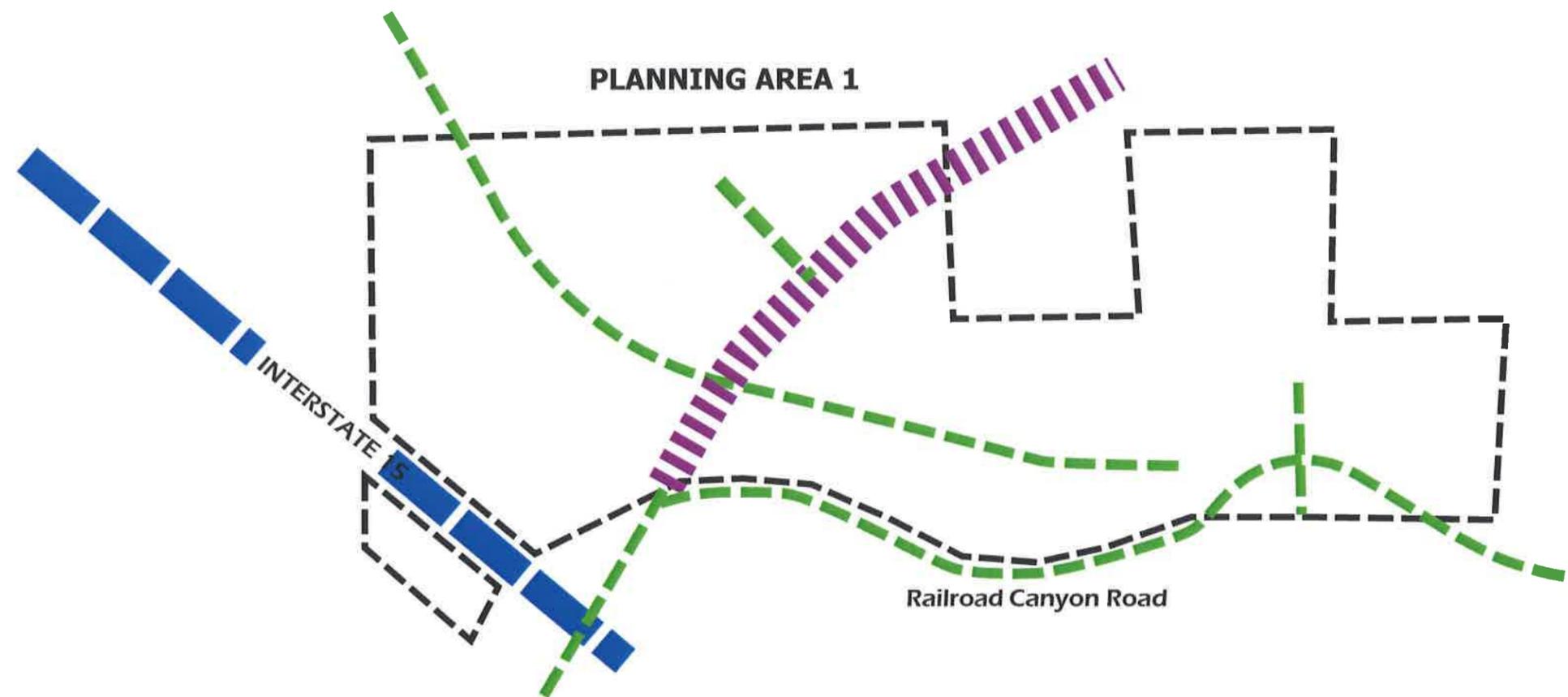
- Public Street (La Strada Rd.) 90'
- Public Street (La Strada Rd.) 68'
- Private Street

Note:
Road width may vary based upon
final alignment and/or engineering





Planning Area No. 1
Planning Area No. 2



Legend

-  Interstate 15
-  Community Collector
-  Residential Collector
-  Modified Secondary - 90'
-  Modified Secondary - 68'

Note:
Road width may vary based upon
final alignment and/or engineering



Canyon Creek Specific Plan Amendment No. 3

The roads in the La Strada planning area are proposed to have a fifty-two (52) foot right-of-way (see Exhibit 40, Private Street Cross Section). The La Strada planning area will be a gated community with privately maintained streets. Like the rest of the Canyon Creek Specific Plan, PA 2 shall be designed to provide a safe and convenient internal network of roads that will allow movement to all areas of the neighborhood.

In addition, a pedestrian network has been established with the idea of promoting non-vehicular travel and connectivity to all areas within PA 2 and to the community at large via pedestrian walkways.

IV. FEATURES DESIGN

A. INTRODUCTION AND SUMMARY

The Features Design for the Canyon Creek Specific Plan provides guidelines for subsequent development of the Specific Plan areas. The guidelines will provide for a more harmonious community through providing relationships connecting the various aspects of the site plan. These guidelines should be utilized as the basis for establishing future implementation of the Specific Plan or any amendments to this Specific Plan (**see Section V. J, Specific Plan Modifications for the Specific Plan amendment process**).

The Features Design provides for a landscape guideline and typical building exteriors to be utilized in future planning. The purpose of this section of the Specific Plan is to discuss those features and the materials which will be utilized within the project.

See Section IV. E-2 below for detailed Design Guidelines for the La Strada Planning Area (PA 2).

B. LOCATION OF FEATURES

The locations of the major features of the project were initially determined by the areas which could be developed with minimal grading. Within these development areas, specific land uses were derived which would concentrate higher density uses near more readily available circulation units with less dense uses in areas on the development fringe. Parks and trail systems are utilized to provide each neighborhood with a feeling and theme and to provide a method of access and relationships between neighborhoods. The linking of these neighborhoods is also obtained through common area greenbelts and drainage systems which are utilized by more than one neighborhood.

The construction of these connecting links requires adherence to design parameters which will not only maintain the aesthetics of the project, but will provide for easy access and orientation. A strong street signage program and land use signage program will be implemented so that visitors can identify their destinations readily regardless of whether they are traveling by foot, bicycle or automobile. Signs will be placed at each intersection to identify streets. The major parks will be identified by entry signs and directional signs will be included on the Vita Course adjacent to major facilities such as the soccer field and the commercial center.

C. ACTIVITIES CENTERS

There are several areas within the Canyon Creek project which are designed as activity centers.

The integrated passive and improved park system is a major feature of the Canyon Creek community. The parks provide an area for gathering and resting with some parks having special uses such as soccer fields or other multi-purpose playing fields.

Community greenbelts function as more passive park areas and also in many cases include the drainage courses which are utilized to provide for the control of runoff from the project site. These greenbelts also maintain the theme of the project by providing larger greened areas which will be landscaped and maintained by a community association with project theme plantings.

The shopping and commercial areas within the project will be major gathering areas for the community and will thus serve as activity centers. The parking lots and pedestrian plazas will be connected to the streets and sidewalk system within the Community.

The natural open areas may function as activity centers although their use may be for the most part visual and to act as a buffer zone to adjacent developments.

D. NEIGHBORHOOD CHARACTER

Canyon Creek is divided into four residential neighborhoods. Neighborhood 1 includes low density and medium density development adjacent to the San Jacinto River and Railroad Canyon Road. Neighborhood 2 lies on the north side of the San Jacinto River and south of Canyon Creek Drive and includes medium density single family detached housing units. Neighborhood 3 is north of Canyon Creek Drive and includes both moderate density single family detached units and high density apartments. Neighborhood 4 is a separate 1450 acre parcel which includes low density single family detached estate lots.

Commercial area C-1 includes the area to the west of Interstate 15. Commercial area C-2 is located in the western portion of the Canyon Creek project site adjacent to the apartment site and provides a central focal point for the community. Commercial area C-3 is situated to the eastern portion of the project site adjacent to Railroad Canyon Road and will be a small convenience oriented center serving those areas.

E-1 DESIGN GUIDELINES — San Jacinto Planning Area - PA 1 (See Section E-2 below for detailed Architectural Design Guidelines for PA 2).

It is the policy of the City of Lake Elsinore to create the highest order of visual continuity and functional compatibility among the various physical and historic components of the Lake Elsinore community. The building materials and landscaping utilized throughout the Canyon Creek project will establish the format for the theme of the project. The community design codes and policies identify the considerations in the General Plan which will be applied by the Canyon Creek Specific Plan.

The Canyon Creek development will be concentrated on the flatter portions with less varied topography to preserve the open space and views of the higher elevations of the property.

Each residential neighborhood and commercial area will be emphasized through the general quality of design. High intensity uses will be concentrated in areas containing less sensitive land forms to result in a minimum disturbance of the natural terrain.

Streets will be designed for the most effective transportation and circulation opportunities to concentrate flows on the major streets and minimize traffic flows on residential collectors.

All utilities will be installed underground and all television antennas protruding from rooflines and dish type ground antennas shall be prohibited.

All buildings will be constructed within the existing codes of the City of Lake Elsinore.

Street systems will provide safe, attractive scenic routes to serve automobiles, bicyclists and pedestrians. A street identification and directional signage program will be utilized to clearly mark -routes of travel.

Narrower streets and building pads will be utilized to allow the clustering of development on the more gentle natural slopes. Grading will be minimized and structures will be designed to make use of the natural land forms.

The visibility of major destination areas will be maintained to aid in establishing spatial orientation.

Parking lots on street frontages will not be allowed so as to prevent distraction from street landscaping and traffic control features.

Appropriate plant materials will be utilized to visually screen residential uses abutting on major thoroughfares. A consistent pattern of trees at regular intervals will be used to identify major streets.

Street lighting will recommend the design of low sodium, low intensity lights to provide adequate help and safety without increasing illumination beyond a desirable level.

Circulation - The scenic quality of Canyon Creek Drive will be maintained through design to enhance the circulation through Canyon Creek and the adjacent Canyon Lake Hills project. All landscape buffers and walls will be of a unified design with respect to materials, height and color.

Community activity centers will include clustered parking lots and transit stops buffered and screened from adjacent land uses and public view.

Bicycle and hiking trails will provide a secondary circulation system. Pedestrian access will be provided through a system linking residential, commercial and recreation areas.

View sheds will be maintained and provided through street system design. Street systems will generally follow natural landforms, considering view logic and physical conditions, proposed land uses, and ecology.

Sight distance will be preserved through the design of intersections. Carrying capacity of streets will be based on traffic volumes generated by community design.

Engineering for hillside streets will consider alterations to topography, landforms, and grading.

Landscaping.

Hillside areas will be buffered from residential areas by view modification and irrigated greenbelts. Transition areas will utilize native, drought tolerant and fire resistant plantings. The hillside trees include oak, pine and pepper with sycamore and poplar trees planned for the riverbanks. Eucalyptus will be used in skyline areas and existing cottonwood groves will be retained.

Landscaping should be planted in groupings to ensure both community design and theme. Planting will utilize irrigation systems and other practices that reduce maintenance requirements.

Street signs and directional programs are to be established to aid in community character identity as well as to aid travelers in finding their destinations.

Street and directional signs will be of a size and design to be compatible with the overall character of the community.

Street lighting systems will use low profile standards with minimum light to reduce sky illumination.

Buildings should be designed to compliment site topography and orientation.

The size and design of structures should compliment the community character and the site orientation.

Energy efficient measures, including use of landscaping and solar orientation will be implemented in order to minimize long-term heating/cooling requirements.

Architectural theme should be compatible with the Lake Elsinore community and Canyon Creek.

Grading. Grading shall not exceed a two to one slope so as to maintain the natural topography.

All disturbed materials as a result of grading will be planted and irrigated in accordance with the City ordinance.

Grading and landscaping will result in natural contouring of landforms with appropriate transitions at both the top and the toe of the slopes.

All grading will be done in accordance with the City's grading and subdivision codes.

Where cut or filled slopes exceed thirty feet in vertical distance, the horizontal contours of the slopes should be curved in a fashion with varying radii to transition into the natural terrain.

Grading should be in compliance with all normal practices considering geological and soils constraints. Grading shall be minimized in areas with sensitive topography.

Drainage. Drainage protection devices should incorporate and utilize natural environment rock and riprap as well as soils, cement, or similar methods.

Natural drainage flow lines should be considered with the design of hydrology control features, natural drainage courses should be protected in natural conditions.

Infrastructure. All infrastructure facilities will be designed to be underground, to require minimal maintenance and to provide a level of service to meet the future demands of the community.

Drainage improvements will be designed to compliment the natural character of the site, and will be provided to minimize impacts on downstream properties.

Utilities will be placed in right-of-ways specifically developed for that use. Utility fixtures will be located and screened in order to reduce their visibility impact on the community. The use of low profile and attractive fixtures or enclosures will be incorporated within the design.

Energy Considerations. Solar orientation and passive solar considerations will be incorporated into the site plans for the neighborhood communities.

Structures will have considerations for solar heat transfer systems, including pools, hot tubs, spas, multi-family use areas and commercial areas. **All homes shall be constructed in compliance with Title 24 requirements. However, additional energy efficient features such as waterless urinals and solar heating should be considered. If such features are similar in cost to standard construction, they should be utilized where appropriate.**

The placement of trees and landscaping shall consider solar orientation and uses through the placement of trees to shade areas during the summer period and the use of deciduous species which will allow sun to penetrate living areas for heating purposes during winter periods.

Materials such as clay, stone and wood and natural products which have a minimum energy demand for production will be utilized for use throughout the Canyon Creek community.

Public health and safety considerations will be maintained through the use and design of street lighting systems utilizing low pressure sodium bulbs and low profile lighting fixtures.

The City of Lake Elsinore building codes and regulations will be utilized to control energy requirements within each new structure planned for the site.

Phasing. The Canyon Creek project is planned to be phased during the next three years as depicted on the following exhibit. Tracts 20472 and 20473 will be constructed first due to their proximity to existing roadways. The

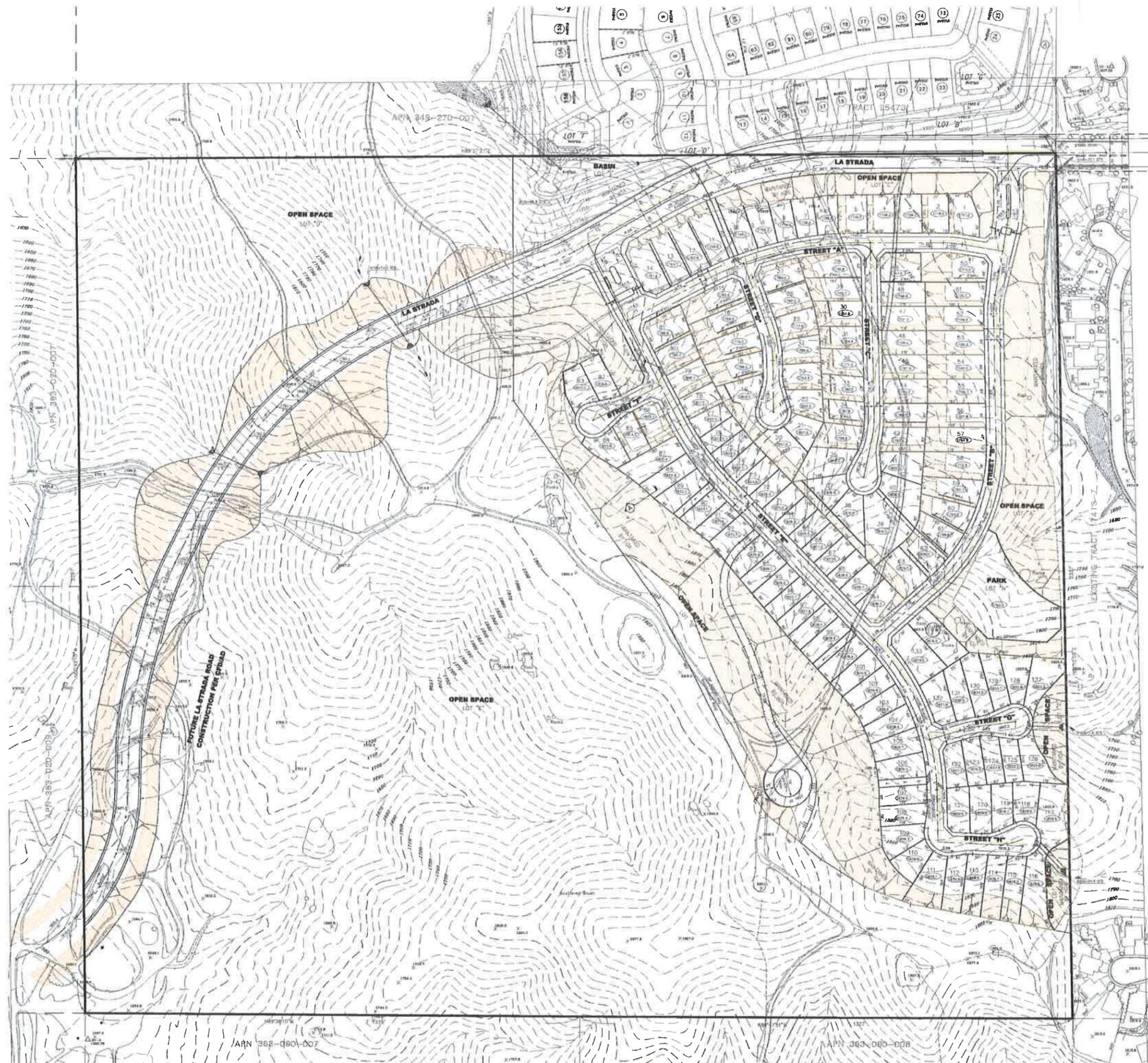
remainder of the project will be constructed following the construction of the road and bridge crossing the San Jacinto River. Tract 20705 could be constructed earlier if access is taken at Franklin.

Circulation Systems - Public services and infrastructures will be provided at a level commensurate with the new demand of the development period. The construction of the circulation system elements shall be phased as required to provide necessary access to the various neighborhoods within the Canyon Creek project site.

CANYON CREEK
Specific Plan



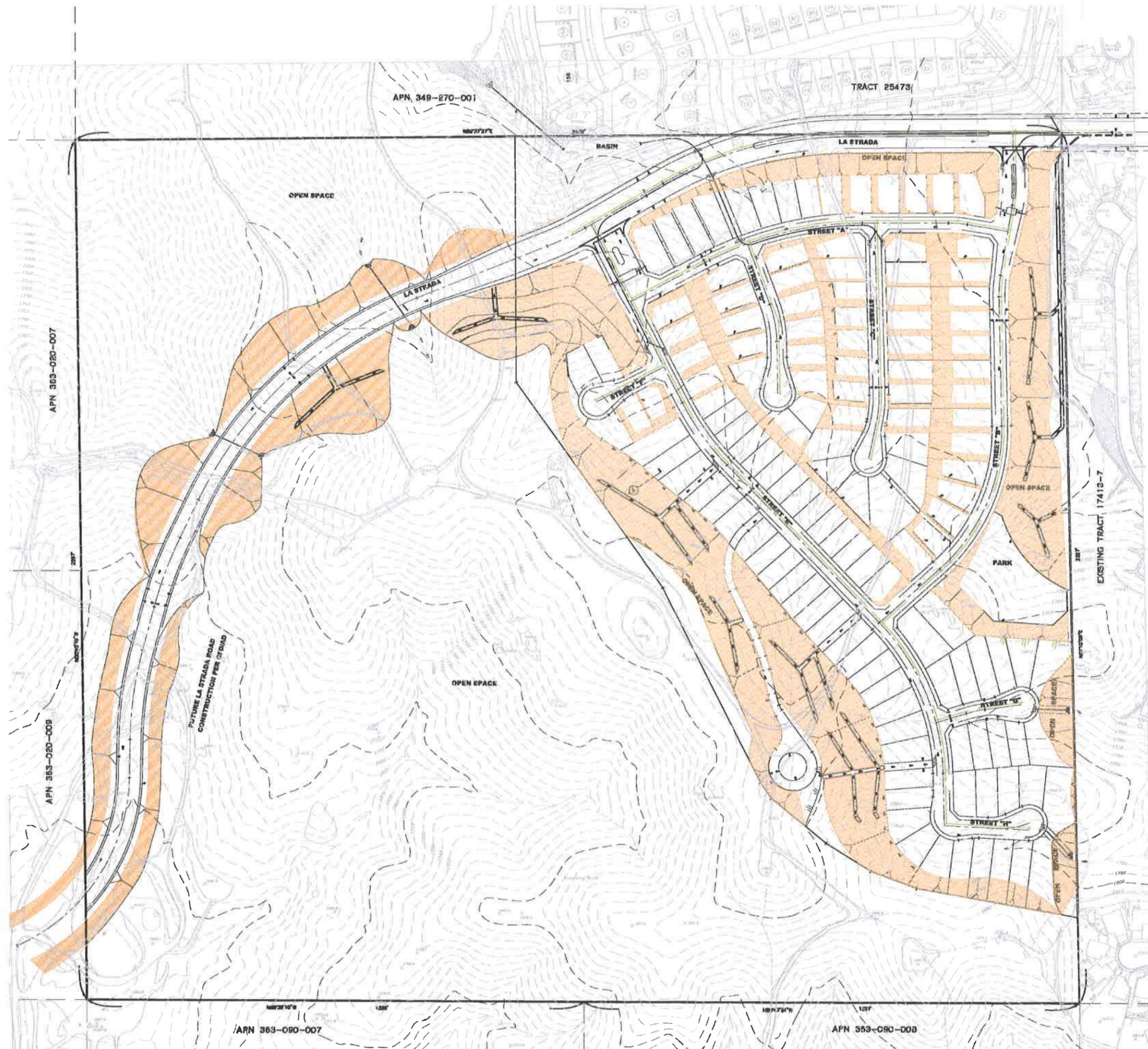
Planning Area No.2



CANYON CREEK
Specific Plan



Planning Area No.2



E-2 Design Guidelines, La Strada Planning Area (PA-2)**i. Purpose:**

The residential architectural design guidelines are intended to create general design criteria and guidance to direct the developmental outcome of the La Strada community. It is the goal of these guidelines and standards to create a unique community, reminiscent of the heritage of the area. The architectural styles for this Planning Area have been carefully chosen to compliment and be compatible with the adjacent Tuscan Hills development. Their stunning uniqueness creates a sense of neighborhood character and distinct identity.

The site planning design philosophy of PA 2 is to create single-family residences, which incorporate private interior courtyards that are internal outdoor spaces or “rooms” in exchange for a front yard that isn’t extensively used (see Typical Plotting Plan, Exhibit 35). Although most homes in PA 2 will have a standard front yard, it is believed that strategically integrated outdoor spaces create a more unique and livable home. Outdoor rooms that are purposefully incorporated into the footprint of the home will be utilized much more than a typical front yard as these outdoor rooms are more private spaces and create a seamless transition to the outdoors. Therefore, interior courtyards are strongly encouraged.

Moreover, the outdoor rooms or courtyards have an additional and equally important benefit to the home. As illustrated in the sample Tuscan right side elevation (Exhibit 32), the outdoor room breaks up the bulk and massing of a two-story structure by creating offsets, openings and relief to the building elevation, which greatly enhances the overall appearance of the home.

Because outdoor rooms have such a positive aesthetic effect, the corner homes in PA 2 are required to have the side courtyard elevation facing the street (exterior side yard) to create a softened and visually pleasing streetscape. Therefore, the design guidelines and standards require the use of these spaces to contribute to the unique, comprehensive, high standard of architecture and site planning within the La Strada community.

The following general design guidelines shall be implemented when designing homes in the La Strada Planning Area:

- Design a community that considers the topographic, geologic and hydrologic environmental opportunities and constraints of the site.

-
- A community that reflects anticipated marketing needs and public demand by providing quality housing, that will be marketable within the developing economic profile of the City of Lake Elsinore.
 - Provide planning provisions for a safe and efficient circulation system composed of a network of planned local roadways designed for appropriate traffic and user needs.
 - Create a high standard in neighborhood design and implement this concept consistently throughout an entire new community creating an identifiable, unique and desirable place to live.
 - Architecture detailing and massing to be applied to all structures and facades that are visible from streets or open spaces.
 - Create neighborhood designs that integrate architecture, site planning and landscape.
 - To the extent feasible, protect natural features and environmentally sensitive features of the site.
 - Create interfaces between distinctly different characteristics of existing neighborhoods or open space areas.
 - Create a distinct sense of “neighborhood and place” by designing attractive and comfortable street scenes and street spaces.
 - Plan and design streets that are visually integrated into the landscape by giving consideration to the natural topography and natural features of the site.
 - Design a community that incorporates neighborhood open spaces, recreational amenities and pedestrian pathways.
 - Incorporate pedestrian connectivity throughout the site and to the adjacent community via pedestrian sidewalks.
- ii. Design Intent and Elements of a “Great Neighborhood”
- The principal design criteria and architectural styles are not intended to be restrictive, but are meant to assist in the design, processing, and implementation of a higher level of design direction and quality.

The following are intended as parameters for concept designs:

- **Specific interpretation of styles within constraints and consistency of site planning, landscape, and architecture.**
- **Execution of architectural styles and design features to be compatible with, and compliment, the adjacent residential development, yet maintain an individual community character and charm.**

The following parameters are to be avoided in concept design:

- **Harsh contrasts of materials and/or colors.**
- **Inappropriate sensitivity to scale.**
- **Poor selection and execution of details.**
- **Extreme interpretations of the characteristics for each style.**
- **Lack of window treatments, which result in flat, blank walls specifically on the rear and side elevations, adjacent to streets or other public spaces.**

**INNOVATIVE
ARCHITECTURAL CONCEPTS**

**SUCCESSFUL SITE DESIGN
TECHNIQUES**

Architecture forward (when possible)

Variable front yard setbacks
Site homes to allow private interior courtyards or outdoor rooms in lieu of little used front yards

Varied garage placement

Curb-separated sidewalks so the pedestrian does not walk adjacent to the street

Eclectic variety of compatible architectural styles

Street trees program

Wrap around architecture

Pedestrian connections throughout the neighborhood

Varied roof heights and pitches create a custom home feel

Shortened streets

Color pallettes selected per styles – over time, the addition and deletion of color schemes create a unique feel

Placement of homes to take advantage of the solar orientation of the lot.

iii. Architectural Styles

The architectural themes chosen for PA 2 were intentionally selected as styles that are not only compatible with the adjacent residential development, yet unique enough to have inherent attractiveness and sense of elegance to create a neighborhood identity and character.

The proposed architectural styles include, but are not limited to the following:

- **Early Californian**
- **Italian Mediterranean**
- **Tuscan**
- **Santa Barbara**

It should be noted that the architectural renderings on the following pages are representative of concepts envisioned for the La Strada Planning area. The intention is to incorporate many of these design features into the proposed community. However, it must be acknowledged that these concepts may be subject to future refinements based upon economic, marketing, detailed engineering and other factors. Therefore, the renderings shown are not intended to be exact duplicates of the future product types, but samples of quality design elements. Lastly, additional architectural styles may be permitted within PA 2 if it is determined by the Director of Planning that these style meet the intent and quality of the Design Guidelines and that they are compatible and complementary to the other proposed architectural styles presented in the Specific Plan.

**CANYON CREEK
Specific Plan**



Planning Area No.2



EARLY CALIFORNIA

APPROPRIATE STYLE ELEMENTS:

- Two-story massing with horizontal design elements integrated with one story elements
- Simple hip and gable roofs with one main gable roof
- Roofs are encouraged to have the following features: 4:12 to 5:12 roof pitches with 3:12 pitch breaks at porches and balconies and overhangs
- Covered entry with stucco or wood columns
- Second story cantilevered balcony with wood columns and iron or wood railings
- Exposed wood rafters tails
- Spanish S-shaped or flat concrete tiles
- Smooth to light sand finish or light lace stucco finish
- Recessed windows with wood lintels
- Decorative niches above second story windows
- Wide range of light earth tones and wood trim

Note: The architectural drawings are intended to demonstrate a style and to be inspirational; they are not meant to be construed as a rigid formula for design.



ITALIAN MEDITERRANEAN

APPROPRIATE STYLE ELEMENTS:

- Simple hip or gable roof, may have a projecting wing with a 4:12 roof pitch
- Arched or rounded covered entry portal with recessed front door
- Second story stucco balcony
- Iron balconet with decorative wood or stucco trim element
- Arched windows
- Exposed wood rafter tails or tight stucco eaves
- Recessed garage doors
- S-shaped or Roman pan concrete tiles
- Fine to light sand finish stucco with a mid value saturated colors
- Decorative niches and iron or metal accent pieces.
- Broad chimney with cap detail

Note: The architectural drawings are intended to demonstrate a style and to be inspirational; they are not meant to be construed as a rigid formula for design.



TUSCAN

APPROPRIATE STYLE ELEMENTS:

- Gable roofs with a 3½:12 to 4:12 roof pitch
- Tight roof overhangs with exposed rafter tails
- Arched or rounded covered entry with furred out front door
- Use of stone or veneer entry towers and intercepting two story element
- Fine to light sand finish stucco or mid value saturated colors or a wide range of light earth tones and wood trim
- Second story balcony with wood or wrought iron (metal) railings
- Recessed window with simple trim and shutters
- Recessed garage doors with wood unrels
- Barrel or S-shaped concrete tiles

Note: The architectural drawings are intended to demonstrate a style and to be inspirational; they are not meant to be construed as a rigid formula for design.



SANTA BARBARA

APPROPRIATE STYLE ELEMENTS:

- Hip and gable roof design with tight stucco eaves
- 4:12 to 5:12 roof pitch
- Defined arched covered entry with furred out front door
- Exposed wood roof beams or rafters on both stories
- Second story balcony with wood or iron balconet with decorative trim element
- Accent arched window with decorative trim
- Recessed out garage doors
- Barrel or S-shaped concrete tiles
- Fine to light sand finish or stucco with a wide range of light earth tones and contrasting trim
- Iron or metal accent pieces
- Chimney cap with detail

Note: The architectural drawings are intended to demonstrate a style and to be inspirational; they are not meant to be construed as a rigid formula for design.

CANYON CREEK
Specific Plan



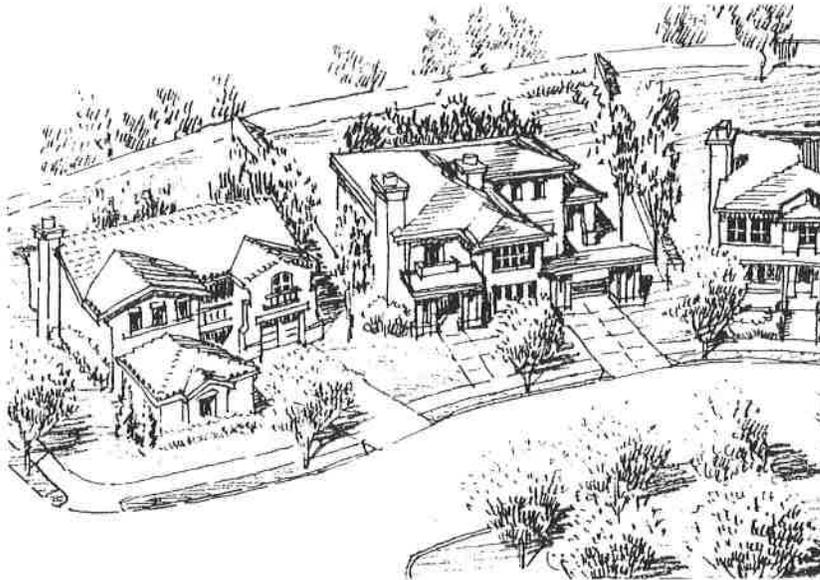
Planning Area No.2



TUSCAN RIGHT SIDE ELEVATION

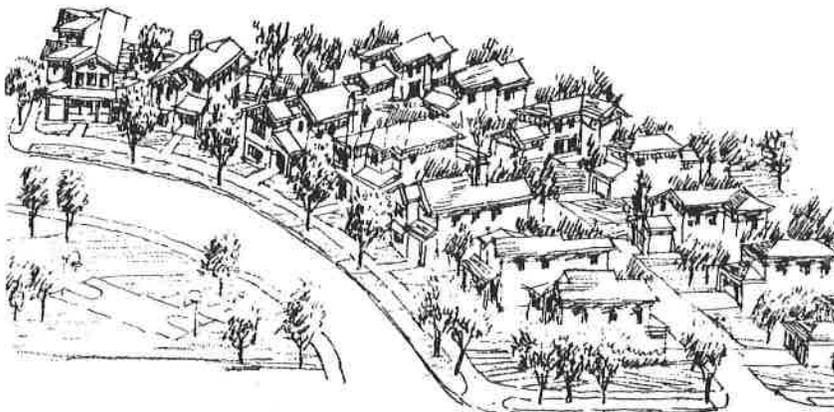
The following design features are present at the the existing adjacent Tuscany Hills residential development and are strongly encouraged to be incorporated into the site planning and architectural style within PA 2:

- **Varying building setbacks**
- **Second stories that are offset to reduce the appearance of the bulk/mass of the home**
- **Arched windows**
- **Recessed garages and windows**
- **Exposed rafters at eaves**
- **Wrought iron fixtures and accent elements**
- **Second story balconies**
- **Varying roof heights and pitches**
- **Narrower streets**
- **Double set of entry walls and view fencing**
- **Varying building setbacks**
- **Recreation center of quality architecture with accenting stone, covered trellises, shaded tot lots and architecturally charming light fixtures**
- **One-story elements sited at the corner of corner lots**



iv. PRINCIPAL DESIGN CRITERIA

One important goal of these guidelines is to create a street scene possessing both functional and visual variety. Plotting and massing garage placement and building elevation criteria are intended to provide this variety in appearance, as well as a sense of individuality for each detached home. Projects where nearly identical buildings line streets without variation in placement and architectural form are not encouraged. The following sections list plotting and massing garage placement and building elevation techniques which will aid in the creation of a “successful street scene.” While it is not necessary that every method be utilized, selective and appropriate use shall greatly contribute to achieving the desired results.



a. Plotting, Massing and General Neighborhood Criteria

The required standards listed below summarize the desired community setting and street scene characteristics for PA 2:

- **Incorporate private, interior courtyard spaces or outdoor rooms instead of large front yards.**
- **Open corner lots by operating the courtyard and outdoor rooms facing the street.**
- **Give attention to composition of the building mass.**
- **Minimize the visual impact of the garage by offsets, recessions or breaking up three car garages, and utilizing tandem and split garages when possible.**
- **Shorten streets and provide curb separated sidewalks to enhance the pedestrian experience within the neighborhood.**
- **Step back or cantilever second stories and vary roof planes.**
- **Incorporate single story elements into two story buildings.**
- **Provide innovative plans and avoid repetitious plans and footprints.**
- **Vary setbacks at porches, living, and garage areas.**

b. Setbacks

A variation of setback for each home is encouraged along the street frontage. Strict compliance to the minimum garage setback is discouraged so as not to contribute to a repetitious and monotonous appearance along the street.

Variable Front Yard Setbacks

House forms and plans that result in a variation of front yard setbacks are encouraged to create more interesting neighborhood street scenes.

Neighborhood Edge Treatments

In order to avoid a continuous “walled” character along residential collector streets, special treatments will be required in selected locations. These may entail view fencing, hedges, shrubs, neighborhood street tree programs, pedestrian pathways, and variable wall alignments and treatments. These treatments will be consistent with

Exhibits 48, Wall and Fence Plan and Exhibit 49, Wall and Furniture Details Plan.

Pedestrian Walkways and Connections

All neighborhoods shall be laid out in a manner which provides pedestrian access throughout the neighborhood and connections into the community at large. Pedestrian connections shall be provided via a pedestrian pathway or sidewalk. Pedestrian sidewalks shall be curb separated on the private, internal roads within PA 2.

Garage Placement

The home, rather than the garage, should be the primary emphasis of the elevation as seen from the street. A variety of the garage placement solutions are discussed below. Minimum driveway length from garage doors shall be seventeen (17) feet from back of sidewalk, excluding the turn in garages.

Shallow Recessed Garages

Setting the garage back a minimum of three (3) feet in relationship to the front of the house strives to reduce the overall visual mass of the garage.

Turn In Garages

Breaking up a three car garage or placing a two garage parallel to the front property line diminishes the impact of the garage doors. Thus the garage looks like an extension of the architecture, not a predominant architectural feature of the home (see Exhibit 35 Typical Plotting Plan).

Tandem Garage

This concept de-emphasizes the third garage by concealing it behind a standard two car garage condition. The tandem garage, with a separate third car is encouraged as it minimizes the garage doors, allowing for more architecture and improves the streetscape (see 36, Typical Plotting Plan).

a. Building Elevations

Building elevations may be formulated to reflect interior uses, and to create a positive relationship with the specific plotting, and to reflect the architectural style.

Exterior mass and form shall be manipulated to improve the streetscape by controlling the impact of the homes as they relate to the street, setbacks, adjacent lots, and corner plotting conditions.

Single Story Elements

One technique in creating a sense of variety within a street scene is to vary the heights and massing with single story elements when appropriate given the architectural style. Whether by utilizing a porch, front patio, intercepting roof, internal courtyard or reduced height living area, the single story element introduces the transition element that is necessary for undulation and variation in front and side elevations.



Single Story Elements

Recessed Front Second Story

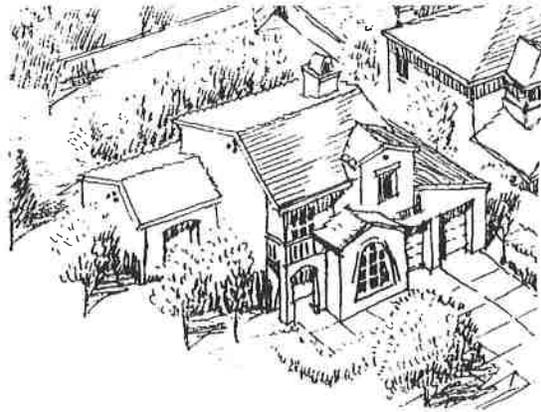
Stepping of second story mass may be used to improve the street scene. As an example, the second story can be set back in relation to the garage face below it or cantilever over the first story when appropriate given the architectural style.



Front Porch as Single Story Elements

Roof Form

Rows of homes seen from a distance or along arterial roads are perceived by their contrast against the skyline or background. The dominant impact is the shape of the building and roof line. Articulate the rear elevation and roof planes to minimize the visual impact of repetitious flat planes, similar building silhouettes and similar ridge heights. Provide varied rear elevation massing when exposed to public view.



Roof Form – Varied Ridge Heights

Corner Plotting

All corner homes are encouraged to have an interior courtyard or outdoor room elevation facing the street side yard.

Secondary Exterior Elements

The list below represents additional character elements to be reviewed for consistency with the architectural theme. These elements typically go unnoticed as part of the architectural background in neighborhoods, but can add to the overall charm and character of the community.

Appurtenant Structures

Any detached structure to be used as living space shall conform to the design standards of the existing home on the lot. Walls for exterior courtyards or patios are encouraged to create a varying building setback and enhance front elevations, and shall not be subject to the setback requirement of the primary structure.

Awnings

Metal awnings are prohibited.

Stairs and Steps

Exterior stairs that are designed for access to second story living areas shall be designed to be incorporated and articulated into the theme of the home.

Gutters & Downspouts

Exposed gutters will be colored to match the roof or wall material. Exposed downspouts will be colored to match the surfaces to which they are attached.

Mailboxes

The type of box shall be integrated into the architecture and approved by the U.S. Postmaster.

Meters

Both gas and electric meters, and cable panels shall be screened from view and integrated into the architecture as permitted by the individual purveyors.

Mechanical Equipment

All air conditioning/heating equipment, soft water tanks, pool and spa equipment, and electric self-timer boxes for sprinklers or exterior landscape lighting shall be screened from public view.

Patio Structures/Gazebos

The use of patio structures is encouraged. Such structures shall be integrated into the building form to add articulation to otherwise large unbroken vertical wall masses.

Roof Flashing and Vents

All flashing and vents shall be colored to match the material to which it is attached.

Sky Lights

Skylights shall be designed as an integral part of the roof. The glazing shall be clear or solar bronze; white glazing is prohibited. The framing materials shall be colored to match or blend with the roof.

Trash Containers

Space shall be provided in an adjacent side yard or interior portion of garage to handle the size of at least three waste containers.

V. SPECIFIC PLAN IMPLEMENTATION

A. SUMMARY

This Specific Plan outlines the general guidelines established for the community as a whole as well as the residential and commercial elements. Any items not specifically itemized by the development guidelines of the Specific Plan shall be subject to the City of Lake Elsinore Grading, Land Division and Zoning Codes. **The Planning Director has the authority to make an administrative determination on any interpretation, policy guideline or standard that is not specifically addressed in the Specific Plan. Such determination shall not constitute or require a Specific Plan Amendment but provide clarification as that the intent of the Specific Plan is met and implemented.**

All planning areas designated for residential use may be developed ten percent above or below the total number of units for the planning area contained in the statistical summary, so long as the total number of dwelling units within the Canyon Creek Specific Plan area is not exceeded, and is found to be consistent with the General Plan. No amendment of this Specific Plan shall be required for the sole purpose of changing the number of dwelling units in residential planning areas.

Certain areas within the Specific Plan areas will be privately owned and fenced, although maintained by a maintenance association. These areas, which may also include easements for infrastructures, will have development limited through the use of deed restrictions or other restrictive techniques to preserve the intended use as open space and/or as utilities corridors.

Canyon Creek Specific Plan Amendment No. 3

The Canyon Creek Specific Plan Amendment No. 3 is being proposed to amend PA 2 to allow an additional 52 lots. This results in a total of 134 lots, versus the original 82 estate lots originally permitted in the 1985 Specific Plan document. Even though this represents an increase to the number of units permitted in PA2 and the overall Specific Plan, there will not be a net gain in units within the Specific Plan as several existing developments within PA 1 did not develop the total number of units permitted in the planning area. Of the 140 acres within PA 2, only 64.5 acres would be developed. The remaining 75.5 acres may potentially be donated to the Regional Conservation Authority (RCA) as part of the implementation of the the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) as adopted by the City of Lake Elsinore City Council on January 13, 2004 and approved by the United States Fish and Wildlife Services (USFWS) in July 2004.

Amendment No. 3 includes comprehensive design guidelines and standards, and a master landscape plan for PA 2. These updated guidelines and standards will ensure a high quality, aesthetically pleasing development within the PA 2, as well as compatibility with the existing Canyon Creek residential development. The comprehensive and detailed nature of the Canyon Creek Specific Plan Amendment No. 3 will result in a long-term, effective planning tool to direct the future development of PA 2.

The maintenance of all right-of-way, open space, landscape areas (including slope/buffer areas), street lighting, common project facilities spaces, etc., shall be maintained by a Landscaping and Lighting Maintenance District (LLMD), Master Homeowners' Association or similar financing mechanism. Decisions regarding this assessment will be made at a future state of project review in conjunction with City agencies.

The remainder parcel will be donated and accepted by the City of Lake Elsinore. The RCA or other resource agency will be responsible for the maintenance of land under their jurisdiction.

B. PROCEDURES

All commercial, multi-family residential and hillside residential development within the Canyon Creek Specific Plan area is subject to a site plan review procedure by the City of Lake Elsinore.

Since the Canyon Creek Specific Plan Amendment No. 3 for PA 2 includes thorough and detailed Design Guidelines, and a Tentative Tract Map (TTM) is being processed with Amendment No. 3, any future residential product review for the PA 2 shall be reviewed and approved administratively for compliance with the guidelines herein by the Director of Planning.

C. DEVELOPMENT STANDARDS

PA 1—San Jacinto Planning Area (PA 1)—Residential Development Standards. The following set of standards is intended to regulate the residential development of Canyon Creek:

1. Uses Permitted: Any of the uses permitted within the Specific Plan area of the City of Lake Elsinore Zoning Code
2. Site Development Standards:
 - a. Maximum density: 3 dwelling units per acre (gross)
 - b. Other standards: As per the existing code

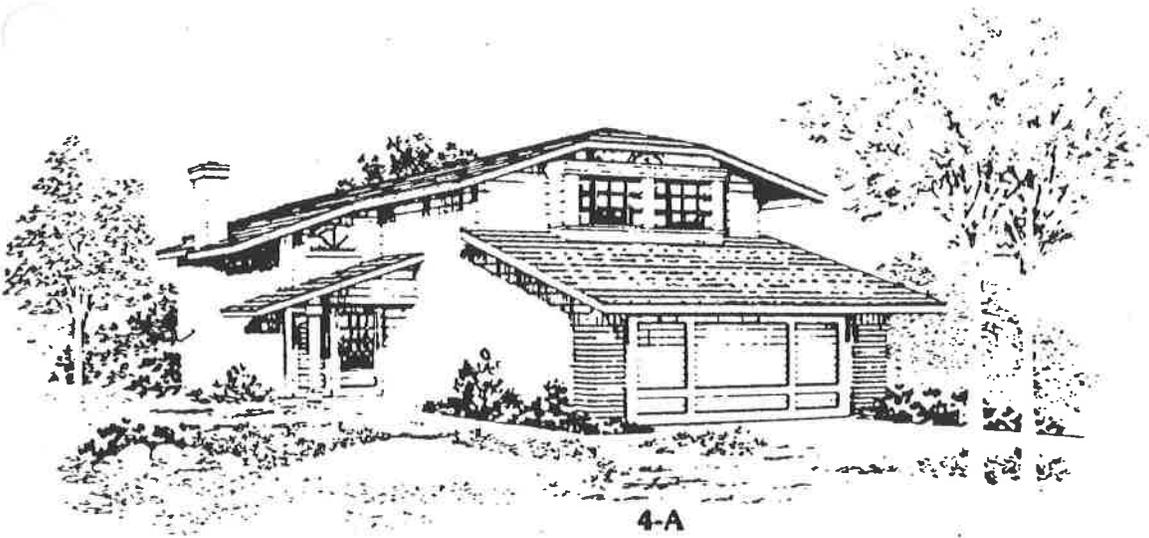
Single Family Detached

1. Uses Permitted: Single family detached dwellings and accessory uses and structures
 - a. Maximum density: 4 dwelling units per acre
 - b. Lot area: 6,000 square feet to 78,000 square feet
 - c. Average lot area: 6,000 square feet
 - d. Minimum lot width: 53 feet
 - e. Building height: 35 feet maximum
 - f. Building setbacks: Front yard: 20 feet average to garage, 10 feet to structure; rear yard: 10 feet, 5 minimum one side; both side yards to total 10 feet; street side yard: 15 feet
 - g. Off-street parking: as per Development Code sections
 - h. Cul-de-sac lot size: 30 foot minimum width at front property line; 40 foot minimum width at depth of 20 feet

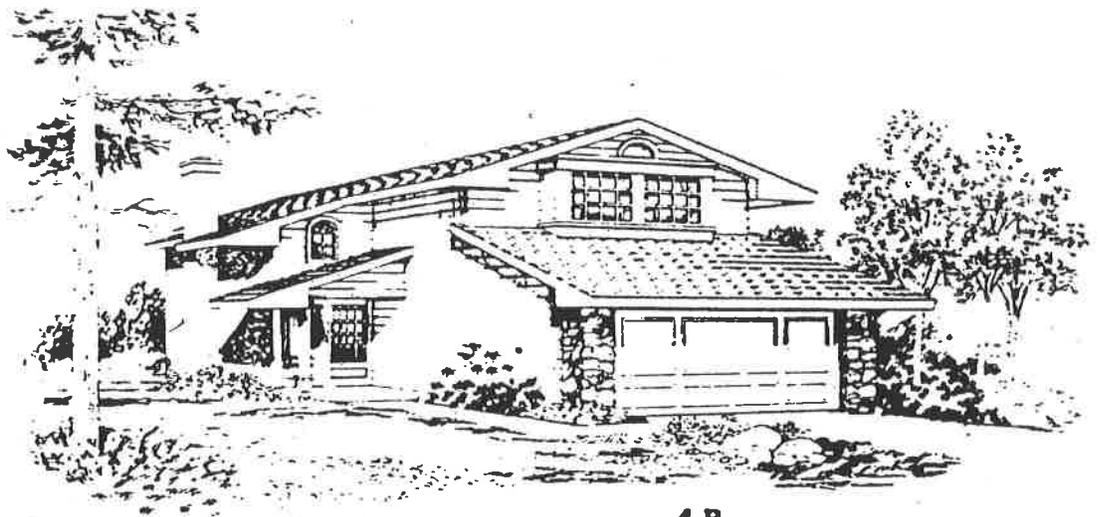
Townhomes

1. Uses Permitted: Single family detached dwelling, duplexes, fourplexes, townhomes and accessory uses and structures
2. Site Development Standards:
 - a. Maximum density: 12 dwelling units per acre
 - b. Minimum lot area: no limitation
 - c. Minimum lot width: 40 feet
 - d. Building height: 35 feet maximum
 - e. Building setbacks: From private street or drive: 5 feet; from public right-of-way: 20 feet; building to building: 10 feet; rear yard: 10 feet
 - f. Offstreet parking: Resident: one space per one-bedroom unit; two spaces per two-bedroom unit; guest: 0.5 spaces per unit

EXHIBIT 33



4-A



4-B



4-C

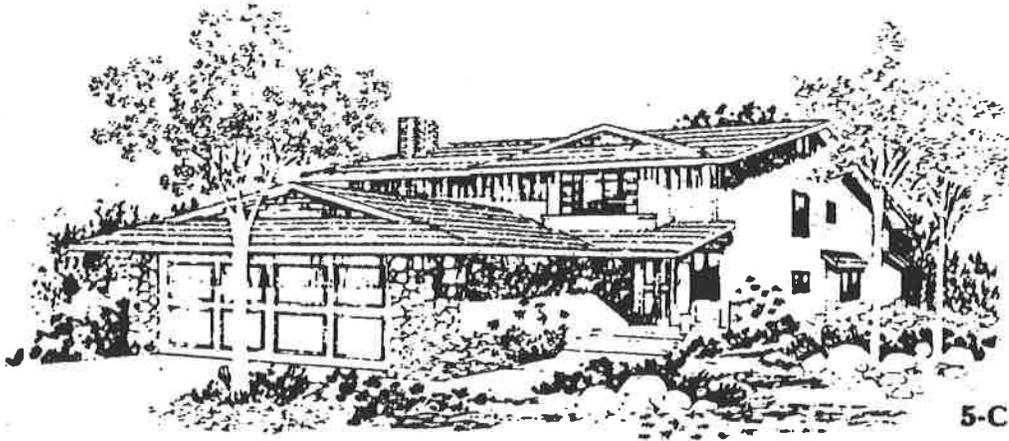
EXHIBIT 34



5-A



5-B



5-C



5-D

Apartments

1. Uses Permitted: Multi-family dwellings and airspace condominiums and accessory uses and structures
2. Site Development Standards:
 - a. Maximum density: 30 dwelling units per acre
 - b. Minimum lot area: no limitation
 - c. Minimum lot width: no limitation
 - d. Building heights: 3 story
 - e. Building setbacks:
 - 1) Residential structures: From public right-of-way: 20 feet; building to building: 10 feet (20 feet if building height exceeds 35 feet).
 - 2) Carports and garages: From private street or drive: 5 feet; from public right-of-way: 10 feet
 - f. Offstreet parking:
 - 1) Resident: one and one-half spaces per apartment unit

PA 2—La Strada Planning Area—Residential Development Standards

The following set of standards is intended to regulate the residential development of Canyon Creek:

1. Uses Permitted: Any of the uses permitted within the Specific Plan area of the City of Lake Elsinore Zoning Code.
2. Site Development Standards:
 - a. Maximum density: 3 dwelling units per acre (**based on gross lot area of 140 acres**).
 - b. Other standards **not specifically listed below, shall reference** ~~As per the existing~~ **City of Lake Elsinore Zoning Code**.

Single Family Detached

1. Uses Permitted: Single family detached dwellings and accessory uses and structures
 - a. ~~Maximum density: 4 dwelling units per acre~~
 - b. **Minimum** Lot area: ~~65,000 square feet to 78,000 square feet~~
 - c. Average lot area: 6,000 square feet
 - d. Minimum **standard** lot width: ~~503~~ feet

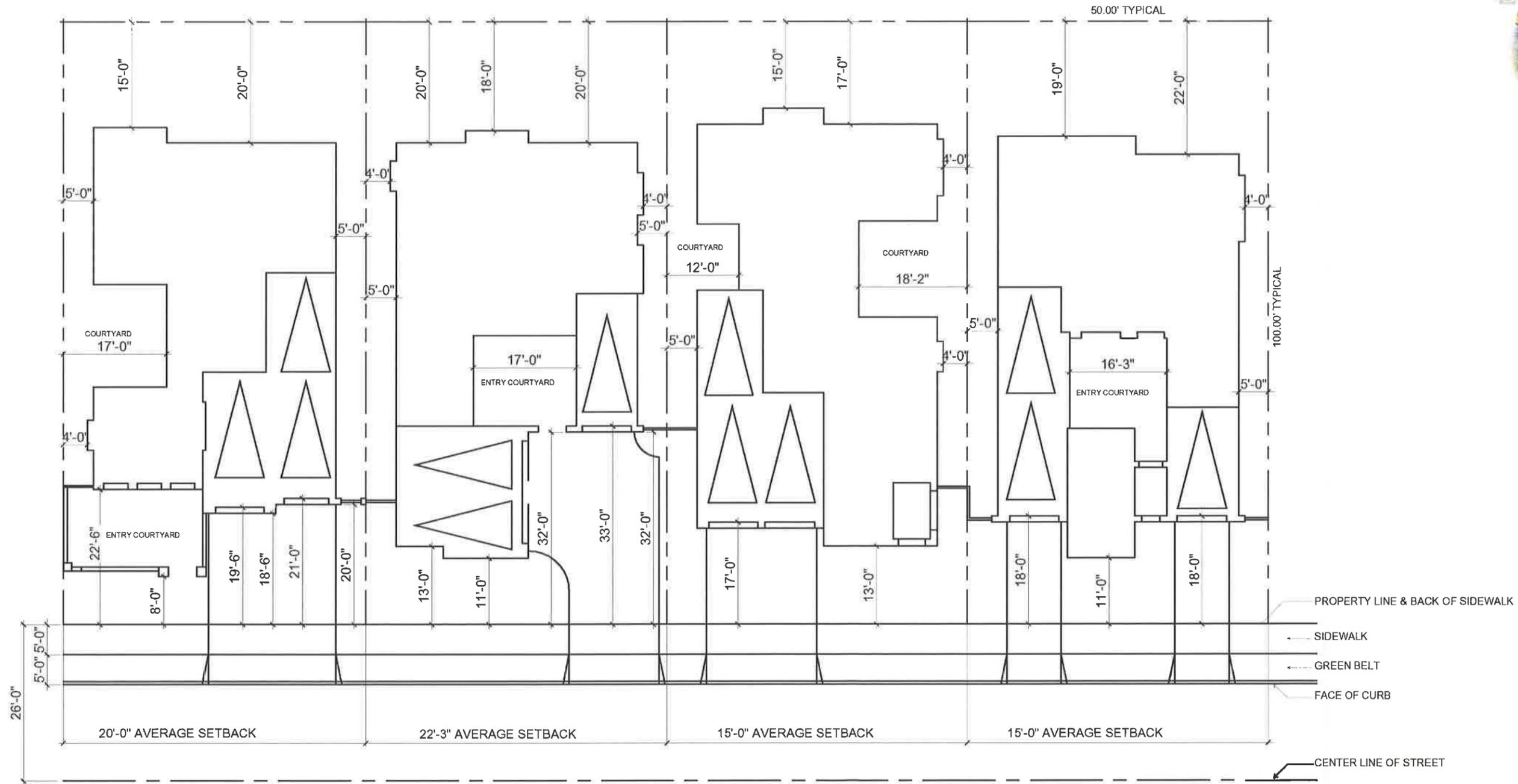
- e. **Minimum lot depth: 100 feet**
- f. Building height: 35 feet maximum
- g. Building setbacks:
- Front yard: 17 ~~20~~ feet average to garage¹; 10 feet **minimum to main structure, with an average of 15 feet to the main structure (not including covered porches, courtyard or wall entry)**²
 - ~~Rear~~ Rear yard: ~~10~~ 15 feet **minimum**
 - **Side yard: 5 feet minimum one side (one foot encroachment is permitted for architectural projections such as: media alcoves, fireplaces, bay windows or similar features). Both side yards to total 10 feet (unless adjacent to a street)**
 - Street side yard: ~~15~~-10 feet **adjacent to a street, 5 feet internal side yard**
- h. **Lot Coverage: The maximum lot coverage shall be 50% of the gross lot area.**
- i. **Floor Area Ratio (FAR): The maximum FAR shall be 65% of the gross lot area**
- j. Off-street parking: as per Development Code sections. **No guest parking spaces shall be required as on street parking will be permitted on one side of the street**
- k. Cul-de-sac lot size: 30 foot minimum width at front property line; 40 foot minimum width at depth of 20 feet

¹ **This setback requirement is for standard, front loaded, garages placed parallel to the front property line. Side loaded (turn-in) garages are subject to the main structure minimum setback of ten (10) feet.**

² **To create a visually interesting streetscape, each individual lot is encouraged to have several varying front yard setback depths as illustrated in the typical plotting diagram below. This variation is encouraged to allow flexibility in building plotting, to break up the bulk and mass at the front elevation, to de-emphasize the garage doors, and to create an aesthetically pleasing neighborhood streetscape. To break up the second-story vertical massing, the second floor may cantilever over the first floor and encroach into the required front yard setback no more than three (3) feet. To avoid a potential tunnel effect, only every third house may be permitted to have**

the second story cantilever into the front yard setback. Additional homes may be permitted to cantilever the second story if approved Administratively by the Planning Director.

The typical plotting as shown on Exhibit 35 is conceptual and not intended to be a rigid pattern that must be replicated. The Exhibit is intended to show how homes could be plotted, how the development standards would be interpreted and how the standards encourage a visually interesting streetscape with varying front yard setbacks.



TYPICAL 50' x 100' LOT PLOTTING SCALE: 1'-0" = 1/8"

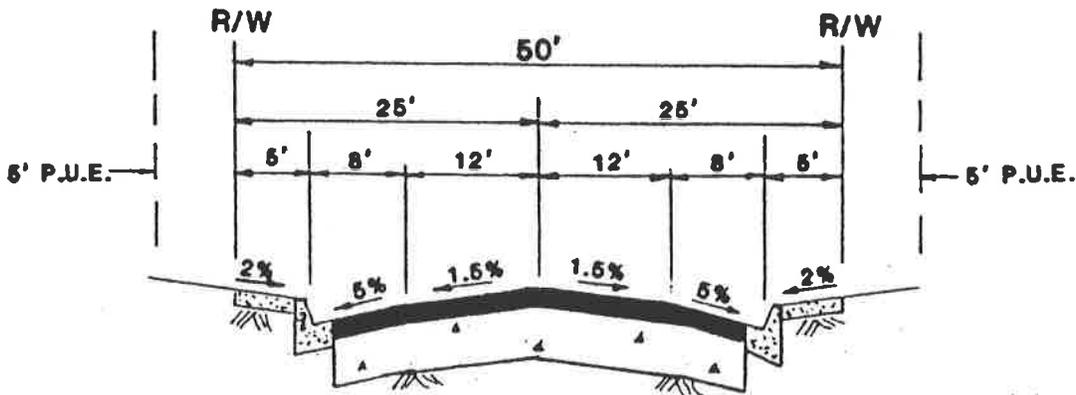
Commercial Development Standards: The following set of standards is intended to regulate the development of the Canyon Creek Commercial areas.

1. Uses Permitted: Commercial retail uses intended to serve the neighborhood shopping needs as permitted in the Zoning Code (5 & 6)
2. Site Development Standards:
 - a. Maximum density: Gross leasable floor area shall not exceed 200,000 square feet per commercial site
 - b. Lot area: No minimum requirement. The commercial centers shall be indicated on the Specific Plan
 - c. Building height: 3 story
 - d. Building setbacks: As established by the Zoning Code or as approved by the Planning Commission
 - e. Parking: As per Development Code sections
 - f. Loading: As established by the Zoning Code or as approved by the Planning Commission
 - g. Signs: As established by the Zoning Code or as approved by the Planning Commission

PA 1—San Jacinto Planning Area--Street Development Standards.

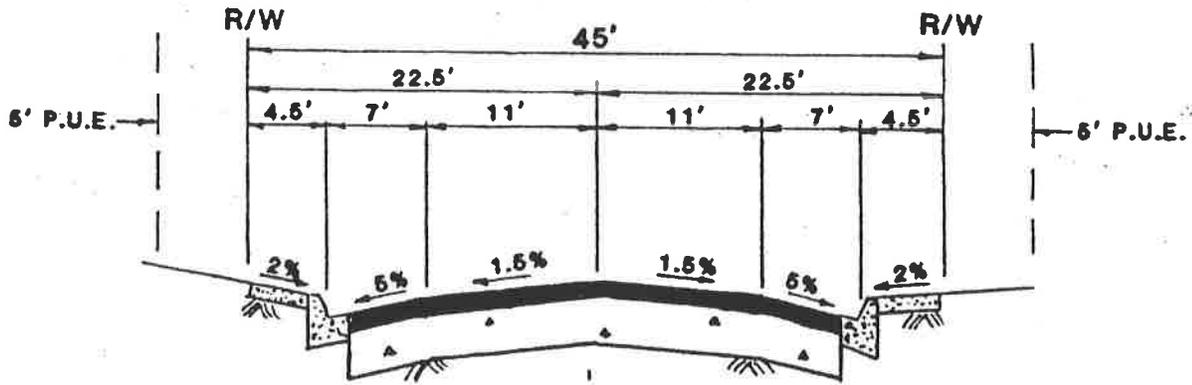
Streets within the ~~Canyon Creek Specific Planning Area~~ Area 1 shall be designed in accordance with the following standards.

1. Community Collector – (110 foot right-of-way)
 - four lanes at 12 feet
 - two parking at 8 feet
 - 15 percent maximum grade
2. Residential Collector - (50 foot right-of-way)
 - two lanes at 12 feet
 - two parking lanes at 8 feet
 - 40 foot pavement width
 - 15 percent maximum grade
3. Residential Street - (45 foot right-of-way)
 - two lanes at 11 feet
 - one parking at 7 feet
 - 36 foot pavement width
 - 5 foot utility easement
 - 15 percent maximum grade



TYPICAL STREET SECTION

NO SCALE



TYPICAL STREET SECTION

NO SCALE

EXHIBIT 36



COURTON & ASSOCIATES

STANDARD NO. 104

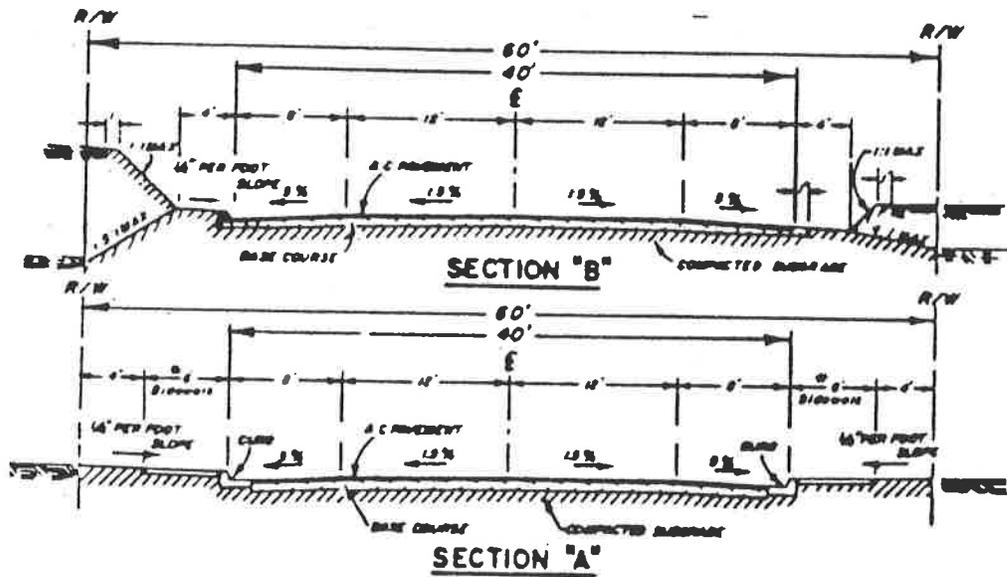


EXHIBIT 37

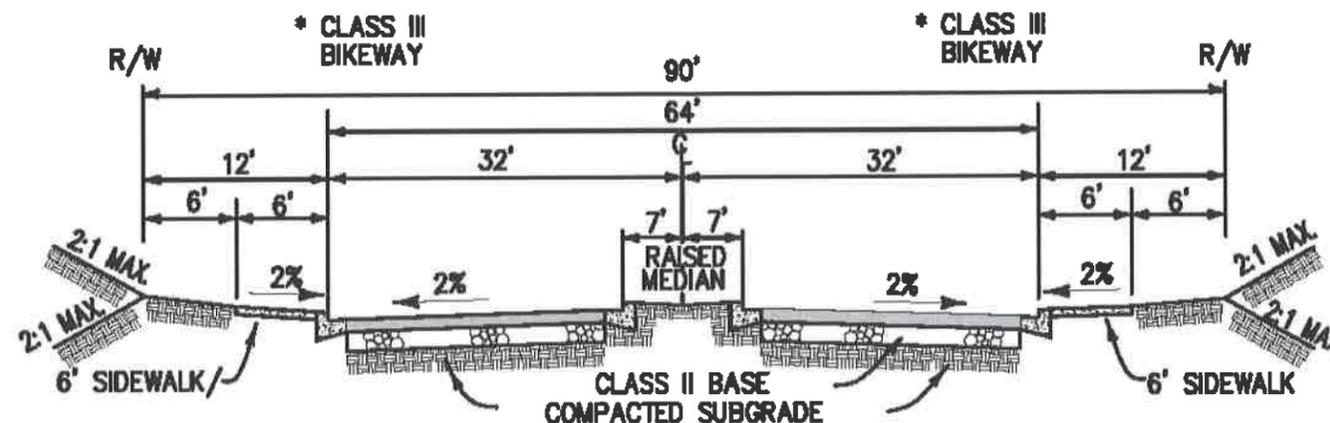
PA 2—La Strada Planning Area—Street Development Standards.
Streets within the Planning Area 2 are intended to be designed in accordance with the following standards (please see Exhibits 39, and Exhibit 40 for detailed cross sections of each road):

1. **La Strada Street Section – (90 foot right-of-way)***
 - **four lanes at 12 feet**
 - **64 foot pavement width**
 - **six foot sidewalk adjacent to curb**
 - **15 percent maximum grade**
 - **14 foot raised landscape median**
 - **Class III Bikeway**

2. **Residential Private Street - (52 foot right-of-way)**
 - **two lanes at 12 feet**
 - **Eight foot parking on one side**
 - **32 foot pavement width**
 - **15 percent maximum grade**
 - **five foot landscape parkway adjacent to curb**
 - **five foot sidewalk adjacent to landscape parkway (curb separate)**

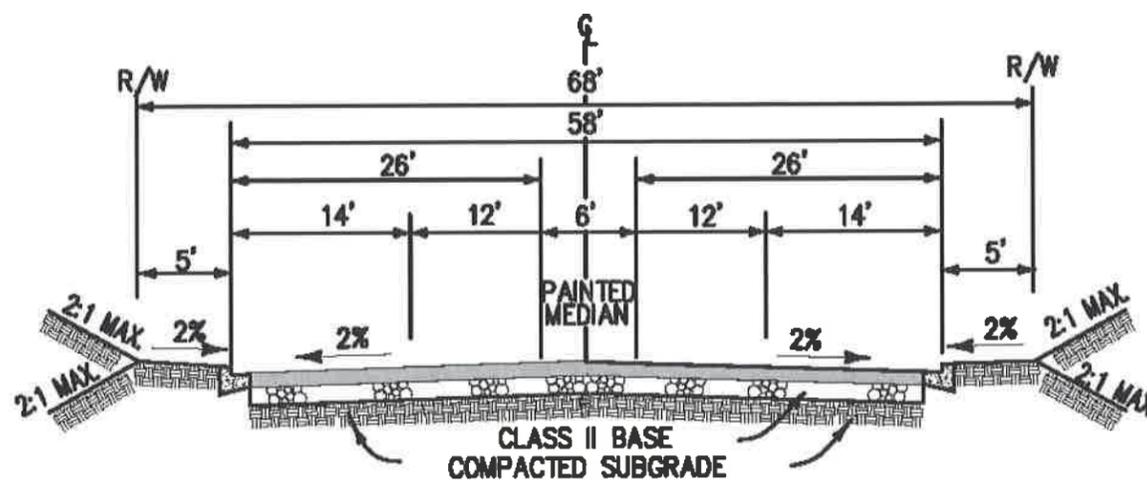
***The access road into PA 2 will be a separate work of improvement from the proposed Canyon Creek Specific Plan Amendment No. 3. Therefore, the road improvement project shall have a separate CEQA review process from Specific Plan Amendment No. 3.**

The project site will be ultimately constructing La Strada Road but would be initially utilizing the proposed roadway to the north. This roadway is proposed as part of the Ramsgate development and would ultimately connect to Greenwald Avenue and serve as secondary access to the La Strada project. The applicant has been instrumental in initiating and organizing the three other major property owners (South Shore Properties, the Shopoff Group and Wilson Lunde Development) in the formation of a community facilities district (CFD) to privately fund the public roadways within the CFD—La Strada Road being one of the roadways. The surrounding land owners would participate in the CFD and pay their fair-share portion of the roadway improvement costs based on the amount of traffic generated by each project. Each project would be responsible for conducting its MSHCP consistency analysis. Additional details about surrounding roadways that would be part of the CFD will be discussed in the traffic study which includes the four major land owners in the immediate area. Please reference that report for additional details and roadway assessment.



(A) LA STRADA ROAD (WITHIN TRACT)
MODIFIED SECONDARY ROADWAY

* SIGNAGE WILL BE PROVIDED ON STRIPING PLANS



(B) LA STRADA ROAD (WITHIN PUBLIC OPEN SPACE AREA)
MODIFIED SECONDARY ROADWAY

NOTE: ROAD WIDTH MAY VARY BASED UPON FINAL ALIGNMENT AND/OR ENGINEERING

CANYON CREEK
Specific Plan



Planning Area No.2

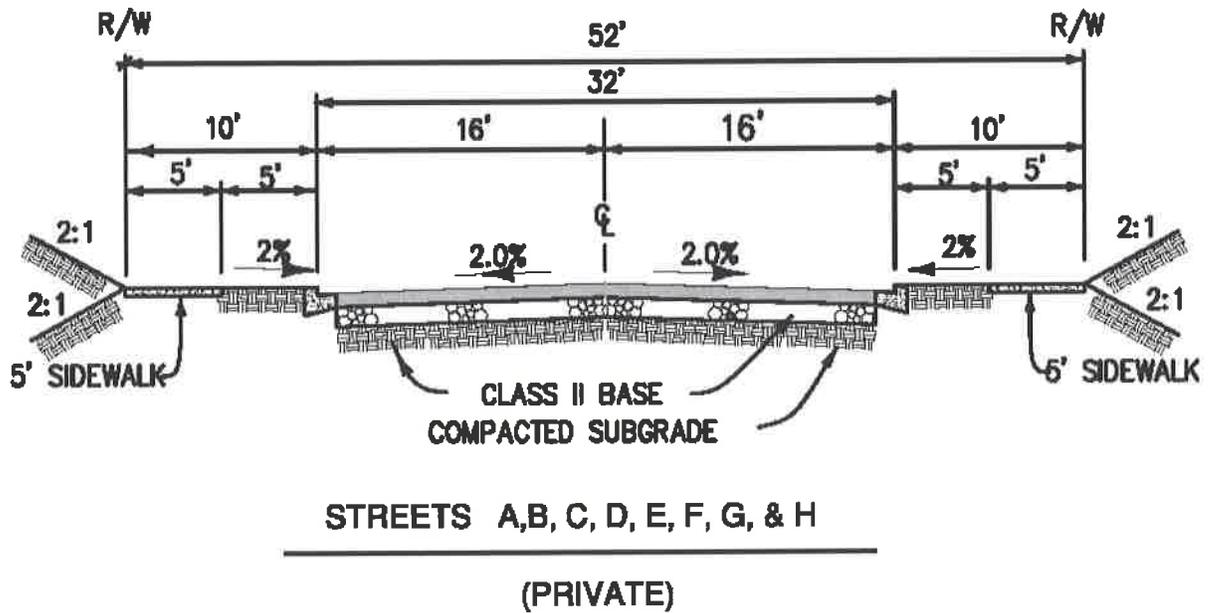


Exhibit 40

D-1 E. OPEN SPACE—San Jacinto Planning Area (PA 1)

The recreation and open space considerations for the Canyon Creek project are a major component of the project theme. The project includes approximately 50% of its area in open space as well as the inclusion of fourteen community and passive park areas connected by 9,400 feet of trails.

The general open space of the area encompasses the steeper hillside area preserving the bluff tops and ridge lines from development. In addition, this rockier terrain is characteristic of this portion of Lake Elsinore and is to be preserved as a natural land form.

The second largest open space preservation area is the San Jacinto River and the adjacent floodway. This area provides marvelous opportunities for a passive park system and a connecting trails system enabling both residents of the Canyon Creek community and Lake Elsinore as a whole to enjoy the riparian environment adjacent to the San Jacinto River. This area will be planted with trees which will utilize the groundwater of the San Jacinto River for growth and will ultimately be a lush natural area.

Adequate vehicular and pedestrian means of access will be provided to the community parks.

The natural character of the San Jacinto River will be preserved and enhanced as an open space corridor. Corridors for wildlife movement will be preserved.

Land uses adjacent to the sensitive open space areas will be sited in a form to compliment the objectives for the lowest maintenance and manpower needs required of natural open spaces and conservation purposes.

Public open space and recreational facilities will be distributed and located within the Canyon Creek residential area on the basis of population density and availability of private open space amenities.

Both private and public recreation activity will be considered for flood plain areas. Recreational centers will be created, including playing fields and soccer fields, to provide for the needs of the Canyon Creek community as well as the City of Lake Elsinore's general population.

D-2 E. OPEN SPACE—La Strada Planning Area (PA 2)

As with the original Canyon Creek Specific Plan, the La Strada Planning area includes over 50% of the total area that is a remainder parcel that will be donated to the RCA or other appropriate resource agency. Of the 140 acres within PA 2, approximately 75.5 acres are intended to be included in a remainder parcel that may be under the

jurisdiction of the RCA. The 75.5 acre remainder parcel encompasses the steeper hillside and rocky terrain area and will preserve the bluff tops and ridge lines. This remainder parcel will provide a natural backdrop to the community that is characteristic of this natural, undisturbed portion of Lake Elsinore.

There is a fuel modification zone (see Exhibit 41, Fuel Modification Plan) between the developable area of PA 2 and the remainder parcel. Careful consideration has been given to the allocation of this area to ensure that a safe and appropriate buffer is maintained for the proposed residential neighborhood. In addition, careful consideration will be given to the planting of this area to ensure the natural habitat within the remainder parcel is not adversely impacted by any species planted within the fuel modification zone. Therefore, it is recommended that a biologist be retained to review the plant palette for the fuel modification zone, prior to planting, to ensure all proposed species are not invasive and are compatible with the existing native planting in the remainder parcel.

The fuel modification zone will also be reviewed and approved by the Fire Marshall as part of the Specific Plan Amendment No. 3 approval process.

The fuel modification zone shall be maintained by a Landscaping and Lighting Maintenance District (LLMD), Master Homeowners' Association or similar financing mechanism. Decisions regarding maintenance will be made at a future state of project review in conjunction with appropriate City agencies. However, any land that is donated and accepted by the City of Lake Elsinore or the RCA would be the responsibility of the RCA.

Also contained within the fuel modification zone will be an approximately 35 foot, one million gallon water reservoir to service the proposed development. The reservoir would be supplied by the Elsinore Valley Municipal Water District and financed by the applicant. The water reservoir is called out on the Fuel Modification Exhibit located near the southwestern boundary of the PA 2 (see Exhibit 41).

Although water reservoirs are commonly used in Lake Elsinore including the adjacent Tuscany Hill development, a visual simulation of the reservoir was conducted on Decemeber 7, 2004 to assess any potential view impacts on the project and adjacent residences. As illustrated in the visual simulation photos (included in Appendix A, pages I-IV), some of the residents at the southern end of Tuscany Hills will have a view of the reservoir (see View Point 4 on pg. IV and View Point 5 on page V).

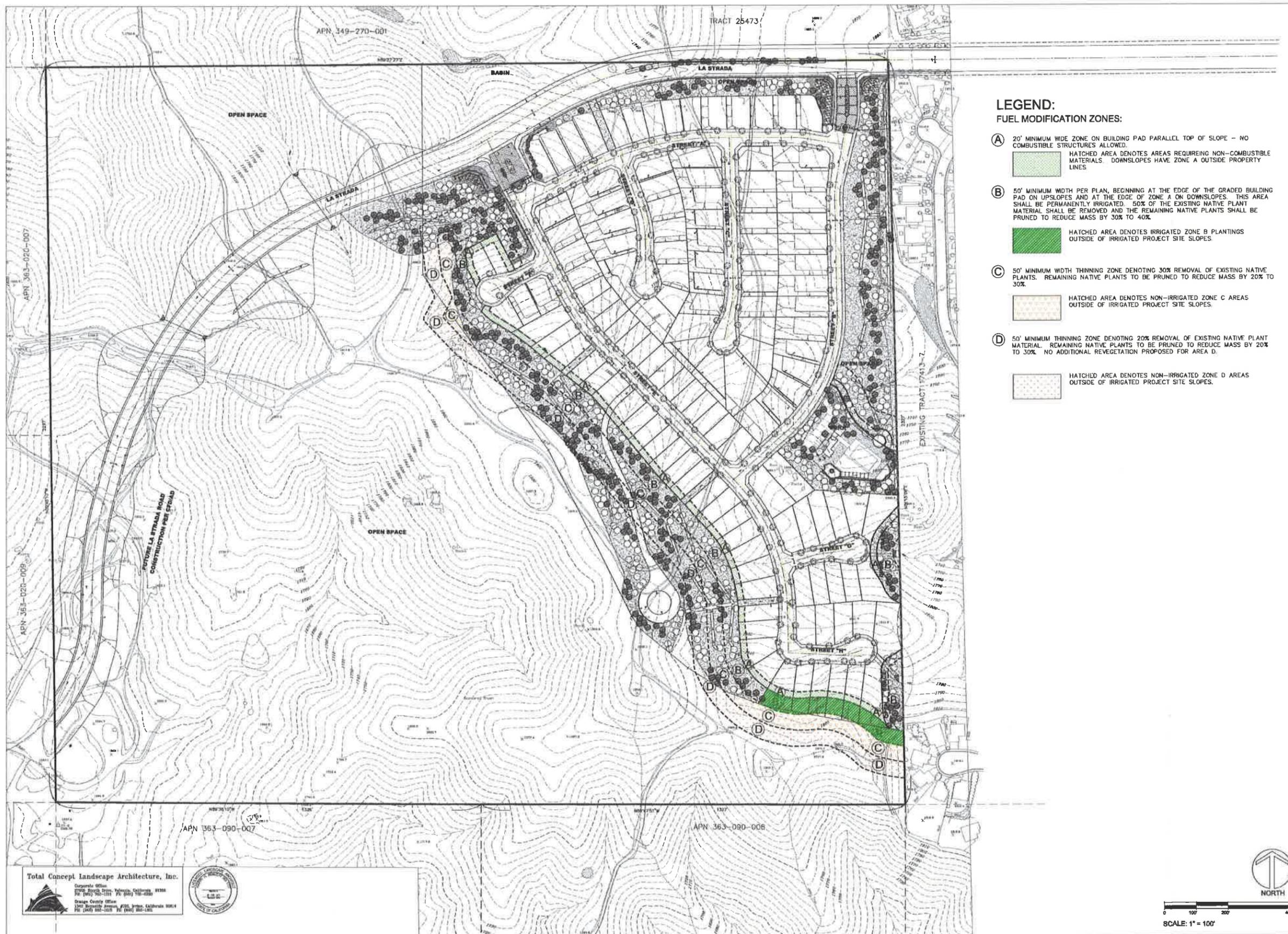
However, the reservoir is at a proposed elevation of 1907 and the closest residences in Tuscany Hills is at elevation 1820, which is a grade difference of 87 feet. The existing topography of the site contains several steep hills which will be a natural screening of the reservoir (see View Points I, II, III, V and VI). There will also be two story homes to the east of the reservoir (at a higher elevation than the Tuscany Hills development) which will help buffer the reservoir. The reservoir is also located within a large landscaped area and will have larger shrubs and screening trees planted at the base of the reservoir to help soften the appearance of the structure (see View Point IV).

Therefore, given the natural topography of the site, the elevation of the tank and the proposed landscaping, no significant view impacts would occur to the project or adjacent residences as a result of the proposed water reservoir, which are common in the City of Lake Elsinore.

CANYON CREEK
Specific Plan



Planning Area No.2



LEGEND:

FUEL MODIFICATION ZONES:

- (A) 20' MINIMUM WIDE ZONE ON BUILDING PAD PARALLEL TOP OF SLOPE - NO COMBUSTIBLE STRUCTURES ALLOWED.
 HATCHED AREA DENOTES AREAS REQUIRING NON-COMBUSTIBLE MATERIALS. DOWNSLOPES HAVE ZONE A OUTSIDE PROPERTY LINES.
- (B) 50' MINIMUM WIDTH PER PLAN, BEGINNING AT THE EDGE OF THE GRADED BUILDING PAD ON UPSLOPES AND AT THE EDGE OF ZONE A ON DOWNSLOPES. THIS AREA SHALL BE PERMANENTLY IRRIGATED. 50% OF THE EXISTING NATIVE PLANT MATERIAL SHALL BE REMOVED AND THE REMAINING NATIVE PLANTS SHALL BE PRUNED TO REDUCE MASS BY 30% TO 40%.
 HATCHED AREA DENOTES IRRIGATED ZONE B PLANTINGS OUTSIDE OF IRRIGATED PROJECT SITE SLOPES.
- (C) 50' MINIMUM WIDTH THINNING ZONE DENOTING 30% REMOVAL OF EXISTING NATIVE PLANTS. REMAINING NATIVE PLANTS TO BE PRUNED TO REDUCE MASS BY 20% TO 30%.
 HATCHED AREA DENOTES NON-IRRIGATED ZONE C AREAS OUTSIDE OF IRRIGATED PROJECT SITE SLOPES.
- (D) 50' MINIMUM THINNING ZONE DENOTING 20% REMOVAL OF EXISTING NATIVE PLANT MATERIAL. REMAINING NATIVE PLANTS TO BE PRUNED TO REDUCE MASS BY 20% TO 30%. NO ADDITIONAL REVEGETATION PROPOSED FOR AREA D.
 HATCHED AREA DENOTES NON-IRRIGATED ZONE D AREAS OUTSIDE OF IRRIGATED PROJECT SITE SLOPES.

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SCALE: 1" = 100'

E.-1 D. LANDSCAPING—San Jacinto Planning Area (PA 1)

The materials in the community landscape palette will be selected for use in basic treatments to implement the Landscape Concept Plan.

1. Streetscape Treatment. – The use of a complementary, coordinated landscape element along arterial highways, primary access drives and residential collectors, to unify and promote design continuity.
2. Entry/Intersection Treatment – The utilization of monumental and accentuating landscape elements to promote identity, and provide focus and scale to the community neighborhood, and product entries.
3. Slope/Edge Treatments - The materials and elements of the streetscape and entry/intersection treatments will be organized to provide buffering, transitional and stabilizing functions in slope areas, between land uses, and along the development/open space interface.

The following are typical building and plant materials that are to be used in the Canyon Creek community design.

1. Trees – Trees will provide basic mass and form to the street scenes, community and neighborhood entries, and open gathering places. In the general vocabulary of community design there are two basic tree forms, columnar and canopy. There are also trees which, because of their foliage and blossoms or their irregular or sculptural shapes, are considered accents. Typically columnar trees are used if scale is desired. Canopy trees will be used in parks and along residential streets and drives where a less formal, more intimate, enveloping form or scale is desired. The preliminary plant palette includes, but is not limited to, the following trees:

TREE PALETTE

	Canopy	Column	Accent
Jacaranda	X	X	
Crape Myrtle	X	X	
Oleander	X	X	
Honey Locust	X	X	
Sycamore	X		
Poplar	X		
Ash	X		
Mulberry	X		
Oak	X		
Pepper	X		
Eucalyptus		X	
Pine	X		
Cottonwoods (existing)		X	

2. Shrubbery - Shrubbery will be used to compliment the mass and form established by the trees at neighborhood and community entries, by providing additional planting textures and colors. Shrubbery will also be used where visual screening is desired or required. The preliminary plant palette includes, but is not limited to the following shrubs:

	Screening	Accent
Abelia	X	X
Brush Cherry	X	
Cape Pltuiuibago	X	
Honey Locust	X	
Escallonia	X	
Hawthorne	X	
Lupine X		
Pittosporum	X	X
Pyracantha	X	
Silverberry	X	
Xylosma	X	

3. Groundcover - Groundcover mixes will be selected to provide seasonal color and to stabilize the soil. Where feasible, native or drought tolerant species will be emphasized to minimize maintenance. Low growing shrubs and deep rooting grasses will be added where necessary for slope stabilization. The palette will vary depending upon topography, visibility and soils characteristics.

4. Hardscape – Hardscape includes elements such as stamped concrete textures, masonry walls, raised planters and decorative rock,

which will be used in conjunction with community and neighborhood entry treatments and as unifying accents along the primary access drives.

5. Streetscape Detail - Streetscape details include: Furniture, such as bus benches and shelters, refuse receptacles, etc.

6. Graphics and Signing, including street name signs, community and neighborhood entry signs, directional signs and traffic signs.

7. Lighting of the streets and signs, and the placement and styles of poles and standards.

8. Utility/Service Facilities, will be located depending upon function and access requirements. Mailboxes and fire hydrants which will be located where access is most convenient. Where feasible, traffic and irrigation control boxes, utility vaults, etc. will be located where landscape and/or hardscape can be designed to provide screening and protection.

E-2 D: LANDSCAPING—La Strada Planning Area (PA 2)

A master landscape plan has been established for the 64.5 acres within PA 2 that will be developed as a residential community. Of the 64.5 acres, approximately 17.6 acres are open space in the form of slopes/landscaped buffers, streetscapes, recreational amenities and a fuel modification zone. The approximately 75.5 acres that may potentially be donated to a resource agency are not subject to the proceeding landscape design guidelines, as this area may remain in its naturally vegetated state.

1. Master Landscape Plan

The master landscape plan for the developable portion of PA 2 was established for the purpose of ensuring quality and consistent landscaping throughout the PA 2 (see Exhibit 42, Conceptual Landscape Plan). The master landscape plan will enhance the overall development by establishing a comprehensive and appropriate application of landscaping. The master landscape plan creates aesthetically pleasing streetscapes, open space areas, recreational amenities and a more livable community.

The landscape design guidelines addressed in the following pages represent the landscape concept intended for the community. This section addresses streetscapes, entry monumentation, slope treatments, pedestrian connections, wall and fence plan,

furniture details and recreational amenities. It should be noted that these guidelines represent the development intent and may be modified to meet site constraints. Modifications will be allowed without an amendment to the Specific Plan (as approved by the Director of Planning) as long as it is determined that the design intent presented in the Specific Plan has been achieved.

The proposed landscape plan is unique enough to create a distinct community identification, yet is compatible with the theme of the adjacent residential landscape palette.

The materials in the plant palette for PA 2 are included in Table 4 below. The plant palette selected for PA 2 includes some species from the general landscape plan of the existing Canyon Creek Specific Plan landscape palette so that the landscape palette would be complimentary to the existing landscaping in the adjacent residential community as well as the larger Canyon Creek Specific Plan development. Please see the comprehensive plant palette for specific species for the entries, slopes and streetscapes.

I. Streetscapes: The conceptual design for the streetscapes within PA 2 is an informal placement of trees planted at the rate of one tree per 30 lineal feet of street frontage along with turf in the parkway. The trees are intended to be strategically placed to help break up mass of buildings, soften the streetscape and compliment the architecture by guiding views into architectural features such as bay windows or front courtyards. The streetscape plantings are designed to create attractive and comfortable street scenes to promote a walkable community. The streetscapes are intended to help guide residents and help create a unique community identification. The informal planting will enhance the overall experience of the pedestrian strolling along tree-lined streets, by providing shade and by adding seasonal color within the community (see Exhibit 42, Conceptual Landscape Plan).

CANYON CREEK Specific Plan



Planning Area No.2

LEGEND: PLANT MATERIALS:

PROJECT ENTRY:

PROJECT ENTRIES SHALL HAVE FLOWERING ACCENT TREES FOR ACCENT. CURB SHALL BE PROVIDED AT THE CURB LOCATIONS TO GIVE AN OPEN APPEARANCE.
THE MONUMENT WALLS SHALL RECEIVE ACCENT SHRUB MATERIALS THAT COMPLEMENT THE MAPPING OF THE WALLS.
ANNUAL COLOR SHALL BE PLANTED THROUGHOUT THE ENTRY.

TREES:
OLEA EUROPEA - FRUITLESS OLIVE
SPECIMEN SIZE

JACARANDA ACUTIFOLIA - JACARANDA
SPECIMEN SIZE

SHRUBS:
SHRUBS MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

ABELIA GRANDIFLORA - GLOSSY ABELIA
AGAPANTHUS AFRICANUS - LILY OF THE NILE
AZALEA SOUTHERN INDICA - AZALEA
BUDS MICROPHYLLA JAPONICA - JAPANESE BOXWOOD
CARISSA GRANDIFLORA - NATAL PLUM
DIETES VEGETA - FORTNIGHT LILY
EUCALLONIA NEUPORT DWARF - DWARF EUCALLONIA
EUCALYPTUS VPP - EUCALYPTUS
GREVILLEA NOELII - NON
HEBE VERONICA - NON
HETEROCALLIS SPP. - DAYLILY
ILEX VOMITORIA 'STOKES' - YALPON
LIGNSTRUM JAPONICUM 'TEXANUM' - PRIVET
LIRIOPE MISCARI - LILYTURS
MYOPORUM PARVIFOLIUM 'PUTAH CREEK' - PROSTRATE MYOPORUM
NANDINA DOMESTICA 'COMPACTA' - DWARF HEAVENLY BAMBOO
PODOCARPUS MACROPHYLLUS 'MAKI' - SHRUBBY YEW
PITTOCOPRUM TOBIRA - MOCK ORANGE
PRUNUS CAROLINIANA 'BRIGHT N TIGHT' - DWARF CAROLINA LAUREL
RAPIHOLEPS INDICA - INDIAN HAWTHORNE
PROPRUM TENAX - NEW ZEALAND FLAX
XYZIGIUM PANICULATUM DWARF BUSH CHERRY
XYLOPIA CONGESTUM 'COMPACTA' - DWARF SHINEY XYLOPIA

PROJECT SLOPES AND BUFFER SLOPES SHALL HAVE DROUGHT TOLERANT TREE AND SHRUB PLANTINGS. THESE PLANTINGS SHALL BE PLANTED IN 'DRIPES' AND SHALL ALLOW FOR COLOR AND EVERGREEN PLANT MATERIALS. THE DROUGHT TOLERANT PLANT MATERIALS SHALL INCLUDE NATIVE PLANTS THAT WILL BORDER AGAINST THE ENVIRONMENTALLY SENSITIVE OPEN AREAS OF THE SITE.
TREES SHALL BE PLANTED AT A RATE OF TWO TREES PER 1000 SF, 15% AT 5 GALLON AND THE REMAINDER AT 5 GALLON. SHRUBS SHALL BE PLANTED AT 25 SHRUBS PER 1000 SF, 10% AT 1 GALLON, THE REMAINDER AT 5 GALLON. AN APPROVED GROUND COVER SHALL BE INSTALLED ON ALL SLOPES AS WELL AS SHRUBS LISTED BELOW.

TREES:
GENERA PARVIFLORA - AUSTRALIAN WILLOW
PINUS ELIARICA - MONDELL PINE
PLATANUS ACERIFOLIA - LONDON PLANE TREE
QUERCUS AGROFOLIA - COAST LIVE OAK
RUBUS LANCEA - AFRICAN BUSH
ROBINIA AMBIGUA 'PURPLE ROBE' - LOCUST
SHRUB MOLLE - CALIFORNIA PEPPER

SHRUBS:
ACACIA REDOLENS - PROSTRATE ACACIA
ARCTOSTAPHYLOS SPP. - MANZANITA
CEANOTHUS SPP. - CALIFORNIA LILAC
ELAAGNUS FUMENS - SILVERBERRY
HETEROCHELES AREUTIFOLIA - TOYON
LEPTOCARPUM SCOPARUM - TEA TREE
MYOPORUM PARVIFOLIUM - PROSTRATE MYOPORUM
ROSA BANKSII - LADY BANK'S ROSE
SALVIA GREGGII - AUTUMN GAGE

STREET TREES:

STREET TREES SHALL BE PLANTED AT THE RATE OF ONE TREE PER 30 LINEAL FEET OF STREET FRONTAGE. STREET TREES MAY BE CLUSTERED BUT AT THE SAME RATE. TREES SHALL BE A MINIMUM OF 24" BOX.

STREET 'A' - BRACHYCHITON POPULNEUS - BOTTLE TREE
STREET 'B' - PRUNUS CERASIFERA - PURPLE LEAF PLUM
STREET 'C' - PYRUS KALAKAKAHII - EVERGREEN PEAR
STREET 'D' - PODOCARPUS GRACILIOR - FERN PINE
STREET 'E' - KOELNEUTERIA BIPINNATA - CHINESE PLANE TREE
STREET 'F' - GENERA PARVIFLORA - AUSTRALIAN WILLOW
STREET 'G' - RUBUS LANCEA - AFRICAN BUSH
STREET 'H' - PYRUS CALLERYANA - BRADFORD PEAR

EROSION CONTROL INTERIOR SLOPES:

PLANT AND IRRIGATE ALL SLOPES. SLOPES UNDER 3' HIGH MAY BE MANUALLY IRRIGATED. PLANT MATERIALS SHALL BE THE SAME AS PROJECT SLOPES LISTED ABOVE.



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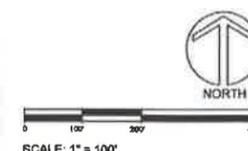


TABLE 5
Conceptual Plant Palette
Planning Area 2

The following palette is for the Project Entries:

<u>Botanical Name</u>	<u>Common Name</u>
<i>Trees (Specimen):</i>	
Olea Europea	Fruitless Olive
Jacaranda Acutifolia	Jacaranda
<i>Shrubs:</i>	
Abelia Grandiflora	Glossy Abelia
Buxus Microphylla Japonica	Japanese Boxwood
Carissa Grandiflora	Natal Plum
Dietes Vegeta	Fortnight Lily
Escallonia 'Newport Dwarf'	Dwarf Escallonia
Euonymus Spp	Euonymus
Grevillea Noelii	No Common Name (NCN)
Hebe Veronica	NCN
Hemerocallis Spp	Day Lily
Ilex Vomitoria 'Stokes'	Yaupon
Ligustrum Japonicum 'Texanum'	Privet
Liriope Muscari	Lily Turf
Myoporum Parvifolium 'Putah Creek'	Prostrate Myoporum
Nandina Domestica 'Compacta'	Dwarf Heavenly Bamboo
Podocarpus Macrophyllus 'Maki'	Shrubby Yew Podocarpus
Pittosporum Tobira	Mock Orange
Prunus Caroliniana 'Bright N Tight'	Dwarf Caroline Laurel
Raphiolepis Indica	Indian Hawthorne
Phormium Tenax	New Zealand Flax
Xylogium Paniculatum	Dwarf Brush Cherry
Xylosma Congestum 'Compacta'	Dwarf Shiney Xylosma

The following palette is for the Project slopes:

<u>Botanical Name</u>	<u>Common Name</u>
<i>Trees (Specimen):</i>	
Geijera Parviflora	Australian Willow
Pinus Eldarica	Mondell Pine
Platanus Acerifolia	London Plane Tree
Quercus Agrifolia	Coast Live Oak
Rhus Lancea	African Sumac
Robinia Ambigua 'Purple Robe'	Locust
Shinus Molle	California Pepper
<i>Shrubs:</i>	
Acacia Redolens	Prostrate Acacia
Arctostaphylos SPP	Manzanita
Ceanothus SPP	California Lilac
Elaeagnus Pungens	Silverberry
Heteromeles Arbutifolia	Toyon
Leptospermum Scoparium	Tea Tree
Myoporum Parvifolium	Prostrate Myoporum
Rosa Banksaii	Lady Bank's Rose
Salvia Greggii	Autumn Sage

The following palette is for the Project Entries:

'Street A' Brachychiton Populneus	Bottle Tree
'Street B' Prunus Cerasifera	Purple Leaf Plum
'Street C' Pyrus Kawakami	Evergreen Pear
'Street D' Podocarpus Gracilior	Fern Pine
'Street E' Koelreuteria Bipinnata	Chinese Flame Tree
'Street F' Geijera Parviflora	Australian Willow
'Street G' Rhus Lancea	African Sumac
'Street H' Pyrus Calleryana	Bradford Pear

Note: The recreation center shall also be landscaped from the above palette.

II. Entry Monumentation: A hierarchy of entries has been established for PA 2 consisting of the main primary entry and a secondary entry. The overall entry monumentation concept is a key component of the community. The entry is the first impression of the development and will represent the quality and character of the community. Therefore, both entries have been strategically designed with extensive, formal plantings; community walls that integrate the architectural theme of the homes; and signage to identify and establish the unique community character. It should be noted that these guidelines represent the development intent. Modifications to meet site constraints will be allowed without an amendment to the Specific Plan, as approved by the Director of Planning, as long as it is determined that the design intent presented in the Specific Plan has been achieved. For example, the primary entry into PA 2 may need to be modified to accommodate the final alignment.

- i. **Main Entry: The main entry is the primary entry into the neighborhood and is distinguished from the secondary entry by an entry gate house, enhanced landscaping, the size of the entry and a double wall system with additional architectural elements.**

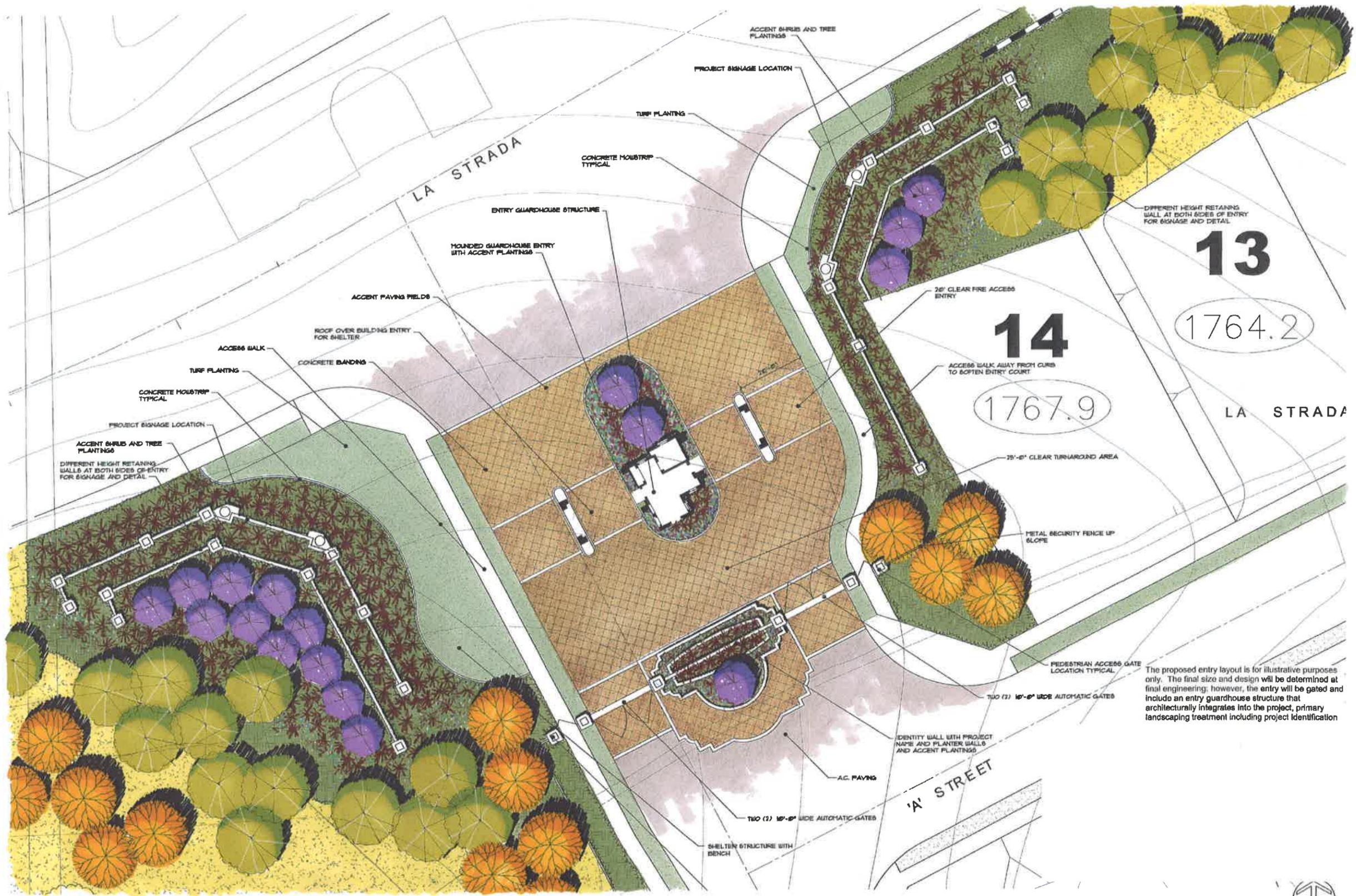
The gate house has a Tuscan architectural design with similar architectural features of the proposed homes: arched windows with window trim, use of stone, recessed windows, gable and hip roofs with S-shaped or barrel tile roofs, exposed rafter tails and a two story element (see Exhibit 44, Main Entry Gate Elevation). The gate house proposes metal entry gates that also compliment the architecture and provide controlled access into the community, ensuring a safe and secure point of entry.

The planting for the main entry is a larger area with more landscaping than the secondary entry. The main entry has been designed with specimen trees, flowering accent trees, shrubs, annual colored ground cover, turf and decorative accent paving (see Exhibits 43, Main Entry Court Plan and 44, Main Entry Gate House Elevation). The main entry also includes a double set of entry monumentation walls. The walls include several architecturally integrated pilasters with stone accents, decorative trim caps, light fixtures, and community signage.

The formal design, quantity and layout of the main entry creates the desired community identification and upscale image of the La Strada Planning Area.

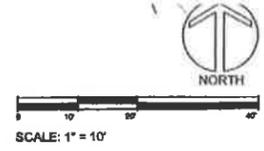
ii. Secondary Entry: The secondary entry is also designed as a formal point of ingress and egress, and contains a center island with accent trees, shrubs and decorative paving. This entry contains metal gates, an identity wall with the community name, planter walls and accent planting (see Exhibit 46). The secondary entry is smaller than the primary entry and contains less planting. However, the secondary entry does contain specimen trees, flowering accent trees, shrubs, annual colored ground cover and turf. The secondary entry also includes a single set of entry monumentation walls. The walls include architecturally integrated pilasters with stone accents, decorative trim caps, light fixtures, and community signage.

Although secondary, this point of entry is also strategically designed to reflect the quality and character of the La Strada community.



The proposed entry layout is for illustrative purposes only. The final size and design will be determined at final engineering; however, the entry will be gated and include an entry guardhouse structure that architecturally integrates into the project, primary landscaping treatment including project identification

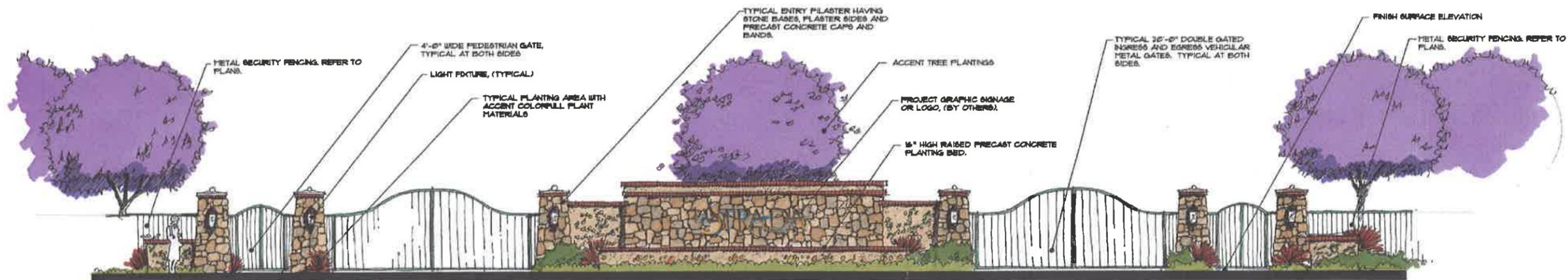
Total Concept Landscape Architecture, Inc.
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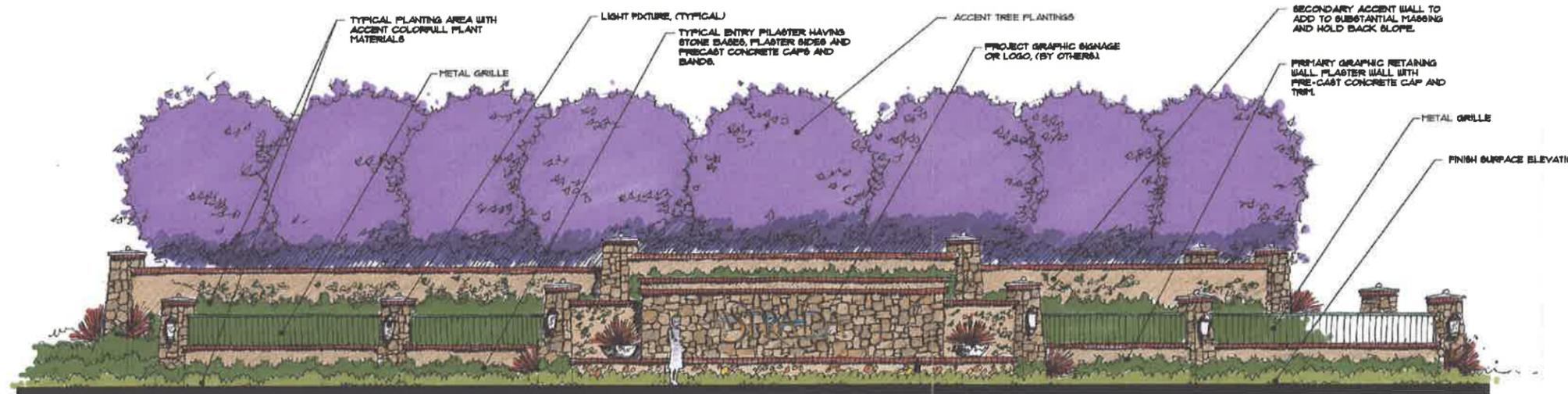


ENTRY GATE HOUSE

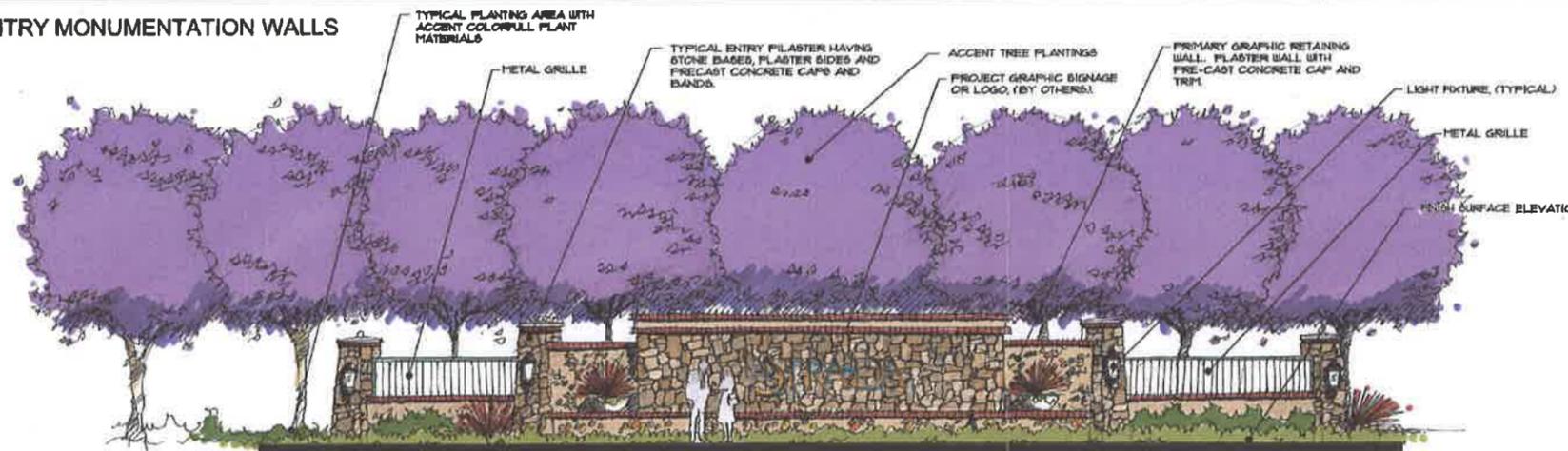
STREET ELEVATION



ENTRY WALL & SECURITY GATE ELEVATION - MAIN ENTRY
1/4" = 1'-0"



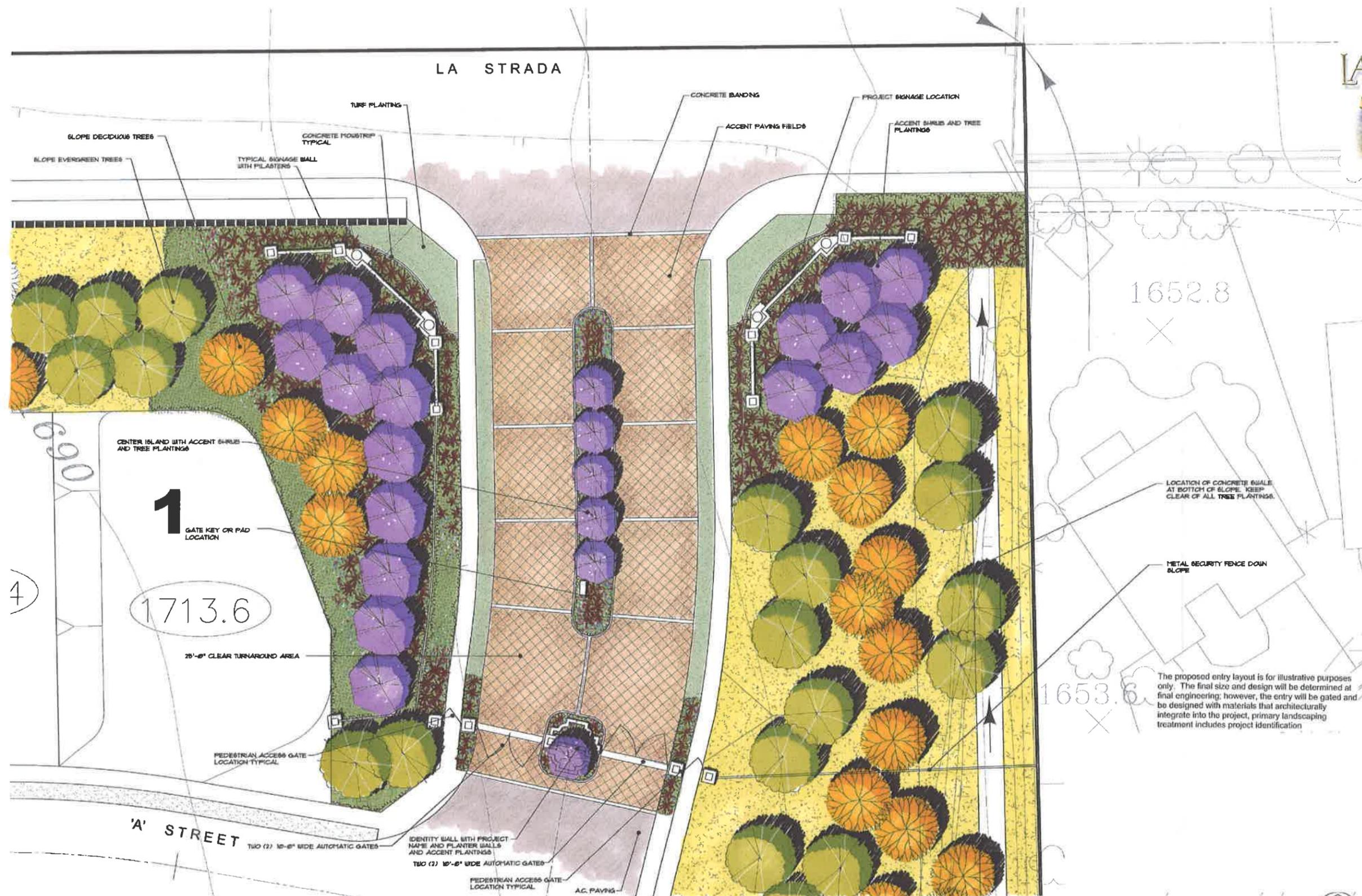
MAIN ENTRY MONUMENTATION WALLS
1/4" = 1'-0"



SECONDARY ENTRY MONUMENTATION WALLS
1/4" = 1'-0"

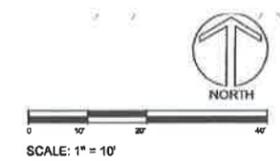
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The proposed entry layout is for illustrative purposes only. The final size and design will be determined at final engineering; however, the entry will be gated and be designed with materials that architecturally integrate into the project, primary landscaping treatment includes project identification

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III. Slope Treatments: Project slopes have been designed with drought tolerant trees and shrubs planted in drifts to allow for color and evergreen plant materials. See Exhibits 42, Conceptual Landscape Plan and Exhibit 52, Maintenance Area Plan for specific types, sizes and location of slopes on site.

The upward slope adjacent to the existing residential tract to the east was specifically designed to locate trees on the lower portion of slope to help screen views of the proposed homes in PA 2. This concept also allows the residents of La Strada to maintain a line of sight over the top of the trees to take advantage of the view of the landscaped slope in their back yards.

In addition, special planting consideration has been given to the slope in the fuel modification zone adjacent to the remainder parcel. The area that borders the remainder parcel shall use drought tolerant, native plant materials. Prior to installation of landscaping, a qualified biologist shall be retained to review and approve the proposed plant palette to ensure all proposed species are appropriate given the proximity to the remainder parcel.

IV. Pedestrian Connections: The roads within PA 2 are proposed as private streets that contain a five (5) foot sidewalk and a five (5) foot landscape parkway on both sides of the street. The sidewalks are curb separated to keep the pedestrian away from the street. This separation provides the pedestrian with a pleasant and safe circulation system throughout the community.

As illustrated in Exhibit 47, Pedestrian Circulation Plan, a pedestrian pathway, or sidewalk, is provided to all parts of PA 2 including the recreational amenities and the two entries. Each entry contains a pedestrian access gate to allow the pedestrian to connect to the larger community within Canyon Creek and adjacent neighborhoods. The sidewalks within PA 2 are proposed to connect to the sidewalk system on La Strada Road which proposes a six (6) foot curb adjacent sidewalk (see Exhibit 39, Public Street Cross Section).

CANYON CREEK
Specific Plan



Planning Area No.2

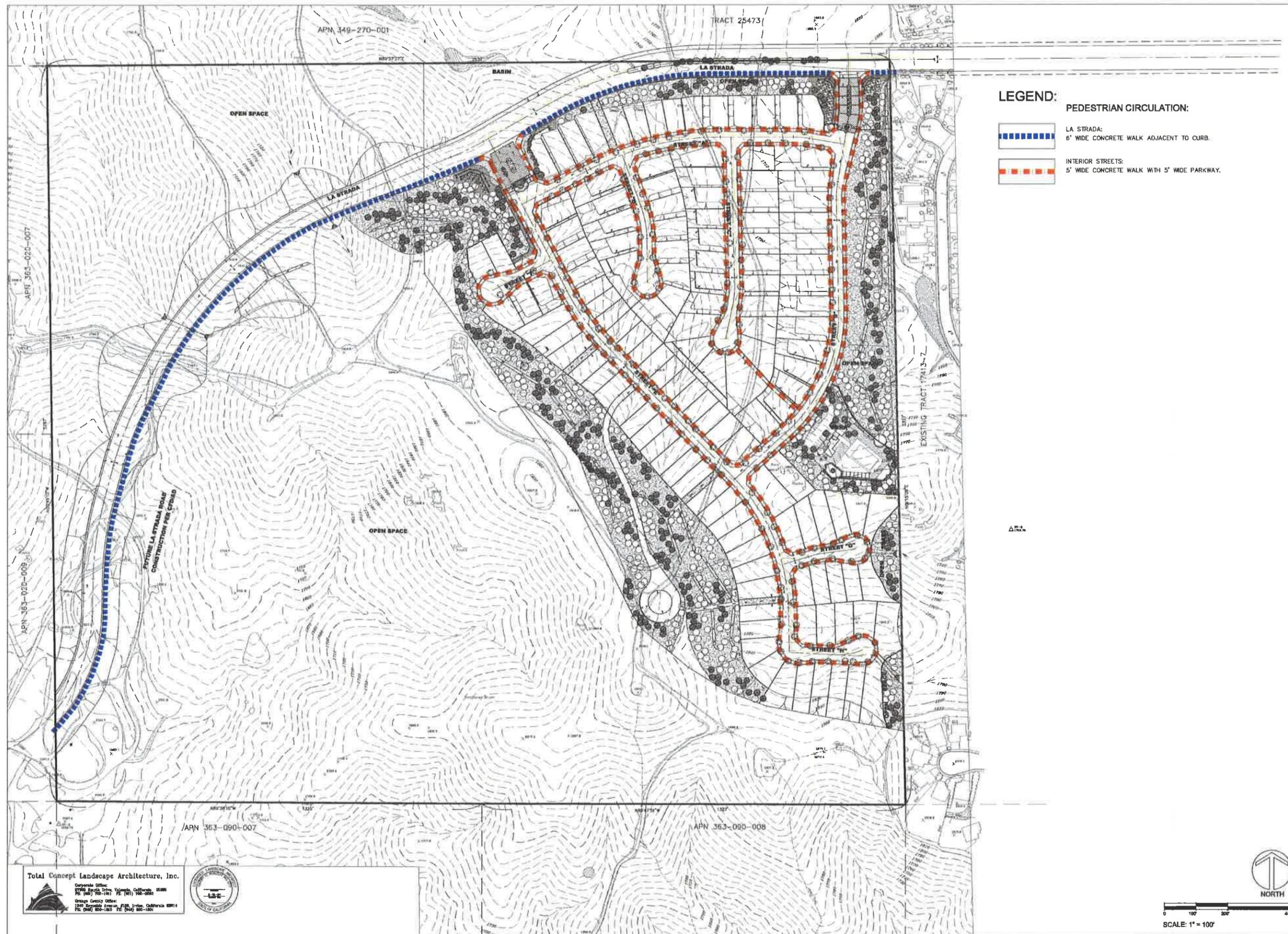


Exhibit 47

V. Wall and Fence Plan: A comprehensive wall and fence plan has been developed for the project to ensure quality and appropriately designed walls and fences are installed throughout the community, including the two entries (see Exhibits 48, Wall and Fence Plan, Exhibit 45, Entry Walls Character Details Plan and Exhibit 49, Wall and Furniture Details Plan). It should be noted that these guidelines represent the development intent and may be modified to meet site constraints. Modifications will be allowed without an amendment to the Specific Plan, as approved by the Director of Planning, as long as it is determined that the design intent presented in the Specific Plan has been achieved.

The main entry walls contain a double wall system whereas the secondary entry contains a single wall design (see Exhibit 45, Entry Walls Character Details).

Exhibit 48, Wall and Fence Plan shows the conceptual location of each fence and wall type in the development. There are basically four different wall and fences types proposed for the project: the entry monumentation walls (Exhibit 45), a five (5) foot high metal, view-through fence; a six (6) foot high concrete block wall; and a six (6) foot high combination block and metal fence (Exhibit 49).

The perimeter fence type on the eastern boundary may be the six foot concrete block wall or a combination block/metal fence as depicted on the wall and fence exhibit. The south, west and northern perimeter fencing type is proposed as metal to take advantages of views into and through the community.

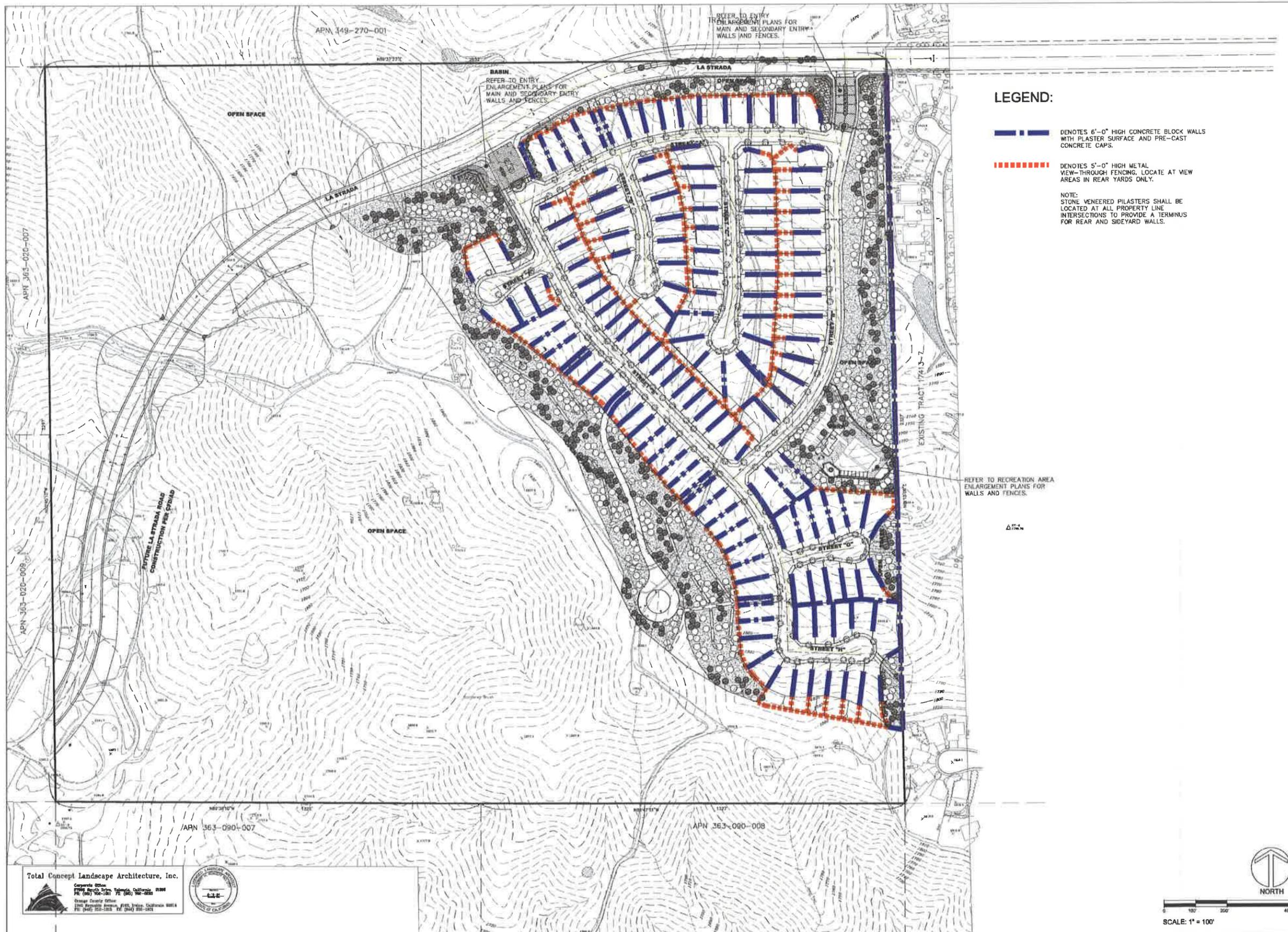
The interior side yard fencing may also be the concrete block fencing. However, the design concept for interior fencing is to allow flexibility for the individual property owner to select his or her own fence type to take advantage of views. Therefore, some variation from Exhibit 48 may occur as a result of the individual property owners' preferences.

As illustrated in the typical project wall portion of Exhibit 49, Wall and Furniture Details Plan, the perimeter wall and fencing shall contain pilasters. The pilasters have decorative trim caps and light fixtures to break up linear appearance of the wall and to add architectural charm and character to exterior community walls and fencing.

CANYON CREEK
Specific Plan



Planning Area No.2



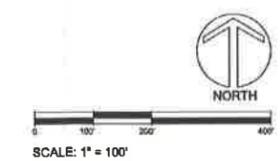
LEGEND:

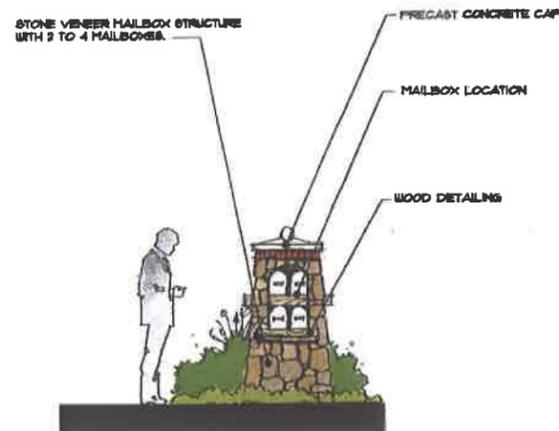
DENOTES 6'-0" HIGH CONCRETE BLOCK WALLS WITH PLASTER SURFACE AND PRE-CAST CONCRETE CAPS.

DENOTES 5'-0" HIGH METAL VIEW-THROUGH FENCING. LOCATE AT VIEW AREAS IN REAR YARDS ONLY.

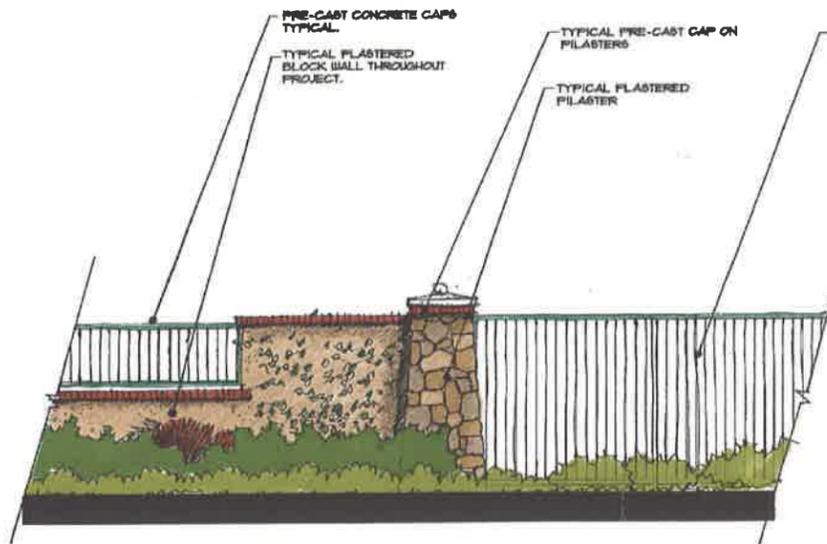
NOTE:
STONE VENEERED PILASTERS SHALL BE LOCATED AT ALL PROPERTY LINE INTERSECTIONS TO PROVIDE A TERMINUS FOR REAR AND SIDEYARD WALLS.

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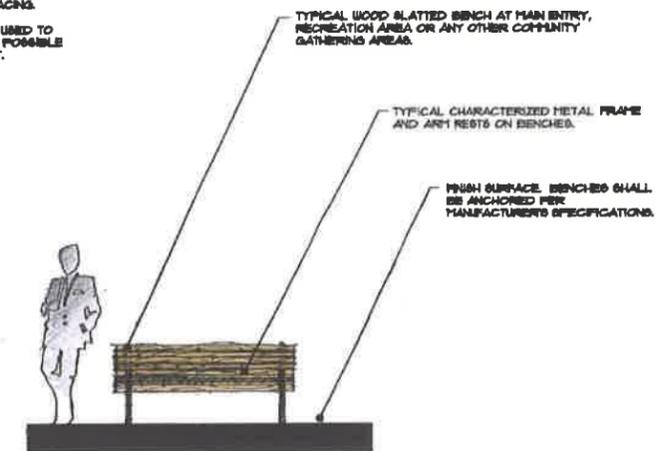




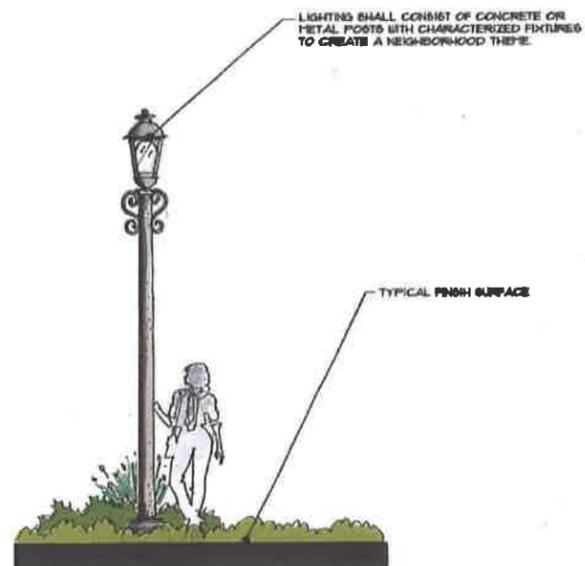
TYPICAL COMMUNITY MAILBOX
1/2" = 1'-0"



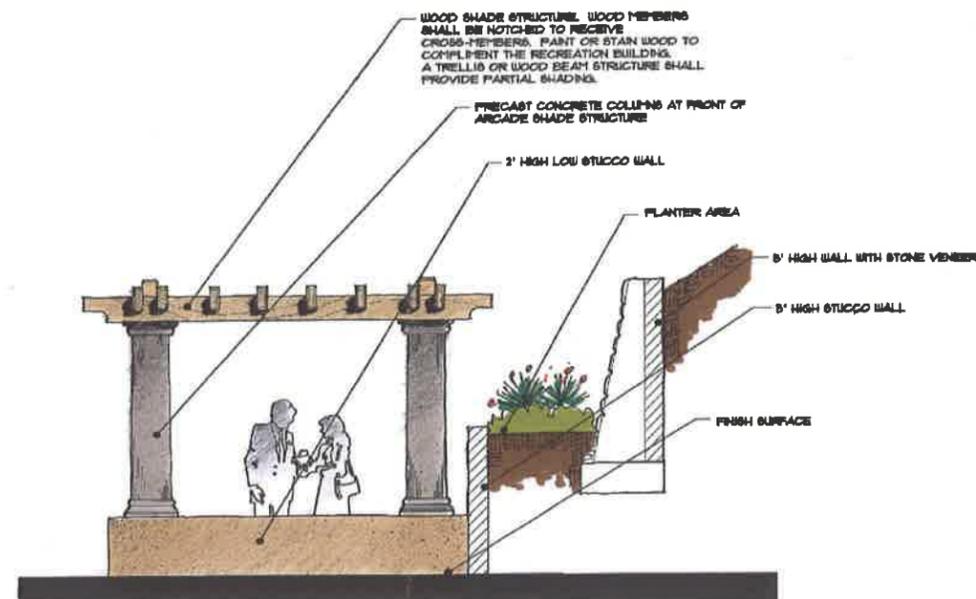
TYPICAL PROJECT WALL, PILASTER AND METAL FENCING
1/2" = 1'-0"



TYPICAL WOOD COMMUNITY BENCH
1/2" = 1'-0"



TYPICAL INTERIOR STREET LIGHT
1/2" = 1'-0"



TYPICAL RECREATION AREA SHADE STRUCTURE
1/2" = 1'-0"



VI. Furniture Details: The street furniture in PA 2 has been selected to enhance and compliment the architectural styles of the home and to add charm to the overall neighborhood. As depicted on Exhibit 49, wood benches, street lights, shade structures and mailboxes are all compatible with the Tuscan style of PA 2.

Mailboxes that are architecturally enhanced (as illustrated on Exhibit 49) are being proposed. However, the design, structure, location and height of the enhanced structure must be approved by the United States Post Office. The mailboxes, may include, but not be limited to a stone veneer structure with a decorative trim cap and wood detailing.

The benches would be made of wood, used in the recreational area and strategically placed in the most optimal locations to accommodate the strolling pedestrian.

The light fixtures will be located throughout the community to provide adequate illumination of streets and signs where appropriate. The light fixtures may consist of concrete or metal posts with characterized fixtures to help create a neighborhood theme.

The shade structure shall be utilized in the recreational area and shall be architecturally integrated into the recreational building. The shade structure would be made of wood, contain a trellis or wood beam structure to provide partial shade. Concrete columns at the front of the structure are strongly encouraged to carry out the Tuscan architectural theme of the main recreational building.

VII. Recreation Center: The recreational area was designed with an informal planting concept to create a casual recreational use area. The informal planting includes a variety of trees, accent trees, shrubs, ground cover and turf. The design concept incorporates entry signage and conveniently located parking. It should be noted that these guidelines represent the development intent and may be modified to meet site constraints. Modifications will be allowed without an amendment to the Specific Plan, as approved by the Director of Planning, as long as it is determined that the design intent presented in the Specific Plan has been achieved.

In an effort to serve all the age groups within the community, a variety of recreational amenities have been provided in this area (see Exhibit 50, Recreation Center Plan). The amenities range from passive to active uses and may include, without limitation, the following features:

- Entry view corridors through the recreational building, across the pool and into the outdoor gathering area.
- Recreational building that is Tuscan design similar to the entry gate house and compatible with the proposed residential architecture (see Exhibit 51, Recreation Building Elevation).
- Recreational building that contains a covered entry, two outdoor rooms with cooking facilities, restroom facilities for each gender, and a pool equipment room.
- A community lap pool and large pool deck area.
- Pool seating areas with individual shade structures.
- A separate, elevated spa area and deck that may include a covered trellis.
- Terraced vista viewing deck to take advantage of the views within the community, surrounding mountain views and views of Canyon Lake to the east.
- Outdoor fireplace with covered portico at the end of the entry view corridor which is envisioned as more of an adult gathering area.
- A tot lot.
- Picnic and passive shade areas with picnic tables and barbeques.
- Large passive turf area throughout to allow children to play.
- Dense tree planting at southern end of recreational area to provide a natural screen for the adjacent residential lots located at a higher elevation.

CANYON CREEK
Specific Plan



Planning Area No.2



The proposed recreation center design layout is for illustrative purposes only. The final design will be determined at final engineering; however, the recreation center building will be architecturally integrated into the project and contain an informal planting concept to create a casual recreation use area.



PARK RECREATION BUILDING
STREET ELEVATION

F. E. GRADING AND DRAINAGE

Site grading will be based on a 2:1 slope concept. Design review will be required for all areas in hillside regions with natural slopes greater than 20 percent. The grading ordinance of the City of Lake Elsinore shall prevail for all other slopes and uses, except as amended by review **or as conditioned.**

A drainage plan will be submitted and approved by the City engineer prior to the issuance of any grading permit.

The master plan will indicate size, type and capacity, the location and the phasing of those structures and facilities necessary to minimize project impact on downstream properties.

~~The flood control facilities will be maintained by an assessment district or improvement district utilizing the 1911-1913-1915 Act or the Mello-Roos Act funding.~~

G. F. INFRASTRUCTURE

All infrastructure facilities and public services are available with adequate capacity to serve the project site. Specific infrastructure plans shall be submitted to the City engineer at the time of the approval of the Final Tract Map for development. All utilities will be placed underground.

H. G. COMMUNITY FACILITIES

The Canyon Creek community will provide funding for its share of community facilities based on the increase in population and demand generated by the project. If the Canyon Creek community is required to provide for services for future residents other than the Canyon Creek community, those future benefiting property owners will be assessed and the Canyon Creek development reimbursed for those improvements.

The provision of adequate school facilities will be pursued to meet both the needs of the Canyon Creek residents and those of adjacent communities. School facilities will be provided for through the payment of development fees by Canyon Creek and/or participation in additional school sites. The Canyon Creek project will provide for the funding of specific improvements identified by the school district in an amount not to exceed a total of the existing applicable school fees for the project.

Canyon Creek Specific Plan Amendment No. 3

The following describes financing mechanisms that may be utilized to finance public facilities, infrastructure or associated development costs. The examples identified below are not exhaustive, and will not preclude the use of other strategies to finance the La Strada Planning Area public facility improvements as deemed appropriate by the City and the developer.

The range of available financing options, which will vary depending upon the entity responsible for the facility, may include, without limitation: Developer/Builder financing; development impact fees; transportation uniform mitigation fees; Mello-Roos Community Facilities District proceeds; assessment district proceeds; grant funding or infrastructure financing districts.

The developer, with City approval, shall determine the appropriate financing mechanism necessary to finance project related public facilities and associated development costs to build the proposed La Strada residential development at a future state of project review.

I-1 H. MAINTENANCE—San Jacinto Planning Area (PA 1)

All common areas and buffer zones will be maintained by an improvement district or community facilities district organized under the 1911-1913-1915 Acts or the Mello-Roos Act. Park areas will be dedicated to the City. The CC&Rs shall provide for the effective establishment, operation, management, use, repair and maintenance of all private streets, parks and landscaping, right-of-ways, graded slopes, common areas and open space. The CC&Rs shall provide that the City may enter the area and perform the necessary maintenance. The residential properties shall be subject to a lien in favor of the City to secure any such expense.

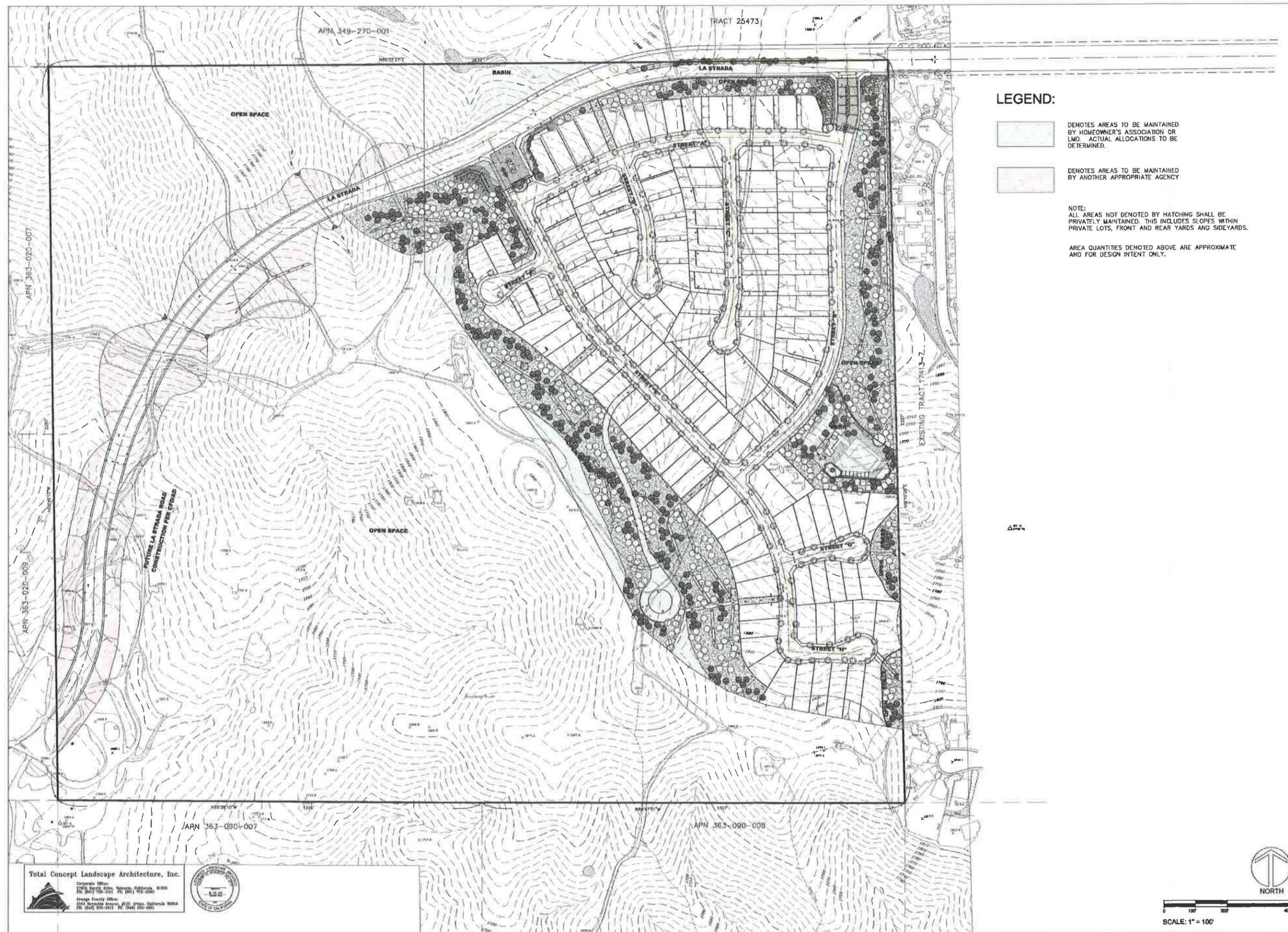
I-2 H. MAINTENANCE—La Strada Planning Area (PA 2)

The maintenance of all right-of-way, open space, landscape areas (including slope/buffer areas), street lighting, common project facilities spaces, etc. in PA 2, may be maintained by a Landscaping and Lighting Maintenance District (LLMD), Master Homeowners' Association or similar financing mechanism. Decisions regarding this assessment will be made at a future state of project review in conjunction with City agencies. However, maintenance of any land that is donated and accepted by the RCA or other appropriate resource agency would be the responsibility of that agency.

CANYON CREEK
Specific Plan



Planning Area No.2



J. SPECIFIC PLAN MODIFICATIONS

1. Specific Plan Amendments

Minor modifications to the approved Specific Plan will be approved administratively and allowed at the discretion of the Director of Planning. Modifications to the Specific Plan must be consistent with the purpose and intent of the Canyon Creek Specific Plan and Specific Plan Amendment No. 3. Such modifications may include, without limitation the following: approval of residential product type, architectural colors and materials, varying architectural styles, setback encroachments, setback reductions up to 25% of required setback, etc. The intent of the Specific Plan Amendment No. 3 is to establish a standard, and as long as the modification maintains that standard (as determined by the Director of Planning), the modification shall be permitted. The Design Guidelines presented in the Specific Plan represent the development intent and may be modified to meet site constraints. Modifications will be allowed without an amendment to the Specific Plan (as approved by the Director of Planning) as long as it is determined that the design intent presented in the Specific Plan Amendment No. 3 has been achieved.

2. Conceptual Dwelling Prototypes

The designs of the various residential units are conceptual prototypes and subject to change. However, any modification to the residential units shall be consistent with and meet the intent of the Architectural Design Guidelines for the individual Planning Areas (see Sections VI. E-1 and E-2) to ensure a similar quality and character is maintained in the neighborhood Planning Areas.

3. Lot Size and Configuration

The size and configuration of the residential lots, and the dimension and locations of improvements on those lots may be modified to accommodate third party purchaser requirements so long as the modifications comply with the Design Guidelines, Development Standards and Landscaping/Open Space policies as called out pursuant to this Specific Plan, Specific Plan Amendment No. 3 and the standards in effect at the time the TTM is deemed complete.

4. Roadway and Trails

Minor changes in roadway and trail alignments are allowed, provided such changes are consistent with the streetscape concept for the roads. Minor changes are also allowed as a result of more precise design and engineering.

K. GENERAL PLAN CONSISTENCY ANALYSIS

The following analysis demonstrates the consistency between the Canyon Creek Specific Plan, Amendment No. 3 and the Goals and Objectives contained within the City of Lake Elsinore General Plan.

LAND USE ELEMENT

GOAL 1.0 To achieve the development of a well balanced and functional mix of residential, commercial, industrial, open space, recreational and institutional land uses.

The Canyon Creek Specific Plan, Amendment No. 3 implements this Goal, by providing a mixture of residential and open space uses.

OBJECTIVE 1.1 Encourage the development and maintenance of a broad range of housing types for all income groups and age categories.

The Canyon Creek Specific Plan, Amendment No. 3 implements this Objective, as it provides additional housing opportunities for various income groups and age categories. In addition, the Specific Plan provides innovative site design; it preserves natural features; provides open space and on-site recreational facilities. The Specific Plan is also compatible with adjacent land uses in terms of land use compatibility, noise, traffic and other environmental hazards.

OBJECTIVE 1.2 Encourage the development of commercial land uses and the revitalization of existing commercial uses that strengthen the city's economic base and offer a range of enterprises that serve the needs of residents and visitors.

This Objective is not applicable to the Canyon Creek Specific Plan, Amendment No. 3, as no commercially designated land is within this portion of the Specific Plan.

OBJECTIVE 1.3 Encourage industrial land uses to diversify Lake Elsinore's economic base.

This Objective is not applicable to the Canyon Creek Specific Plan, Amendment No. 3, as no land within this portion of the Specific Plan is designated as industrial.

OBJECTIVE 1.4 Provide for open space and recreational land uses to meet the needs of the community.

The Canyon Creek Specific Plan, Amendment No. 3 will set aside approximately 75.5 acres which will be donated to an appropriate resource agency to comply with the Western Riverside County Multiple Species Conservation Plan (MSHCP). In addition, a private recreation facility will be added within Planning Area 2. A variety of maintenance mechanisms will be considered (i.e., City, CSA, HOA).

OBJECTIVE 1.5 Provide for institutional land uses to meet the social, economic, cultural, spiritual and educational needs of the residents.

This Objective is not applicable to the Canyon Creek Specific Plan, Amendment No. 3, as no land within this portion of the Specific Plan is designated as institutional.

OBJECTIVE 1.6 Encourage a jobs to housing balance of one job for every .82 households by the year 2010.

This Objective is proposed as a City-wide desire. The Specific Plan Amendment, No. 3 is consistent with the General Plan and does not conflict with the achievement of this milestone.

GOAL 2.0 To maintain the city's role as a year-round resort destination.

This Goal is not applicable to the Canyon Creek Specific Plan, Amendment No. 3, as no land within this portion of the Specific Plan is designated as resort-oriented. The Specific Plan, Amendment No. 3 will not interfere with the implementation of this Goal.

OBJECTIVE 2.1 Provide for new development around the lake that offers increased recreational activities for residents and tourists.

The Canyon Creek Specific Plan, Amendment No. 3 is not located near the lake. The Specific Plan, Amendment No. 3 will not interfere with the implementation of this Goal.

OBJECTIVE 2.2 Ensure that new development provides open space, parkland, and amenities that contribute to a high quality of life for residents and tourists.

The Canyon Creek Specific Plan, Amendment No. 3 will set aside approximately 75.5 acres which may potentially be donated to an appropriate resource agency to comply with the Western Riverside County Multiple Species Conservation Plan (MSHCP). In addition, a private recreation facility will be added within Planning Area 2. A variety of maintenance mechanisms will be considered (i.e., City, CSA, HOA). Lastly, the Specific Plan,

Amendment No. 3 includes design guidelines for architecture, landscape architecture, site planning and streetscapes in order to comply with this Objective.

GOAL 3.0 **To achieve a physical environment in which development of the land and respects the city's natural environment.**

The Canyon Creek Specific Plan, Amendment No. 3 will set aside approximately 75.5 acres which may potentially be donated to an appropriate resource agency to comply with the Western Riverside County Multiple Species Conservation Plan (MSHCP), which will serve to respect the City's natural environment and implement this Goal. Visual simulations have been developed for the project on December 7, 2004 by Digital Preview. This Simulation graphically depicts the impacts of the project on the immediate neighbors and from a variety of vantage points. Based on the Simulation, modifications to the physical and natural environment of the land will not create any adverse impacts to the community. Areas that will be disturbed will be re-vegetated and will blend in aesthetically with the existing communities. The general feeling of the physical and natural environment will be maintained, thereby serving to implement this Goal.

OBJECTIVE 3.1 **Ensure the consideration of environmental and geologic features in the planning process.**

The Canyon Creek Specific Plan, Amendment No. 3 will set aside approximately 75.5 acres which may potentially be donated to an appropriate resource agency to comply with the Western Riverside County Multiple Species Conservation Plan (MSHCP), which will serve to respect the City's natural environment and implement this Objective. Refer to the consistency analysis contained in Goal 3.0.

OBJECTIVE 3.2 **Require physical and visual buffers between land uses characterized by differing functions and density to ensure land use compatibility.**

The Canyon Creek Specific Plan, Amendment No. 3 has provided landscaped buffers between Planning Area 2 and the adjacent, existing residential development to implement this Objective. Refer to the consistency analysis contained in Goal 3.0.

GOAL 4.0 **To provide infrastructure and services to support existing and future land uses.**

Infrastructure, including sewer, water, flood control facilities, road improvements, as well as other public facilities and service requirements will be provided in accordance to the City requirements with the development of the Canyon Creek Specific Plan, Amendment No. 3. Refer to the consistency analysis contained in Goal 1.0 (Public Safety and Urban Services).

OBJECTIVE 4.1 **Ensure that impacts on infrastructure from new development do not exceed the city's ability to provide essential facilities and services; and plan for the correction of existing infrastructure and service deficiencies.**

Infrastructure, including sewer, water, flood control facilities, road improvements, as well as other public facilities and service requirements will be provided in accordance to the City requirements with the development of the Canyon Creek Specific Plan, Amendment No. 3. Refer to the consistency analysis contained in Goal 1.0 (Public Safety and Urban Services).

OPEN SPACE/CONSERVATION ELEMENT

GOAL 1.0 **To identify, protect and conserve natural resources.**

The Canyon Creek Specific Plan, Amendment No. 3 will set aside approximately 75.5 acres which may potentially be donated to an appropriate resource agency to comply with the Western Riverside County Multiple Species Conservation Plan (MSHCP), which will serve to protect and conserve natural resources and implement this Goal. Refer to the consistency analysis contained in Goal 3.0 (Land Use Element).

OBJECTIVE 1.1 **Preserve important biological habitats and protect plant and animal species of concern.**

The Canyon Creek Specific Plan, Amendment No. 3 will set aside approximately 75.5 acres which may potentially be donated to an appropriate resource agency to comply with the Western Riverside County Multiple Species Conservation Plan (MSHCP), which will serve to preserve important biological habitats and protect plant and animal species of concern and implement this Objective.

OBJECTIVE 1.2 **Increase and preserve natural and planted vegetation on public and private lands.**

The Canyon Creek Specific Plan, Amendment No. 3 contains a specific plant palette that will increase and preserve the natural

and planted vegetation on both public (potentially) and private lands; thereby, implementing this Objective.

OBJECTIVE 1.3 Promote water conservation and ensure that the quality of water resources is not degraded as a result of urbanization of the city.

The Canyon Creek Specific Plan, Amendment No. 3 will incorporate water conservation measures into project design. Reclaimed, if feasible, and available will be used for irrigation. Adequate erosion control and water runoff measures will be required for any development. All of these measures will serve to implement this Objective.

OBJECTIVE 1.4 Promote the conservation of scarce resources and reduce the community's reliance on traditional energy resources.

The Canyon Creek Specific Plan, Amendment No. 3 will promote the conservation of scarce resources through the City's recycling program, and through the incorporation of energy conservation features in the design of all new construction. All of these measures will serve to implement this Objective.

GOAL 2.0 To achieve and maintain state and national ambient air quality standards.

The Canyon Creek Specific Plan, Amendment No. 3 is consistent with the City's General Plan Land Use designation and will not conflict with this Goal. An Analysis, entitled Air Quality Analysis La Strada Partners LLC – Tract 32077 City of Lake Elsinore, California, dated November 1, 2004 was prepared for the project by Giroux & Associates. According to this Analysis, the greatest project-related air quality concern centers on the 1,282 new vehicle trips that will be generated at project completion. Secondary impact potential will derive from energy consumption in power plants or on-site heaters, stoves, water heaters, etc. General development also creates miscellaneous emissions from a variety of sources such as cleaning products, landscaping equipment, and fireplaces. It also contributes to the off-site emissions from restaurants, gas stations, dry cleaners, or sand and gravel plants. According to the Analysis, none of the quantifiable pollutants will be in excess of the South Coast Air Quality Management District's (SCAQMD) recommended threshold levels and are below thresholds with an adequate margin of safety. Operationally, the project is considered to have a "less-than-significant" impact on the atmospheric environment. Short-term construction activities during site grading may exceed recommended SCAQMD significance

thresholds for NOx depending upon disturbance acreage and amount of equipment operating on-site. Daily emissions of ROG may exceed the daily threshold during the application of paints and coatings if the entire project is painted in a brief period of time. Mitigation measures have been provided to reduce the potential for any short-term construction activities. Based on this information, development of the project will not conflict with the implementation of this Goal.

OBJECTIVE 2.1 Promote land use patterns that reduce daily automotive trips and reduce trip distance for work, shopping, school and recreation.

The Canyon Creek Specific Plan, Amendment No. 3 is consistent with the City's General Plan Land Use designation and will not conflict with this Objective.

OBJECTIVE 2.2 Reduce air pollutant emissions.

The Canyon Creek Specific Plan, Amendment No. 3 is consistent with the City's General Plan Land Use designation. Refer to the consistency analysis contained in Goal 2.0., as development of the project will not conflict with the implementation of this Objective.

GOAL 3.0 To prevent the loss of significant historical and cultural resources.

The Canyon Creek Specific Plan Amendment No. 3 will not conflict with this Goal.

OBJECTIVE 3.1 Identify and promote the preservation and conservation of paleontological and archaeological sites.

The Canyon Creek Specific Plan Amendment No. 3 will not conflict with this Objective.

OBJECTIVE 3.2 Assure the recognition of the city's heritage through preservation of the city's significant historical sites and structures.

There are no significant historical sites of structures within the Canyon Creek Specific Plan Amendment No. 3. Implementation of the Specific Plan, Amendment No. 3 will not conflict with this Objective.

GOAL 4.0 **To identify and preserve open space areas for public safety, recreation, scenic quality and preservation of natural resources.**

The Canyon Creek Specific Plan, Amendment No. 3 will set aside approximately 75.5 acres which may potentially be donated to an appropriate resource agency to comply with the Western Riverside County Multiple Species Conservation Plan (MSHCP), which will serve to preserve open space areas for public safety, recreation, scenic quality and preservation of natural resources and implement this Goal. Refer to the consistency analysis contained in Goal 3.0 (Land Use Element).

OBJECTIVE 4.1 **Preserve quality public views of the lake and ridgelines.**

The Canyon Creek Specific Plan, Amendment No. 3 will set aside approximately 75.5 acres which may potentially be donated to an appropriate resource agency to comply with the Western Riverside County Multiple Species Conservation Plan (MSHCP), which will serve to preserve quality public views of ridgelines and implement this Objective. The project site is not adjacent to the lake; therefore public views of the lake will not be affected. Refer to the consistency analysis contained in Goal 3.0 (Land Use Element).

OBJECTIVE 4.2 **Promote the establishment of permanent open space areas and the preservation of significant physiographic features.**

The Canyon Creek Specific Plan, Amendment No. 3 will set aside approximately 75.5 acres which may potentially be donated to an appropriate resource agency to comply with the Western Riverside County Multiple Species Conservation Plan (MSHCP), which will serve to Promote the establishment of permanent open space areas and the preservation of significant physiographic features. In addition, the Specific Plan, Amendment No. 3 will incorporate passive and active open space, provide trails/pathways to the open space areas and utilize clustered development and other site planning techniques to maximize the preservation of open space. All of these measures will serve to implement this Objective. Refer to the consistency analysis contained in Goal 3.0 (Land Use Element).

GOAL 5.0 **To encourage the conservation and efficient production of lands with mineral deposits.**

No mineral deposits have been identified within the Canyon Creek Specific Plan, Amendment No. 3 area; therefore, the project will not interfere with the implementation of this Goal.

OBJECTIVE 5.1 **To the extent consistent with other land use goals and objectives and where compatible with neighboring land uses, protect the viability of resource production in state designated, regionally significant resource areas.**

No mineral deposits have been identified within the Canyon Creek Specific Plan, Amendment No. 3 area; therefore, the project will not interfere with the implementation of this Objective.

OBJECTIVE 5.2 **Control the extraction of mineral resources to ensure minimal disturbance to the environment and surrounding land uses.**

No mineral deposits have been identified within the Canyon Creek Specific Plan, Amendment No. 3 area or adjacent areas; therefore, the project will not interfere with the implementation of this Objective.

GOAL 6.0 **To identify, protect and preserve prime agricultural land from premature conversion to urbanized areas.**

No prime agricultural land has been identified within the Canyon Creek Specific Plan, Amendment No. 3 area or adjacent areas; therefore, the project will not interfere with the implementation of this Goal.

OBJECTIVE 6.1 **Encourage continued production of prime agricultural soils, groves and other agriculture activity.**

No prime agricultural land has been identified within the Canyon Creek Specific Plan, Amendment No. 3 area or adjacent areas; therefore, the project will not interfere with the implementation of this Objective.

GOAL 7.0 **To protect against loss of soils from wind and water erosion.**

The Canyon Creek Specific Plan, Amendment No. 3 will not result in the loss of soil from wind and water erosion. Best management practices designed to minimize erosion and sedimentation during grading and construction. In addition, erosion control landscape plans shall be required to provide for re-establishment of vegetation on exposed slopes. All of these measures will serve to implement this Goal.

OBJECTIVE 7.1 **Control the loss of soils through the use of best management practices designed to minimize erosion and sedimentation during grading and construction.**

The Canyon Creek Specific Plan, Amendment No. 3 will not result in the loss of soil from wind and water erosion. Best management practices designed to minimize erosion and sedimentation during grading and construction. In addition, erosion control landscape plans shall be required to provide for re-establishment of vegetation on exposed slopes. All of these measures will serve to implement this Objective.

PARKS AND RECREATION ELEMENT

GOAL 1.0 **To provide a range of recreational opportunities for all residents and visitors.**

The Canyon Creek Specific Plan, Amendment No. 3 will provide on-site recreation opportunities for its residents and visitors; thereby, implementing this Goal.

OBJECTIVE 1.1 **Provide a combination of local park acreage, park facilities and parks and recreation programs to serve the different needs of the community.**

The Canyon Creek Specific Plan, Amendment No. 3 will provide on-site recreation opportunities for its residents and visitors. The site development will enhance and preserve significant natural features, including rock outcroppings, ridgelines and viewpoints. The project will be subject to the City's Quimby Ordinance requirement. All of these measures will serve to implement this Objective.

OBJECTIVE 1.2 **Provide parkland and recreational opportunities to complement the tourist orientation of the community.**

The Canyon Creek Specific Plan, Amendment No. 3 does not cater to the tourist segment of the population. Therefore, this Objective is not applicable. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the implementation of this Objective.

OBJECTIVE 1.3 **Encourage the development of private recreational facilities in Lake Elsinore.**

The Canyon Creek Specific Plan, Amendment No. 3 will provide on-site recreation opportunities for its residents and visitors. The Canyon Creek Specific Plan, Amendment No. 3 will implement this Objective.

OBJECTIVE 1.4 **Establish a primary trail network of equestrian and hiking trails that interfaces with other trails (i.e., bikeways) and links city, County of Riverside and state park and recreation facilities.**

This Objective is a City directive. The Canyon Creek Specific Plan, Amendment No. 3 will provide a trail/pathway network that interfaces with other trails (i.e., bikeways) and links city, County of Riverside and state park and recreation facilities and will not conflict with the implementation of this Objective.

PUBLIC SAFETY AND URBAN SERVICES ELEMENT

GOAL 1.0 **To ensure a high level of public safety for the community.**

The Canyon Creek Specific Plan, Amendment No. 3 will be developed in accordance with the City’s public safety standards. A Fiscal Impact Report entitled, La Strada Partners, LLC City of Lake Elsinore Canyon Creek Project, dated December 6, 2004 was prepared by David Taussig & associates, Inc. for the project. According to this Report, development of the project is anticipated to have a net fiscal impact on the City, with an annual surplus of \$395.00 per each of the project’s 133 dwelling units. Costs associated with providing services to ensure a high level of public safety for the community are offset by the revenues that the project will generate. Therefore, development of the project will not conflict with the implementation of this Goal.

OBJECTIVE 1.1 **Provide effective and cost-efficient police, fire and emergency medical service to the city to minimize potential injury, loss or destruction of persons and property and to provide a safe and secure environment for the city's residents and visitors.**

The Canyon Creek Specific Plan, Amendment No. 3 will be developed in accordance with the City’s safety standards. Refer to the consistency analysis contained in Goal 1.0., as development of the project will not conflict with the implementation of this Objective.

OBJECTIVE 1.2 **Minimize the risk of loss of life; injury, property damage, and economic and social displacement due to seismic and geologic hazards resulting from earthquakes and geologic constraints.**

The Canyon Creek Specific Plan, Amendment No. 3 will be developed in accordance with the City’s safety standards. It will not conflict with the implementation of this Objective.

OBJECTIVE 1.3 Minimize the risk of injury to residents and visitors and of property damage due to flooding.

The Canyon Creek Specific Plan, Amendment No. 3 will be developed in accordance with the City's safety standards. It will not conflict with the implementation of this Objective.

OBJECTIVE 1.4 The city shall work towards reducing the level of risk to persons and property from hazardous waste within the city.

This Objective is a City directive. The Canyon Creek Specific Plan, Amendment No. 3 will not conflict with the implementation of this Objective.

OBJECTIVE 1.5 Coordinate with the County of Riverside and other appropriate agencies to provide effective response to an emergency; minimize property damage in a disaster; and enhance citizen awareness of evacuation routes and actions to be taken in the event of an emergency through education.

This Objective is a City directive. The Canyon Creek Specific Plan, Amendment No. 3 will not conflict with the implementation of this Objective.

GOAL 2.0 To ensure public infrastructure supports existing and future land uses.

Infrastructure, including sewer, water, flood control facilities, road improvements, as well as other public facilities and service requirements will be provided in accordance to the City requirements with the development of the Canyon Creek Specific Plan, Amendment No. 3; thereby, implementing this Goal.

OBJECTIVE 2.1 Coordinate with the water districts to provide domestic water supplies and fire flow water requirements to meet existing and future demand.

Infrastructure, including sewer, water, flood control facilities, road improvements, as well as other public facilities and service requirements will be provided in accordance to the City requirements with the development of the Canyon Creek Specific Plan, Amendment No. 3; thereby, implementing this Objective.

OBJECTIVE 2.2 Ensure that wastewater/sewer flows are accommodated and provide facilities to meet existing and future development.

Infrastructure, including sewer, water, flood control facilities, road improvements, as well as other public facilities and service

requirements will be provided in accordance to the City requirements with the development of the Canyon Creek Specific Plan, Amendment No. 3; thereby, implementing this Goal.

OBJECTIVE 2.3 Coordinate with the County of Riverside in the establishment of a long-term solid waste management plan.

This Objective is a City directive. The Canyon Creek Specific Plan, Amendment No. 3 will promote the conservation of scarce resources through the City's recycling program. This measure will serve to implement this Objective.

OBJECTIVE 2.4 Coordinate planning and development proposals including general plan amendments, changes in land use classifications, development agreements, annexations, public financing and redevelopment proposals as well as applicable determinations of consistency with the general plan with the school district serving the planning area in an effort to assist the school district in providing school facilities to meet the needs of the community in a timely manner.

The Canyon Creek Specific Plan, Amendment No. 3 is consistent with the City's General Plan Land Use designation and will not conflict with this Objective.

OBJECTIVE 2.5 Ensure that adequate electrical, natural gas and telecommunication systems are provided to meet the demand of new and existing development.

Infrastructure, including sewer, water, flood control facilities, road improvements, as well as other public facilities and service requirements will be provided in accordance to the City requirements with the development of the Canyon Creek Specific Plan, Amendment No. 3; thereby, implementing this Objective.

OBJECTIVE 2.6 Encourage the County of Riverside County/City Public Library System to provide sufficient library services and facilities.

This Objective is a City directive. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Objective.

COMMUNITY DESIGN ELEMENT

GOAL 1.0 To develop and reinforce an image of the city related to its regional and natural setting and its tourist orientation.

The Canyon Creek Specific Plan, Amendment No. 3 will reinforce the natural setting within the City. It will not have an affect on the tourist orientation. The Specific Plan, Amendment No. 3 will serve to implement this Goal.

OBJECTIVE 1.1 Encourage the preservation of the countryside retreat image.

This Objective is not applicable to the Canyon Creek Specific Plan, No. 3. The Specific Plan, Amendment No. 3 will not interfere with the implementation of this Objective.

GOAL 2.0 To preserve, strengthen, or develop the positive qualities of individual districts or neighborhoods and enhance their image and function.

The Canyon Creek Specific Plan Amendment No. 3 will preserve, strengthen, and develop the positive qualities of residential and districts or neighborhoods, both on-site and in the project vicinity. This will be achieved by incorporating open space/recreational buffers, and distinctive streetscape designs to create strong neighborhood boundaries and neighborhood entries and signage. All of these measures will serve to implement this Goal.

OBJECTIVE 2.1 Encourage new residential development to establish identifiable neighborhoods.

The Canyon Creek Specific Plan Amendment No. 3 will establish an identifiable neighborhood. This will be achieved by incorporating open space/recreational buffers, and distinctive streetscape designs to create strong neighborhood boundaries and neighborhood entries and signage. All of these measures will serve to implement this Goal.

OBJECTIVE 2.2 Promote and strengthen business and commercial center identity through architecture, landscaping, and signage.

This Objective is not applicable to the Canyon Creek Specific Plan, No. 3 since there is no commercial development proposed. The Specific Plan, Amendment No. 3 will not interfere with the implementation of this Objective.

GOAL 3.0 To preserve elements of the natural environment in the community.

The Canyon Creek Specific Plan, Amendment No. 3 will set aside approximately 75.5 acres which may potentially be donated to an appropriate resource agency to comply with the

Western Riverside County Multiple Species Conservation Plan (MSHCP), which will serve to preserve elements of the natural environment in the community and implement this Goal.

OBJECTIVE 3.1 Promote site design and building construction that preserves significant landforms.

The Canyon Creek Specific Plan, Amendment No. 3 utilize clustered development and other site planning techniques to maximize the preservation of open space, including significant landforms. All of these measures will serve to implement this Objective.

GOAL 4.0 To develop a circulation system that creates community image and identity.

The Canyon Creek Specific Plan, Amendment No. 3 will develop a circulation system that creates community image and identity. The street right-of-way and property adjacent to it will be used harmoniously to create attractive streetscapes. Close attention shall be paid to the streetscape as it relates to front yard setbacks. All of these measures will serve to implement this Goal. Refer to the consistency analysis contained in Goal 3.0 (Land Use Element).

OBJECTIVE 4.1 Establish methods to maintain a country road image in developed areas.

The Canyon Creek Specific Plan, Amendment No. 3 will provide methods to maintain a country road image. The street right-of-way and property adjacent to it will be used harmoniously to create attractive streetscapes. Close attention shall be paid to the streetscape as it relates to front yard setbacks. All of these measures will serve to implement this Objective.

OBJECTIVE 4.2 Identify the principal gateways of the community and establish arrival statements in the landscape and architectural setting.

This Objective is a City directive. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Objective.

GOAL 5.0 To protect and enhance public views of significant natural features and of developed land.

OBJECTIVE 5.1 Establish practices that ensure development features enhance public views.

The Canyon Creek Specific Plan, Amendment No. 3 will incorporate development features that will enhance public views. Street alignments and site design will avoid views of backyards or monotonous architectural forms and utility lines will be undergrounded where feasible. All of these measures will serve to implement this Goal. Refer to the consistency analysis contained in Goal 3.0 (Land Use Element).

OBJECTIVE 5.2 **Encourage developments to locate public streets and public facilities to take advantage of views of natural features.**

The Canyon Creek Specific Plan, Amendment No. 3 utilize clustered development and other site planning techniques to maximize the preservation of open space, including significant landforms. All of these measures will serve to implement this Objective.

GOAL 6.0 **To remove visual blight.**

This Goal is not applicable to the Canyon Creek Specific Plan, Amendment No. 3, as the site is currently vacant. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Goal.

OBJECTIVE 6.1 **Continue and improve efforts to upgrade the visual qualities of developed property.**

This Objective is not applicable to the Canyon Creek Specific Plan, Amendment No. 3, as the site is not currently developed. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Objective. Refer to the consistency analysis contained in Goal 3.0 (Land Use Element).

OBJECTIVE 6.2 **Identify and encourage preservation of areas or structures with historic significance.**

There are no areas or structures with historic significance within the Canyon Creek Specific Plan Amendment No. 3. Implementation of the Specific Plan, Amendment No. 3 will not conflict with this Objective.

CIRCULATION ELEMENT

GOAL 1.0 **To provide a street network to move people and goods safely and efficiently throughout Lake Elsinore.**

The Canyon Creek Specific Plan, Amendment No. 3 contains a segment of La Strada road, which is a much needed circulation component within the City. Development of this roadway will contribute to the street network that moves people and goods safely and efficiently throughout Lake Elsinore. The Specific Plan, Amendment No. 3 will serve to implement this Goal.

OBJECTIVE 1.1 Strive to maintain a minimum Level of Service "C" at all intersections during non-peak hours and Level of Service "D" (volume/capacity ratio of 0.90 or less) at all intersections during peak hours to ensure that traffic delays are kept to a minimum.

The Canyon Creek Specific Plan, Amendment No. 3 contains a segment of La Strada road, which is a much needed circulation component within the City. Development of this roadway will contribute to the Objective to Strive to maintain a minimum Level of Service "C" at all intersections during non-peak hours and Level of Service "D" (volume/capacity ratio of 0.90 or less) at all intersections during peak hours to ensure that traffic delays are kept to a minimum. The Specific Plan, Amendment No. 3 will serve to implement this Objective.

OBJECTIVE 1.2 Establish adequate measures to ensure traffic safety.

The Canyon Creek Specific Plan, Amendment No. 3 will establish adequate measures to ensure traffic safety. The project will be designed in conformance with City standards to minimize conflicting traffic movements such as turning, angle parking, uncontrolled access, and frequent stops, new driveways do not pose significant traffic conflicts for major arterials and residential collector roads, and that pedestrian and vehicular traffic are separated to the maximum feasible extent possible. All of these measures will serve to implement this Objective.

OBJECTIVE 1.3 Preserve the quality of residential neighborhoods by maintaining the legally enforceable speed limits and by discouraging the flow of truck traffic and through traffic.

This Objective is not applicable to the Canyon Creek Specific Plan, Amendment No. 3. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Objective.

OBJECTIVE 1.4 Establish financing programs which incorporate adequate funding to construct and maintain the city's roadway system.

The Canyon Creek Specific Plan, Amendment No. 3 contains a segment of La Strada Road, which is a much needed circulation component within the City. Development of this roadway will contribute to the street network that moves people and goods safely and efficiently throughout Lake Elsinore. A financing program, which incorporate adequate funding to construct and maintain this roadway is currently being established. The Specific Plan, Amendment No. 3 will serve to implement this Objective.

GOAL 2.0 **To promote a public transportation system that is safe, convenient, efficient, and meets the identified needs of the Lake Elsinore Valley.**

This Objective is a City directive. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Objective.

OBJECTIVE 2.1 **Require dedication and/or construction of appropriate facilities in support of a public transportation system.**

This Objective is a City directive. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Objective.

GOAL 3.0 **To promote alternatives to motorized transportation that meet the needs of all city residents.**

This Goal is a City directive. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Goal.

OBJECTIVE 3.1 **Provide a circulation network that accommodates the safe and efficient movement of cyclists.**

The Canyon Creek Specific Plan, Amendment No. 3 will contribute the City-wide circulation network that accommodates the safe and efficient movement of cyclists. Bicycle lanes, shall be provided on the roadways within the Specific Plan, Amendment No. 3. The Specific Plan, Amendment No. 3 will serve to implement this Objective.

OBJECTIVE 3.2 **Provide a system of sidewalks or pathways in residential and commercial areas that provides a safe environment for pedestrians.**

The Canyon Creek Specific Plan, Amendment No. 3 will provide sidewalks or pathways that provides a safe environment for

pedestrians. The Specific Plan, Amendment No. 3 will serve to implement this Objective.

GOAL 4.0 **To provide an adequate supply of private off street and public parking to meet the needs of residents and visitors to the city.**

The Canyon Creek Specific Plan, Amendment No. 3 will provide an adequate supply of private off street parking to meet the needs of residents and visitors. The Specific Plan, Amendment No. 3 will serve to implement this Goal.

OBJECTIVE 4.1 **Enforce and periodically update the zoning ordinance which specifies minimum parking requirements for various types of land use.**

This Objective is a City directive. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Objective.

OBJECTIVE 4.2 **Provide joint-use and public parking facilities, where needed, by special assessment districts or other mechanisms.**

This Objective is a City directive. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Objective.

GOAL 5.0 **Manage peak hour traffic flow and change demand on the circulation system to reduce traffic congestion where necessary and feasible.**

This Goal is a City directive. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Goal.

OBJECTIVE 5.1 **Provide for the development and monitoring of Transportation System Management (TSM) and Travel Demand Management (TDM) programs which are focused on reducing vehicular travel at locations where trip-making is concentrated.**

This Objective is a City directive. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Objective.

HOUSING ELEMENT

GOAL 1.0 **To provide decent housing opportunities and a satisfying living environment for residents of Lake Elsinore.**

The Canyon Creek Specific Plan, Amendment No. 3 implements this Goal, as it provides provide decent housing opportunities and a satisfying living environment for residents of Lake Elsinore.

OBJECTIVE 1.1 Achieve the construction of 1,500 new housing units during the Housing Element program planning period (1989-1996), including approximately 400 units over the remainder of the planning period 1994-1996.

This Objective is a City directive. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Objective.

OBJECTIVE 1.2 Provide an inventory of land sufficient to accommodate the "share of regional housing needs" at varying densities over the next five years.

This Objective is a City directive. The Canyon Creek Specific Plan, Amendment No. 3 is consistent with the City's General Plan Land Use Designation and will not interfere with the City's role in implementing this Objective.

OBJECTIVE 1.3 Provide adequate housing sites in relation to housing production needs and consistent with the Land Use Element.

This Objective is a City directive. The Canyon Creek Specific Plan, Amendment No. 3 is consistent with the City's General Plan Land Use Designation and will not interfere with the City's role in implementing this Objective.

GOAL 2.0 To conserve and improve the condition of the existing affordable housing stock.

This Goal is a City directive and does not apply to the Canyon Creek Specific Plan, Amendment No. 3. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Goal.

OBJECTIVE 2.1 Achieve the conservation of existing affordable rental housing throughout the city, including dwellings occupied by households assisted through the local State or Federal programs.

This Objective is a City directive and does not apply to the Canyon Creek Specific Plan, Amendment No. 3. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Objective.

OBJECTIVE 2.2 **Maintain the existing housing stock through rehabilitation where needed, and achieve the rehabilitation of 50 dwelling units during the program planning period (1989-1996).**

This Objective is a City directive and does not apply to the Canyon Creek Specific Plan, Amendment No. 3. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Objective.

GOAL 3.0 **To assist in the development of adequate housing to meet the needs of low and moderate income households.**

This Goal is a City directive and does not apply to the Canyon Creek Specific Plan, Amendment No. 3. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Goal.

OBJECTIVE 3.1 **Facilitate the development of at least 30 dwelling units during the remainder of the program planning period (1994-1996) to further assist in providing the city's fair share of low and moderate income households in accordance with Article 10.6 of the California Government Code which defines low and moderate income families and households, relative to the share of affordable housing provided elsewhere in the County.**

This Objective is a City directive and does not apply to the Canyon Creek Specific Plan, Amendment No. 3. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Objective.

GOAL 4.0 **To address, and where appropriate and legally possible, constraints to the maintenance, improvement and development of housing.**

This Goal is a City directive and does not apply to the Canyon Creek Specific Plan, Amendment No. 3. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Goal.

OBJECTIVE 4.1 **Promote reasonable processing time and fees and encourage incentives for the provision of quality housing opportunities.**

This Objective is a City directive and does not apply to the Canyon Creek Specific Plan, Amendment No. 3. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Objective.

OBJECTIVE 4.2 **Promote methods of enhancing land availability within the framework of the Land Use Element and Zoning Ordinance.**

This Objective is a City directive and does not apply to the Canyon Creek Specific Plan, Amendment No. 3. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Objective.

GOAL 5.0 **To promote housing opportunities for all persons regardless of race, religion, sex, marital status, ancestry, national origin, or color.**

This Goal is a City directive and does not apply to the Canyon Creek Specific Plan, Amendment No. 3. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Goal.

OBJECTIVE 5.1 **Provide residents of Lake Elsinore the opportunity to seek housing in a neighborhood of their choice.**

This Objective is a City directive and does not apply to the Canyon Creek Specific Plan, Amendment No. 3. The Canyon Creek Specific Plan, Amendment No. 3 will not interfere with the City's role in implementing this Objective.

GOAL 6.0 **To encourage the incorporation of energy conservation features in the design of all new housing development and the installation of conservation devices in existing developments.**

The Canyon Creek Specific Plan, Amendment No. 3 will promote the conservation of scarce resources through the City's recycling program, and through the incorporation of energy conservation features in the design of all new construction. All of these measures will serve to implement this Goal.

OBJECTIVE 6.1 **Promote the conservation of scarce energy resources and reduce the community's reliance on traditional energy resources.**

The Canyon Creek Specific Plan, Amendment No. 3 will promote the conservation of scarce resources through the City's recycling program, and through the incorporation of energy conservation features in the design of all new construction. All of these measures will serve to implement this Objective.

NOISE ELEMENT

GOAL 1.0 **To reduce noise impacts from transportation sources.**

The Canyon Creek Specific Plan, Amendment No. 3 will be subject to potential noise impacts. A Noise Study, entitled Tentative Tract 32077 Preliminary Noise Study, dated November 19, 2004 has been prepared for the project by Urban Crossroads. According to the study, future vehicle noise from La Strada Road is the principal source of community noise that will impact the site. Based on the future traffic projections, portions of the site will experience unmitigated exterior noise levels that will exceed the City of Lake Elsinore noise standards for transportation related noise impacts. Site specific mitigation measures are proposed in the Study, and these impacts will be reduced through the use of noise attenuation walls, landscaping and construction techniques. According to the study, with the recommended noise mitigation measures provided, the proposed Tentative Tract Map 32077 will meet the City of Lake Elsinore noise standards for residential development. The Specific Plan, Amendment No. 3 will serve to implement this Goal.

OBJECTIVE 1.1 Reduce transportation noise through a variety of methods, including coordination with various agencies, proper design of transportation facilities, and coordination of traffic routing.

The Canyon Creek Specific Plan, Amendment No. 3 will be subject to potential noise impacts from La Strada Road. Refer to the consistency analysis contained in Goal 1.0.

GOAL 2.0 To incorporate noise considerations into land use planning decisions.

The Canyon Creek Specific Plan, Amendment No. 3 will be subject to potential noise impacts from La Strada Road. Refer to the consistency analysis contained in Goal 1.0.

OBJECTIVE 2.1 Establish acceptable limits of noise for various land uses throughout the community.

The General Plan has established acceptable noise limits for residential development. The Canyon Creek Specific Plan, Amendment No. 3, as designed will comply with these standards and will serve to implement this Objective. Refer to the consistency analysis contained in Goal 1.0.

GOAL 3.0 To develop measures to control non transportation noise impacts.

The City has established measures to control non transportation noise impacts. The Canyon Creek Specific Plan, Amendment

No. 3, as designed will comply with these standards and will serve to implement this Goal.

OBJECTIVE 3.1 **Reduce noise generated by non-transportation sources.**

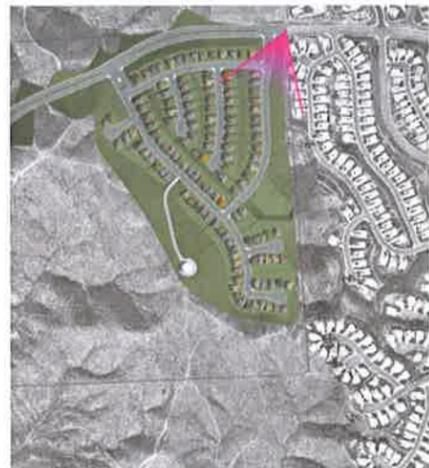
The City has established measures to control Reduce noise generated by non-transportation sources. The Canyon Creek Specific Plan, Amendment No. 3, as designed will comply with these standards and will serve to implement this Objective.

APPENDIX A
VISUAL SIMULATION PHOTOS
(pages I – VI)



PROPOSED

VIEW LOCATION MAP



EXISTING CONDITION

View Point 1

Canyon Creek

January 5, 2005



PROPOSED

VIEW LOCATION MAP



EXISTING CONDITION

View Point 2

Canyon Creek

January 5, 2005



PROPOSED

VIEW LOCATION MAP



EXISTING CONDITION

View Point 3

Canyon Creek

January 5, 2005



PROPOSED

VIEW LOCATION MAP



EXISTING CONDITION

View Point 4

Canyon Creek

January 5, 2005



PROPOSED

VIEW LOCATION MAP



EXISTING CONDITION

View Point 5

Canyon Creek

January 5, 2005



PROPOSED

VIEW LOCATION MAP



EXISTING CONDITION

View Point 6

Canyon Creek

January 5, 2005