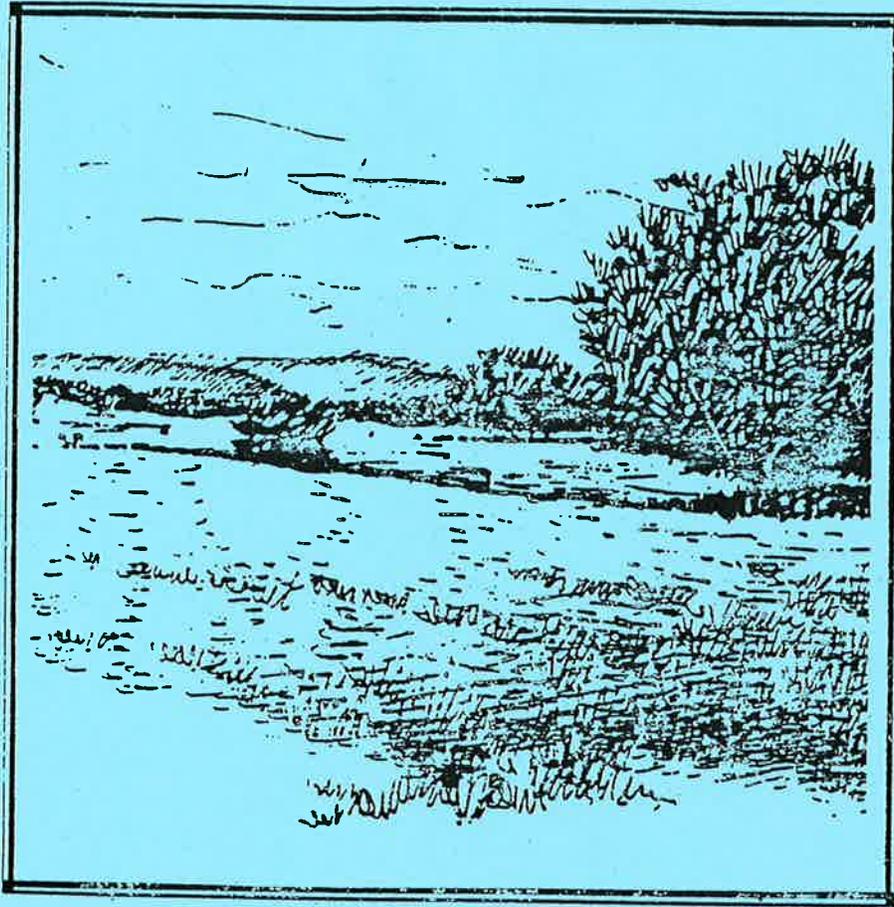


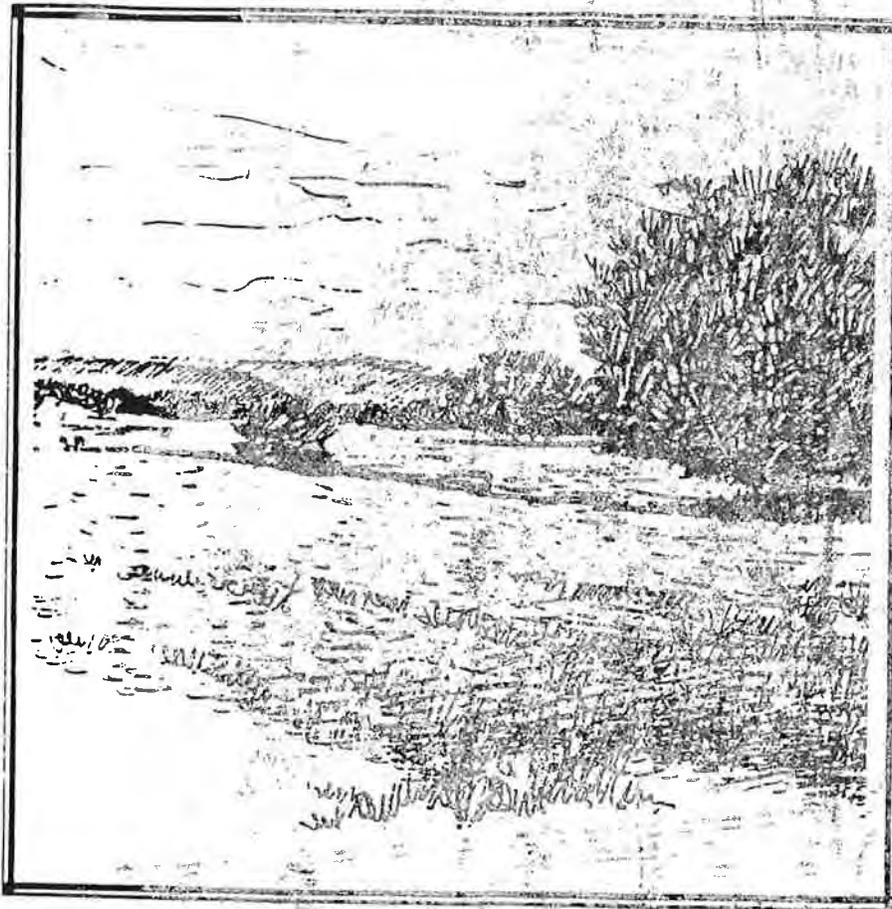
SPECIFIC PLAN



Alberhill Ranch

LONG BEACH EQUITIES, INC

SPECIFIC PLAN



Alberhill Ranch

LONG BEACH EQUITIES, INC

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TECHNICAL APPENDICES
(Separate Document)

APPENDIX

- A. Geotechnical Feasibility Investigation - Alberhill Ranch, G.A. Nicoll & Assoc., Inc., March 1988
Supplemental Geotechnical Feasibility Investigation Highland Soils Engineering, Inc., October 7, 1988
- B. Biological Assessment - Alberhill Ranch, Steven Nelson, May 1988
Stephens' Kangaroo Rat Study for Alberhill Ranch, The Planning Center and SJM Biological, September, 1988
- C. An Archaeological Assessment - Alberhill Ranch, Christopher E. Drover, Ph.D., October 1987 and Addendum, March 1988
A Paleontological Survey and Assessment of the Alberhill Ranch near Lake Elsinore Riverside County California, Heritage Resource Consultants, September, 1988
- D. Alberhill Ranch Traffic Study, Kunzman Associates, June 1988
- E. Sewer, Water & Hydrology Analysis - Alberhill Ranch, NBS/Lowry, June 1988
- F. Noise Assessment for the Alberhill Ranch Specific Plan, County of Riverside, Mestre Greve Associates, September 2, 1988
- G. Air Quality Analysis for the Alberhill Ranch Specific Plan, County of Riverside, Mestre Greve Associates, August 31, 1988
- H. Notice of Preparation and Project Correspondence
- I. Alberhill Ranch Fiscal Analysis, Lake Elsinore, California, Natelson, Levander, Whitney, Inc., October 10, 1988

I. EXECUTIVE SUMMARY

The Alberhill Ranch Specific Plan and Environmental Impact Report pertain to approximately 1,853 acres located on the northwesterly border of the City of Lake Elsinore, along Interstate 15 in Riverside County. The Alberhill Ranch Specific Plan is part of a larger annexation area of approximately 2,667 acres. Areas within the annexation area which are not covered by the Specific Plan will be subject to further environmental review once those properties are ready for development.

The project site is characterized by rolling terrain ranging in elevation from 1,200 feet to 1,950 feet. Wildlife and vegetation on-site is generally sparse, however, some biologically sensitive species have been found to inhabit the site. Much of the project site has been disturbed by mining activities. These mining operations have occurred over the past 100 years and are planned to cease sometime this year.

The Alberhill Ranch Specific Plan combines residential, commercial and open space and recreational uses on approximately 1,853 acres. The residential portion of the Specific Plan proposes 3,705 dwelling units distributed among five different density categories.

The Neighborhood Commercial portion of the project encompasses approximately 32 acres in two different locations. These commercial sites will provide shopping opportunities for the residents of Alberhill Ranch. In addition, 222 acres of highway and office commercial uses will be located along the Interstate 15 freeway at Lake Street and Nichols Road. These commercial areas will serve the Alberhill Ranch project as well as residences in the Temescal and Elsinore Valley.

TABLE 1
ALBERHILL RANCH SPECIFIC PLAN
STATISTICAL SUMMARY

<u>CATEGORY</u>	<u>LAND USE</u>	<u>ACRES</u>	<u>DENSITY</u>	<u>DWELLING UNITS</u>
R-R	Rural Residential	169 ac	0.2 du/ac	34 du
RCD	Single-Family Residential	133 ac	3.0 du/ac	399 du
R-SF	Single-Family Residential	490 ac	4.0 du/ac	1,960 du
R-M	Single-Family Residential	74 ac	8.0 du/ac	592 du
R-3	Multi-Family Residential	30 ac	24.0 du/ac	720 du
C-SP	Commercial-Specific Plan	203 ac		
C-1	Neighborhood Commercial	32 ac		
C-H	Highway/Commercial*	19 ac		
JHS	Junior High School	20 ac		
ES/P	Elementary School/Park	30 ac		
P	Park	30 ac		
OS	Open Space	531 ac		
	Roads	<u>92 ac</u>		
	TOTAL	1,853 ac		3,705 du

*Includes 8 acres within the City of Lake Elsinore Boundary currently zoned C-M.

The Alberhill Ranch project will provide 40 acres of developed neighborhood parks, as well as 531 acres of passive open space uses. A pedestrian/equestrian trail will run north/south through the open space area. Overall, the open space areas constitute approximately 28% of the total project area.

Alberhill Ranch will enjoy the benefits of a master-planned community. The infrastructure and other public facilities will be sufficiently sized to meet the needs of the entire community at full buildout. In addition, specific planning and design elements such as land use compatibility, site design, architecture, and landscaping will be consistently applied to assume a varied yet homogenous project.

The circulation system serving Alberhill Ranch combines elements of the County Master Plan of Highways with the City's circulation element. Traffic flows from the project will be served by Coal Road/Terra Cotta Road and Nichols Road (a major highway), with Robb Road and Lake Street improved to arterial highway standards.

Alberhill Ranch will fulfill a demonstrated need in this area for additional dwelling units that provide a diversity of housing types from what is currently available. In addition, the fiscal impact analysis for the project indicates that the proposed mix of land uses will result in an annual surplus of 1.3 million to the City of Lake Elsinore upon full buildout.

It is the intent of the Alberhill Ranch project to be varied in character and provide complementary land uses. Specifically, the market objectives are:

- * To satisfy anticipated marketing needs and public demand by providing a diversity of housing types and site locations which will be marketable within the developing economic profile of the City of Lake Elsinore.
- * To target the residential product types and concepts mostly to emerging, growing, and mature families.
- * To include design segments in the residential products that respond to forecastable demands in the market area.
- * To create a community identity for the Alberhill Ranch project through a consistent application of architectural standards, landscape standards, and recreational facilities standards.
- * To attract commercial uses that will be community oriented to serve community and area needs.
- * To attract commercial and business park users that will provide a job market for the citizens of the Alberhill Ranch project and the surrounding Lake Elsinore area.
- * To provide the facilities for an internal multi-modal transportation network that will facilitate efficient movement between the different land uses.

CONDITIONS OF APPROVAL FOR SPECIFIC PLAN 89-2 (ALBERHILL RANCH)

1. The text of the March 29, 1989 version of the Alberhill Ranch Specific Plan shall be revised to incorporate corrections and revisions and any typographical errors subsequent to approval of the Specific Plan and prior to its effective date shall be corrected.
2. The Alberhill Ranch Environmental Impact Report shall be revised to "draft final" format in consultation with staff prior to City Council hearings with seven (7) copies delivered to the City to include.
 - a) Comments and responses to comments received through the Planning Commission hearing of July 19, 1989.
 - b) A list of persons and agencies commenting to July 19, 1989.
 - c) Any other revisions to the text to address comments or correct typographical errors.
3. Federal and State wet lands permits shall be obtained prior to grading in any wet land area. The program shall be implemented concurrent with construction to meet the approval of the Community Development Director.
4. All structures shall be designed to incorporate all state and local water conservation regulations, subject to the approval of the Chief Building Official.
5. All site planning shall incorporate measures to promote waste reduction and recycling to the extent feasible, subject to the approval of the Community Development Director.
6. A Fire Protection Impact Mitigation Program shall be reviewed in consultation with Riverside County Fire Department subject to approval by the Community Development Director prior to tentative map approvals. City and County Fire Department standards shall be satisfied prior to construction of any habitable structures.
7. Improvement Plans, including sewer and water, shall be approved prior to the Final Map approval.
8. Developer shall negotiate with the School Districts to provide adequate school facilities to serve the project in a timely manner.
9. Developer shall deliver complete turn-key park facilities to be approved by the City in consultation with the developer concurrent with the related Tentative Map.
10. Prior to construction, the City Engineer shall approve a grading plan and all supporting studies.
11. Prior to Tentative Map approval, the project proponent will submit for review and approval drainage plans to the City of Lake Elsinore Community Development Department and the affected governmental agencies.
12. Issuance of City construction permits by the project proponent will be subject to any City Noise Ordinances and Policies.
13. The project proponent will be required to submit additional acoustic studies to the City of Lake Elsinore prior to Tentative Map approval.
14. During all grading operations, adherence to the South Coast Quality Management District's Rule 403, dealing with fugitive dust and watering, shall be required.

APPROVED
8-8-89 C.C.D.

CONDITIONS OF APPROVAL FOR SPECIFIC PLAN 89-2 (ALBERHILL RANCH) -
CONTINUED

15. Prior to issuance of a grading permit, an erosion control plan shall be approved by the City of Lake Elsinore. Clearance from the Department of Fish and Game and the U.S. Fish and Wildlife Service may be required.
16. Prior to grading of biologically sensitive areas, a Resource Management Plan shall be prepared for review by the City of Lake Elsinore.
17. Developer shall prepare an amendment to the previously approved Reclamation Plan for the mined area for approval by the Community Development Director prior to issuance of grading permits.
18. With the submission of the first Tentative Map, the developer shall submit, for review and approval by the City Engineer and subsequent approval by the Planning Commission, a circulation plan for the entire project, including phasing of improvements and design standards.
19. The City of Lake Elsinore Community Services Director shall require the implementation of all trails and bike ways addressed within the Specific Plan as Tentative Maps are approved.
20. Project development will be subject to the payment of impact fees imposed by AB 2926 prior to issuance of building permits.
21. Developer will incorporate those guidelines described in the Specific Plan as individual Tentative Maps are approved.
22. Developer will comply with all Environmental Impact Report mitigation measures as identified in Environmental Impact Report 89-2.
23. A rehabilitation and cleanup plan for all open space areas shall be prepared as part of the Phasing Plan for the entire project and shall be submitted for review and approval by the Community Development Director.
24. A phasing plan for removal of all mining operation shall be submitted with the first Tentative map for review and approval by the Community Development Director. Mining and stockpile operations may continue within the Alberhill Specific Plan area for a period not to exceed four years in accordance with mining regulations now existing in the County of Riverside.
25. As a condition of the filing of any Final Tract Map on the property covered by the Specific Plan, Murdoch and Long Beach Equities shall record in the official records of Riverside County, California, on all the respective properties in the City of Lake Elsinore a covenant and condition whereby Murdoch and/or Long Beach Equities or their successors in interest acknowledges the mining operation carried on by Pacific Clay Properties, Inc. in the general Lake Elsinore area and agrees not to object to such operations, or to bring any nuisance or similar actions with respect to such operations. (Requested by Long Beach Equities).
26. The developer shall participate in the City of Lake Elsinore Citywide Landscaping and Street Lighting District pursuant to Resolution No. 88-27.
27. Applicant shall work with individual land owners in the island area of Terra Cotta/City to insure that it is Specific Planned and brought back within one year of annexation.

APPROVED
8-8-89 C.E.D.

II. INTRODUCTION

A. SITE LOCATION

The Alberhill Ranch project is located in western Riverside County adjacent to the northern boundary of the City of Lake Elsinore as shown in the Regional Map (Exhibit 1). The Specific Plan site consists of approximately 1,853 acres of land, portions of which are divided by Interstate 15. The site is bounded generally by I-15 to the north, Terra Cotta Road/ Nichols Road to the south, El Toro Road to the east, and Robb Road/Lake Street to the west.

B. SITE DESCRIPTION

The site is characterized by rolling terrain, ranging in elevation from approximately 1,950 feet above sea level in the eastern portion of the site, to approximately 1,200 feet above sea level in the Walker Canyon/Temescal Creek area in the northern portion of the site. Temescal Creek is a major drainage channel which gathers surface water from the south-westerly flanks of Walker Canyon and flows toward the north-west. A minor tributary drains the remainder of the site, which flows along its westerly boundary and ultimately flows into Temescal Creek in the vicinity of the I-15/Lake Street interchange.

Vegetation on the site is generally sparse, consisting predominantly of native grasses and chaparral. Areas of relatively dense vegetation, including large eucalyptus and cottonwood trees, are present in Walker Canyon and along the southwest boundary of the site on Lake Street north of Coal Road.

C. BACKGROUND

A large portion of the site has been disturbed by mining operations that have occurred over the last 100 years. In the early 1800's, coal and clay were discovered in this part of Riverside County, known as the Alberhill area. From 1885 until 1900, a lignitic variety of coal was mined in the area by Messrs Cheney and Colliers. After 1900, very little coal was mined. From 1890 to 1956, the Alberhill Coal and Clay Company mined clay from deposits located on site, within the easterly half of Section 22 and the westerly one-third of Section 23. Coal and clay were mined by tunneling and open pit methods. Since 1940, the clay has been mined almost entirely by the open pit method and many of the old tunnels and "glory holes" have been removed. In 1956, Pacific Clay Products acquired exclusive rights to the Alberhill Coal and Clay Company deposits, and the mining of clay is still in progress today. However, during the past 100 years, much of

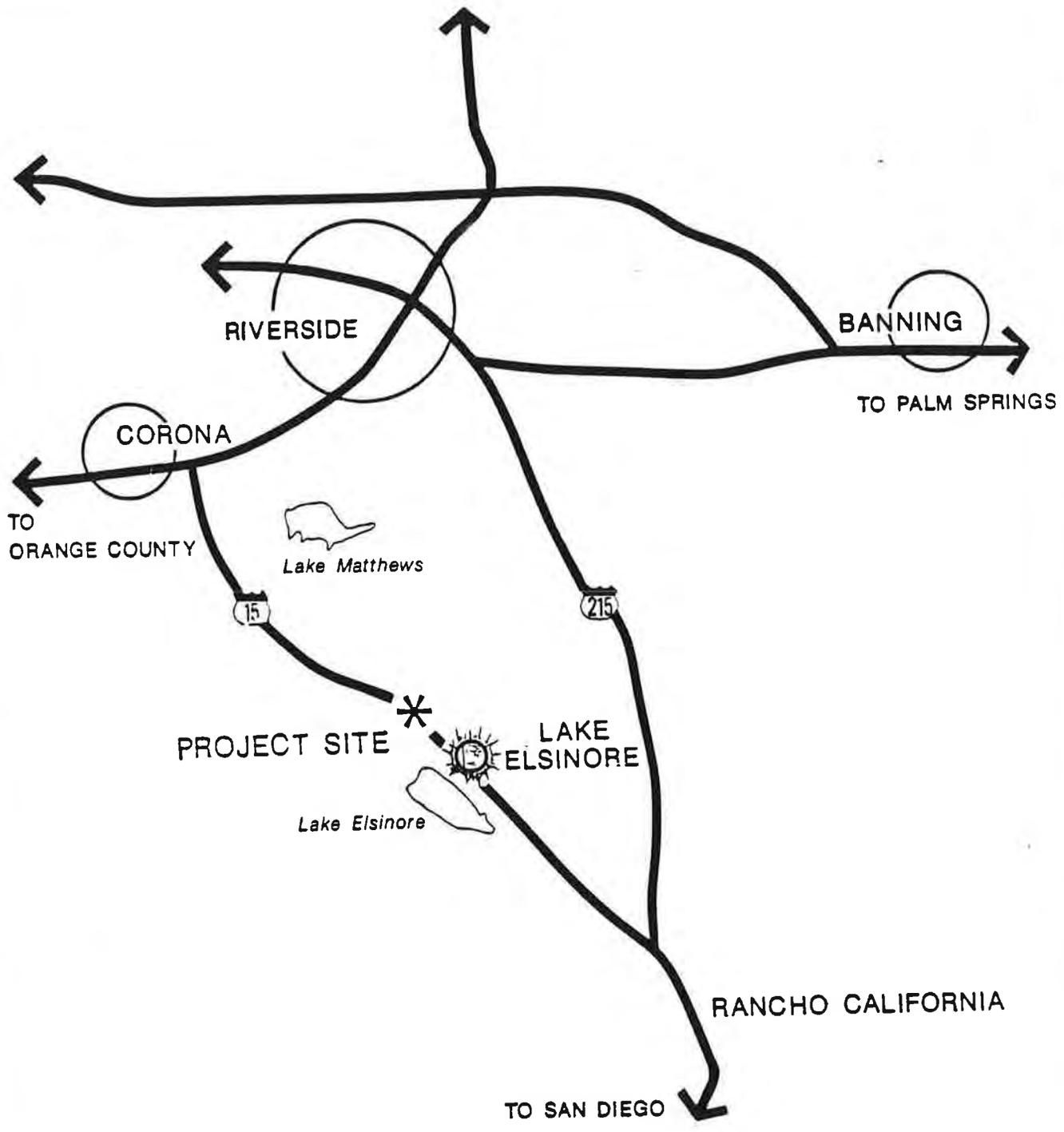


EXHIBIT 1

Regional Map

Alberhill Ranch

LONG BEACH EQUITIES, INC



the usable clay has been removed from the site and the amount of remaining clay reserves is not known. As of June 30, 1988 Pacific Clay Products' lease on a majority of the project site was terminated.

D. PROJECT OVERVIEW

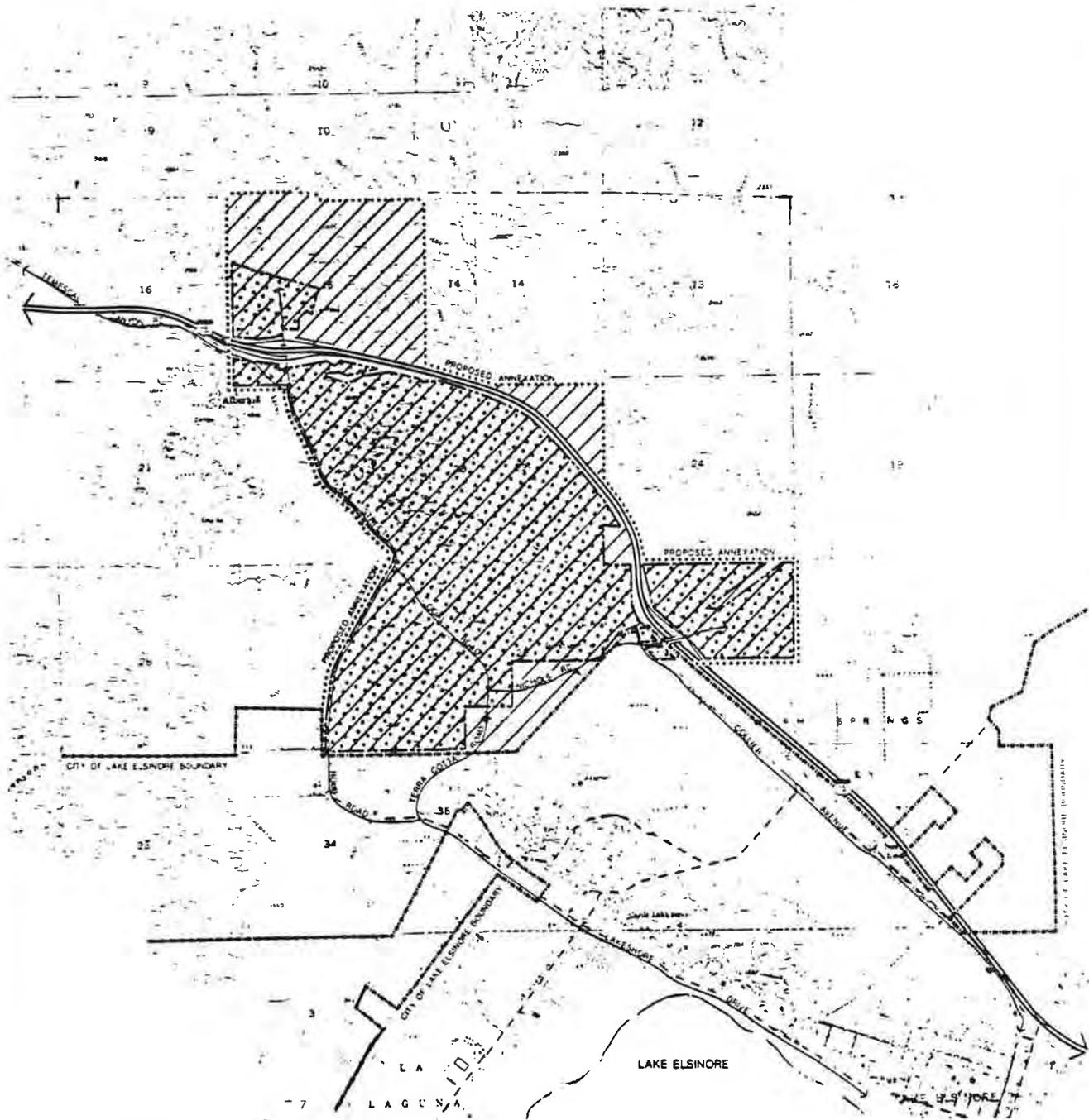
The proposed Alberhill Ranch Specific Plan project is a mixed land use development on approximately 1,853 acres. Residential development within the project will consist of a variety of housing types ranging from very low density rural residences to higher density, multi-family residences along the major corridors.

Residential areas will be served by neighborhood-oriented commercial uses within the interior of the project. A mix of commercial and business park uses are strategically located at freeway interchanges to maximize access to Interstate 15, a major transportation corridor in the region. Open space is an essential element of the project. A substantial portion of the site between I-15 and the ridgeline extending through the center of the site will be maintained in its natural condition. Within this open space area, the riparian woodland along Temescal Creek will be preserved. South of the ridgeline, residential development will be clustered to preserve natural terrain and topographic features to the greatest extent feasible, to create a transition between natural and developed areas.

E. PURPOSE

The purpose of this Specific Plan is three-fold: To define the boundaries of annexation from the County of Riverside to the City of Lake Elsinore and determine the procedures necessary to complete the process through the Local Agency Formation Commission; to initiate the amendment of mineral resource classifications on the property in accordance with the requirements of the State Department of Conservation, Division of Mines and Geology; and, to specify the proposed distribution, location and extent of land uses, public facilities and infrastructure which comprise the Alberhill Ranch Specific Plan project.

Currently, all but eight acres of the project site are located outside the corporate limits of the City of Lake Elsinore, within the jurisdiction of the County of Riverside (See Vicinity Map, Exhibit 2). The site is entirely within the City of Lake Elsinore's Sphere of Influence as determined by the Riverside County Local Agency Formation Commission (LAFCO). The project site is directly contiguous to portions of Lake Elsinore's northern city limits, except for approximately 116 acres of land in the vicinity of the Terra Cotta Road/Nichols Road intersection. Including this area, the proposed annexation encompasses 2,667 acres of land, both north and south of I-15. Areas within the annexation area



-  PROJECT BOUNDARY
-  PROPOSED ANNEXATION AREA TO CITY OF LAKE ELSINORE

EXHIBIT 2

Vicinity Map

Alberhill Ranch

LONG BEACH EQUITIES, INC



which are not covered by the Specific Plan will be subject to further environmental review at the time that those properties are proposed for development.

Because much of the land throughout California is undergoing rapid urbanization, the State Division of Mines and Geology has classified areas containing significant mineral resources into Mineral Resource Zones (MRZ's). The purpose of the classification system is to ensure that access to regionally significant resources is not precluded in the future by development occurring today. In 1982, at the request of Pacific Clay Products, Inc., the State Division of Mines and Geology established mineral resource zones on the site. Pacific Clay petitioned the State to "classify" the property's mineral resources in order to protect its mineral rights on the lease areas within the project site as well as on the highly productive land it owns west of the site. Unless a development proposal brings the project site to its attention, the State would not typically expect to re-evaluate the classification status until 1992, ten years after the original classification.

This Specific Plan has been prepared in accordance with Section 65450 et. seq. of the California State Government Code. The Plan is accompanied by an environmental assessment in accordance with the provisions of the California Environmental Quality Act (CEQA), Section 21000 et. seq. of the Public Resources Code, and with the CEQA Guidelines promulgated by the State Secretary of Resources.

In conjunction with the processing of this Plan, several procedures must be accomplished through the various jurisdictions involved:

- o Certification of the Environmental Impact Report pertaining to the property, in accordance with CEQA requirements;
- o A General Plan Amendment, processed through the City of Lake Elsinore;
- o Pre-zoning, establishing City zoning on the property prior to annexation;
- o Annexation, processed through the Riverside County Local Agency Formation Commission (LAFCO);
- o Redesignation of the Mineral Resources classification on the property, processed through the State Board of Mines and Geology;
- o Approval of a Development Agreement with the City of Lake Elsinore.

- o The processing of implementing ordinances through the City, such as Rezoning and Specific Plan adoption.

F. GOALS AND OBJECTIVES

The land use concept for Alberhill Ranch is intended to accomplish the following:

- o Preserve substantial areas for open space, including significant natural resources and wildlife habitats on-site;
- o Provide sufficient area for both active and passive recreation in conjunction with open space and greenbelt areas throughout the project area;
- o Ensure the reclamation and enhancement of areas impacted by prior mining operations for the public health, safety and welfare;
- o Utilize state-of-the-art grading techniques which minimize the intrusion of development into natural open space areas and which maintain, to the greatest extent possible, existing natural terrain and significant topographic features;
- o Minimize the extent of environmental impacts resulting from the development of this project and provide substantial mitigation for all adverse effects;
- o Provide opportunities for regional/subregional commercial/industrial development which do not conflict or compete with the City's downtown development potential;
- o Provide a balance of uses within the project area which serve the immediate needs of its residents;
- o Provide attractive neighborhoods which offer a wide range of housing opportunities;
- o Provide the public facilities and improvements necessary to accommodate the ultimate buildout of the project and to maintain a quality level of service for its residents.

G. PROPOSED CITY OF LAKE ELSINORE GENERAL PLAN DESIGNATION

The Alberhill Ranch Specific Plan has been prepared in conformance with the Goals of the City of Lake Elsinore General Plan. This Specific Plan addresses conformance with those Goals in Section X, Table 10, entitled "Compliance with General Plan Goals - Alberhill Ranch".

The majority of the Alberhill Ranch Specific Plan site is located within the County of Riverside. The one exception is the eight (8) acres of land on the western side of the Nichols Road/Interstate-15 interchange that is located within the municipal boundaries of the City of Lake Elsinore (City). Outside of the Specific Plan site, several annexation areas are proposed, as noted on Exhibit No. 2. Those areas are located entirely within the County of Riverside. Riverside County has an adopted General Plan entitled the, "Comprehensive General Plan". That plan specifies that land use categories are based upon different levels of public facilities and service compatibilities. Each land use category has its own set of locational policies and potential land uses. There are five land use categories which are:

- Category I - Heavy Urban
- Category II - Urban
- Category III - Rural
- Category IV - Outlying Area
- Category V - Planned Community

In terms of land use intensity/density, the proposed project may be considered to be a Category II land use. Category II represents a broad mixture of land uses, including many types of commercial and industrial land uses, and residential land uses with a density of two to eight dwelling units per acre. In reality, the proposed Specific Plan site is considered a Category V land use.

The Comprehensive General Plan has established Category V as a unique land use which provides for the development of new towns and communities within the County. The Comprehensive General Plan states that, "Planned Communities are large scale projects which are designed as balanced communities which may contain a variety of residential, commercial, and industrial land uses."

Since the project (Specific Plan site and surrounding annexation area) is proposed to be annexed into the City, a City General Plan designation, rather than a County of Riverside designation must be sought. The General Plan which is in use by the City at this time is dated December 14, 1982. That plan provides a land use designation which accommodates Specific Plans. That designation is entitled, "Specific Plan Area", or SPA. This General Plan designation is used where Specific Plan zoning must be adopted prior to development. The General Plan advises further that the overall residential density to be permitted in a Specific Plan area shall be designated on the General Plan Land Use Map. The Alberhill Ranch Specific Plan proposes an overall residential density of 2.0 dwelling units per acre, as was determined based on City staff direction. Therefore, to be in compliance with the Lake Elsinore General Plan, the applicant seeks a General Plan land use designation of SPA-2.0.

In addition, the applicant seeks to amend the Lake Elsinore General Plan Land Use Element to include Floor Area Ratios (FARs) for commercial land uses. The proposed FARs are In addition, the applicant is proposing Floor Area Ratios (FARs) for Commercial zoning as specified in Chapter VIII (Specific Plan Zoning Ordinance) of this text. Therefore, the applicant requests that the Lake Elsinore General Plan Land Use Element be amended to include those FARs.

III. SITE ANALYSIS

A. PHYSICAL SETTING

1. Topography

The project site is located adjacent to the foothills of the Santa Ana Mountains in southwestern Riverside County. The elevation of the Alberhill-Temescal Valley area ranges from a maximum of about 1,900 feet on the extreme eastern side of the project site to 1,200 feet above sea level at the northern edge of the project site in the bottom of Temescal Wash/Walker Canyon. Exhibit 3 (Elevation Analysis) illustrates that the maximum relief on site is about 600 feet. The site contains extensive areas of 25% slope, as shown in Exhibit 4 (Slope Analysis). The area is currently dissected by Temescal Wash and several minor tributaries which flow generally north and west.

2. Geology

a. Regional Geology

The project site is located at the southeast end of the Temescal Valley, which is situated along the southwest boundary of the Perris Penepplain. Igneous and Metamorphic rocks form the basement complex which is overlain by Tertiary and Quaternary age marine and non-marine sediments. The geologic structure of the Southern Temescal Valley is characterized by a complex of northeast-trending faults which have developed in response to tectonic activity along the Elsinore fault zone.

b. Local Geology

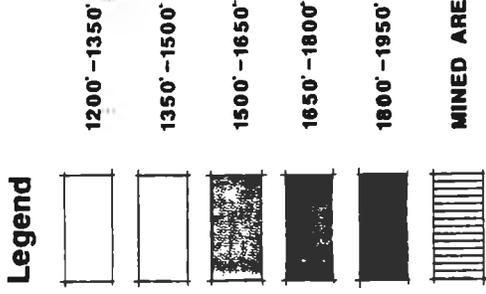
Locally, the geology includes alluvium in the Walker Canyon area; fanglomerate, terrace gravels, cobbles and conglomerate in the central areas; and clay shale in the southern areas. Basal clay breccia quartz, Santiago Peak volcanics and Bedford Canyon formation occur in the areas north of the mining area and north of I-15. Geologic conditions on the project site are delineated in Exhibits 5 and 6. According to the recent geotechnical investigation for the property, the Alberhill Ranch Specific Plan is suitable for development, from a geotechnical standpoint. Please refer to Section 'A' of the Technical Appendices 'A', Geotechnical Feasibility Investigation.

c. Mining Operation

Clay and coal was discovered in the Alberhill Specific Plan area around the 1880's. From 1885 to 1900 coal was actively being mined on the property. Clay mining is currently the only mining activity in operation. All tunnels and shafts

EXHIBIT 3

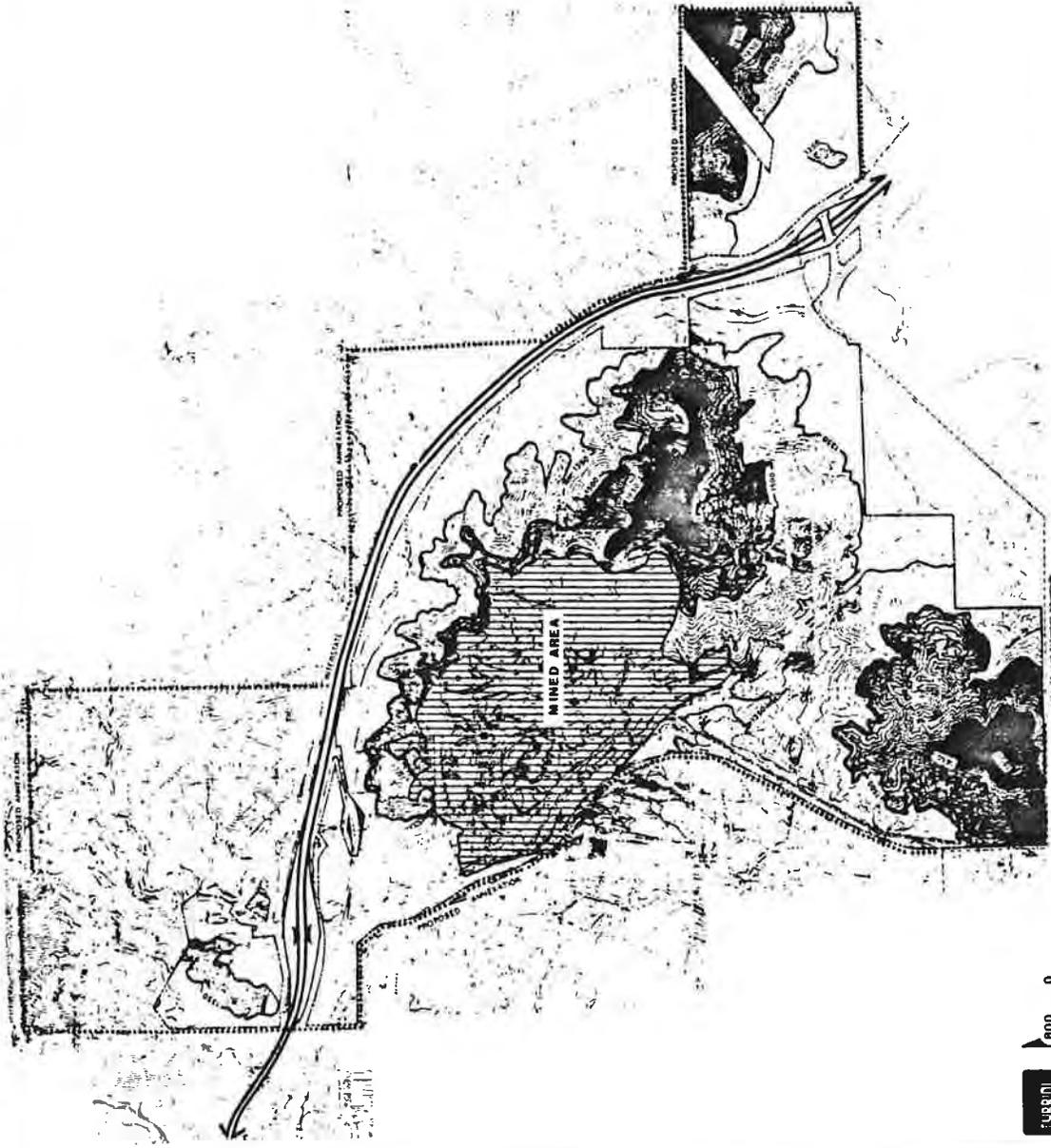
Elevation Analysis



* Area in which mineral extraction has disrupted natural contour intervals

Alberhill Ranch

LONG BEACH EQUIPMENT, INC.

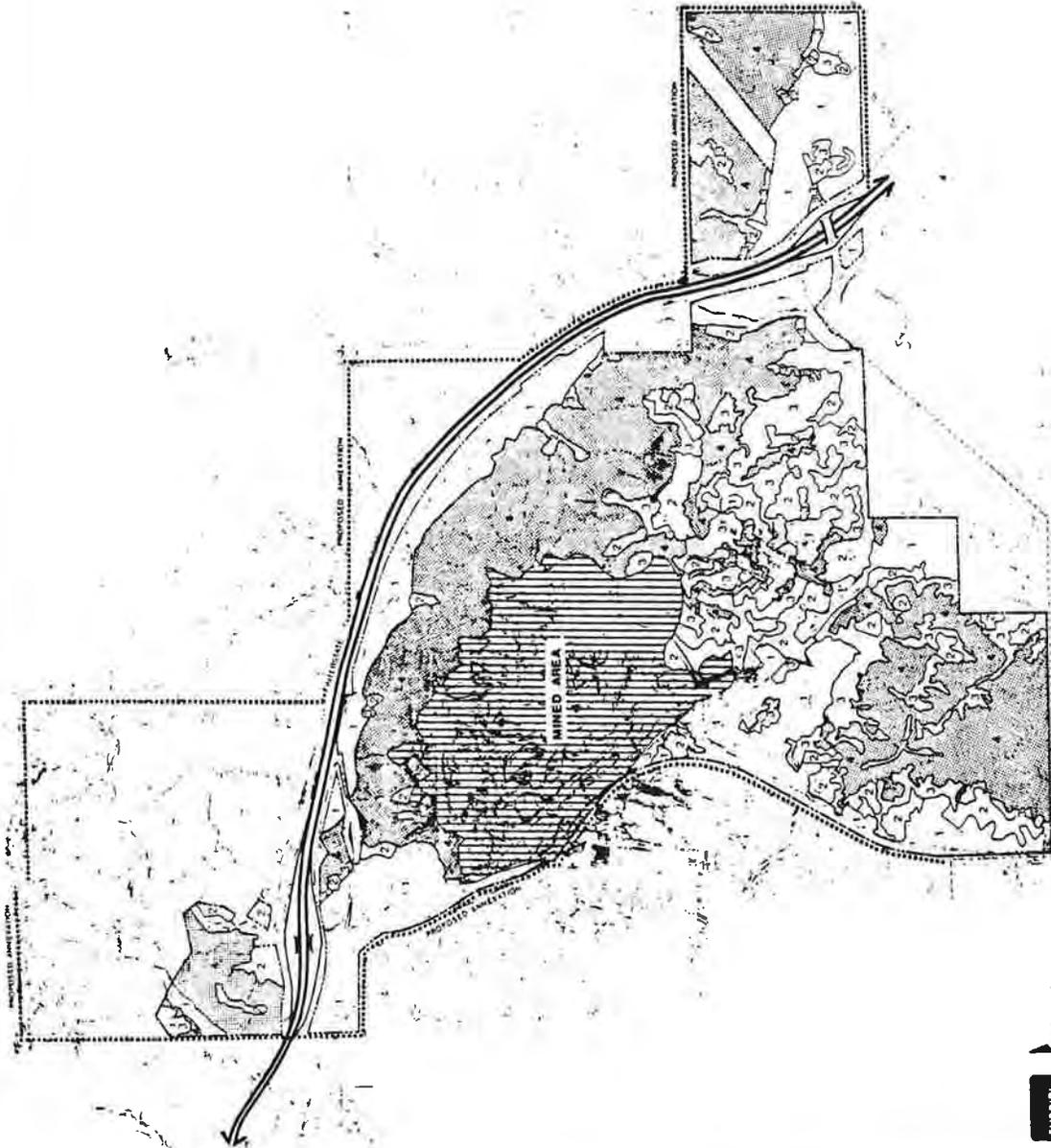


Slope Analysis

Legend

CATEGORIES	ACRES
#1 0-8%	436
#2 9-15%	231
#3 16-25%	242
#4 > 25%	641
* MINED AREA	303
TOTAL ACRES	1853

*Area in which mineral extraction has disrupted natural contour intervals



Alberhill Ranch

LONG BEACH EQUIPMENT INC

Geology Map (Project Area)

Legend

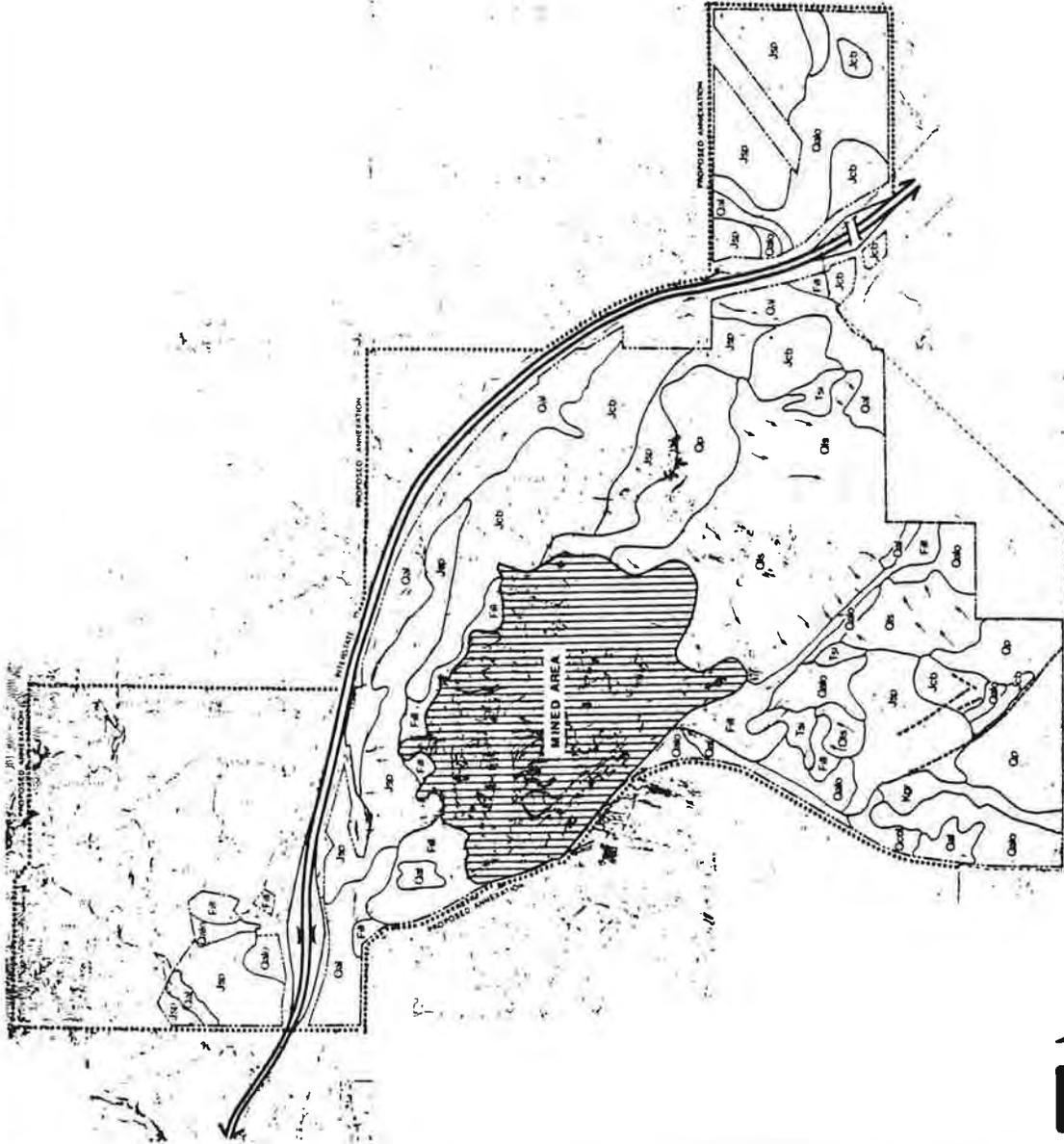
- Flll FILL
- Qal ALLUVIUM
- Qls LANDSLIDE
- Qcol COLLUVIUM
- Qalo OLDER ALLUVIUM
- Qp PAUBA FORMATION
- Tsi SILVERADO FORMATION
- Kgr GRANITIC BEDROCK
- Jsp SANTIAGO PEAK VOLCANICS
- Jspa SANTIAGO PEAK VOLCANICS, ALTERED (CLAY RESOURCE)
- Jbc BEDFORD CANYON FORMATION
- Jbca BEDFORD CANYON FORMATION, ALTERED (CLAY RESOURCE)
- ||||| MINED AREA*

* See Mined Area Geology Map

Note: For Detailed Mapping, See Appendix
Geotechnical Feasibility Investigation, Plate 1,
Prepared By G.A. Nicol & Assoc., Inc.

Alberhill Ranch

LONG BEACH EQUIPMENT, INC.

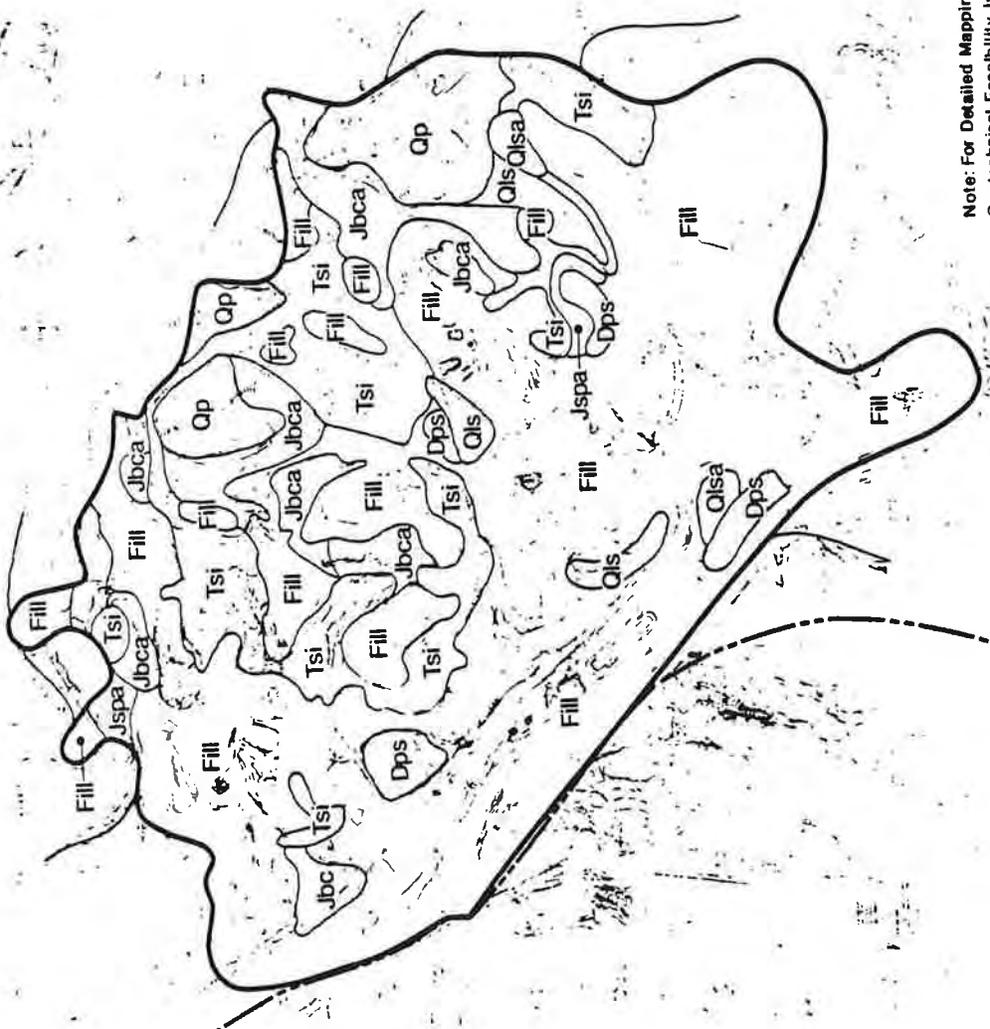


Geology Map

(Mined Area)

Legend

- Dps** DE-SILTING POND SEDIMENTS
- Fill** FILL
- Qsla** LANDSLIDE, ACTIVE
- Qls** LANDSLIDE
- Qp** PAUBA FORMATION
- Tsi** SILVERADO FORMATION
- Jspa** SANTIAGO PEAK VOLCANICS, ALTERED (CLAY RESOURCE)
- Jbc** BEDFORD CANYON FORMATION
- Jbca** BEDFORD CANYON FORMATION, ALTERED (CLAY RESOURCE)



Key Map



Note: For Detailed Mapping, See Appendix
 Geotechnical Feasibility Investigation, Plate 1,
 Prepared By G.A. Nicoll & Assoc., Inc.

Alberhill Ranch

LONG BEACH EQUIPMENT INC.



created during the coal mining operation have either been removed or sealed. The current clay mining activity in operation by Pacific Clay on a majority of the site is expected to cease in the near future. However, several stockpiles remain on-site, which will be removed. In addition, Pacific Clay remains as the owner of some acreage of the Specific Plan site. It is anticipated that over the next several years, and prior to the development of that portion of the site, some mining activities may occur. However, before development of that area occurs, regrading will be completed which will provide for development in accordance to the Specific Land Use Plan.

All mined areas of the Alberhill Specific Plan area will be regraded for development in accordance with Chapter 70 of the Uniform Building Code.

3. Soils

The Alberhill Ranch Specific Plan site contains nearly 50 soil types divided into two dozen soil series. The majority of these project soils has textures ranging from loams, to loamy sands, to gravelly loams. These soils are generally moderately deep to shallow, with low to high erosion hazard. The soils permeability ranges from low to high, depending upon texture, relative density, and ground slope.

Based on a recent field exploration the native soils and fill soils composing a majority of the site should be readily gradable with conventional earthmoving equipment. Some ripping may be required in areas underlain with bedrock formations. In addition, excavation exceeding depths of 30 to 60 feet in some areas will require blasting. Some erosion has occurred on site in areas of sparse vegetation, however, this erosion can be controlled by planting and properly constructing drainage systems.

Engineering and construction for the Alberhill Ranch Specific Plan area should be conducted in accordance with the recommendations of a registered engineer, to ensure mitigation of geologic and seismic impacts on the property. Detailed grading plans should be reviewed by the City to ensure appropriate treatment of cut and fill slopes, alluvial removal, and handling of drainage. During construction, continuous observation and testing under the direction of the soils engineer and/or engineering geologist is recommended to verify conformance with the recommendations and to confirm that the conditions found are consistent with the geotechnical investigation. For more detailed information, please refer to Technical Appendices 'A', Geotechnical Feasibility Investigation.

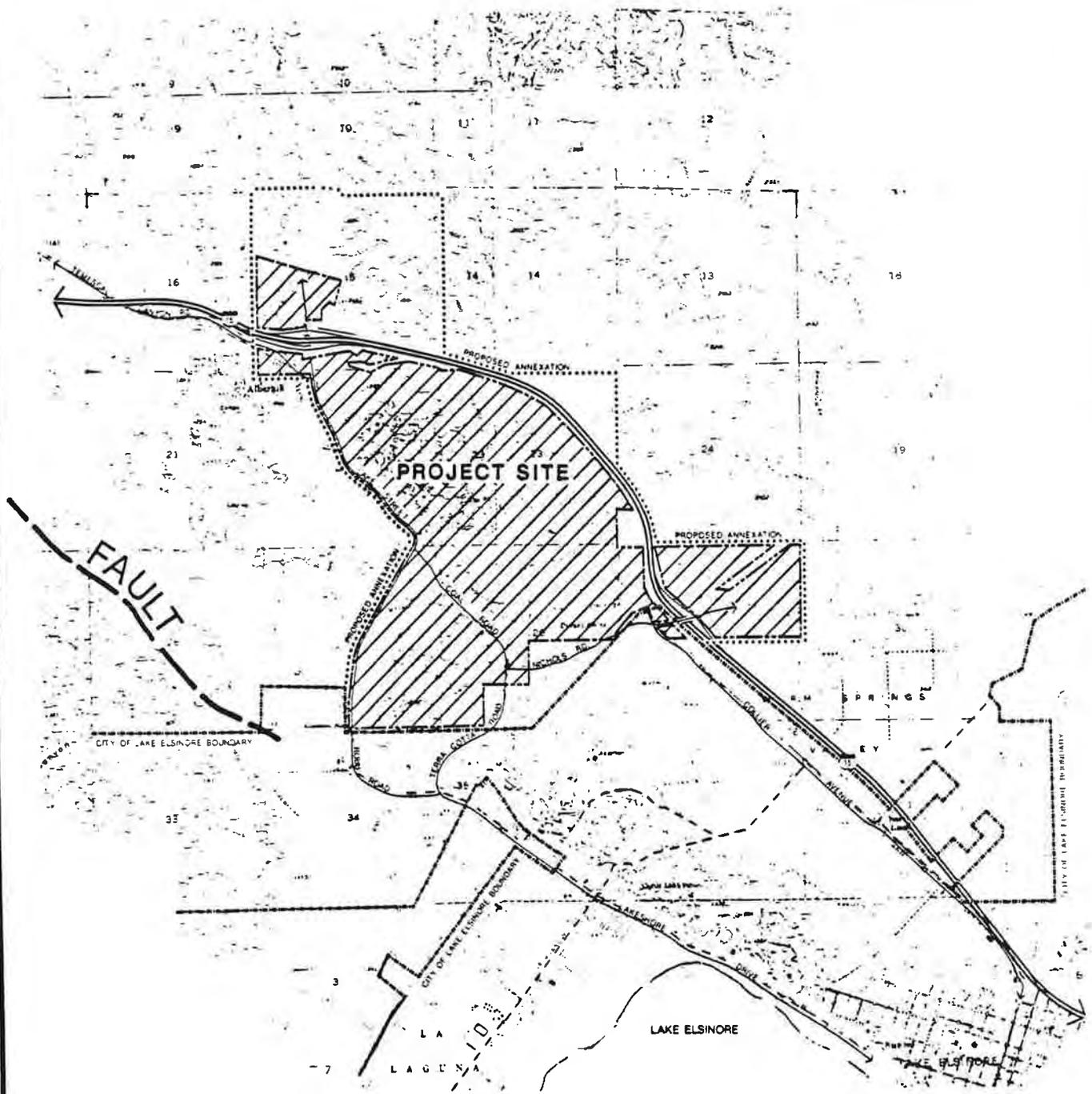


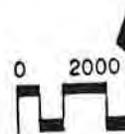
EXHIBIT 6A

Adjacent Seismic Activity

Alberhill Ranch

LONG BEACH EQUITIES, INC

SOURCE: G.A. NICOLL & ASSOC.



4. Seismicity

The project site is located in the vicinity of the Whittier-Elsinore Fault Zone, which has a continuous record of seismic activity. The Elsinore Fault Zone lies mostly along the southwestern side of the rift-like feature known as the Elsinore Trough, bordering the Santa Ana and Elsinore Mountains on the northeast. The northwestern part of the fault zones cuts diagonally west-northwest, away from the trough, across the northwesterly nose of the Santa Ana Mountains.

The most active portions of the Elsinore Fault Zone appear to be the Main Street, Glen Ivy South, Wildomar, and Glen Ivy North segments from the northwestern to southeastern ends of Lake Elsinore. The Glen Ivy fault passes immediately southwest of the project site. The Alberhill Ranch Specific Plan is not within an Alquist Priolo Zone, and contains no active faults.

A moderately large earthquake (estimated Magnitude 6.0) took place in the Elsinore Fault Zone in 1910, in the Temescal Valley area (Topozada, 1978), and earthquakes of that magnitude can be expected in the future. Figures indicate that recorded magnitudes within 1.5 miles of the Alberhill Ranch Specific Plan site do not exceed Richter Magnitude 5.4.

5. Hydrology

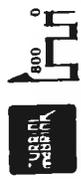
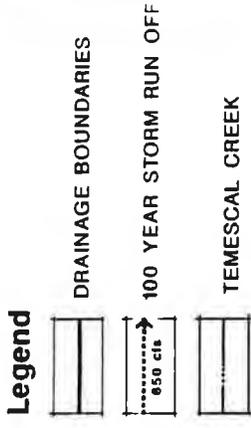
a. Surface Drainage

The project site is located within the extensive Upper Santa Ana Valley watershed which extends to the main divide of the Santa Ana Mountains south of Trabuco Creek. Drainage from the site is tributary to the Santa Ana River through Temescal Creek, which ultimately flows into the Pacific Ocean near Newport Beach in Orange County. Temescal Creek is the main drainage course on the site. It collects runoff from the Walker Canyon area which encompasses slopes both east and west of I-15. One hundred year storm runoff in this area is 11,500 cubic feet per second (cfs). In addition, drainage flows from Rice Canyon, east of Horsethief Canyon, more or less follow the Lake Street alignment along the site's northwestern boundary, and into Walker Canyon contributing 3,800 cfs to the flow. From there, drainage flows west to the Prado Flood Control Basin near Corona. Hydrologic conditions associated with the project site are shown in Exhibit 7.

Existing Federal Emergency Management Agency (FEMA) data does not include the project area. Since no FEMA mapping has been conducted on the site, no 100-year floodplain has been established for either Walker or Rice Canyons. Also, according to the Riverside County Flood Control District, the Northwestern Elsinore Drainage Plan only covers watershed south of Rice Canyon that feeds into Lake Elsinore at the downtown outflow.

EXHIBIT 7

Existing Hydrology



SOURCE : NBS/LOWRY

Alberhill Ranch

LONG BEACH EQUITIES INC

Nonetheless, a Flood Insurance Study conducted for the City of Lake Elsinore indicates that Walker Canyon (Temescal Creek) to Nichols Road would be subject to flooding at a peak exit flow rate of 5,600 cfs in a 100-year storm (Q-100) (flooding 20.4 square miles), and that 2.8 square miles of Rice Canyon would potentially flood at a peak exit flow rate of 1,900 cfs in Q-100 conditions.

b. Groundwater

Groundwater storage is continually being replenished by deep water percolation caused by precipitation and stream flow. The depth to groundwater surface is typically determined by existing on-site water wells. However, no wells are known to be present on the site and no groundwater was encountered in any exploration pits.

Free groundwater may be present within the alluvium in Temescal Creek. Minor amounts of groundwater may be present in the alluvium in the main tributaries to Temescal Creek, such as the one north of the Lake Street overpass.

The E.L. Yeager Construction Company mined sand and gravel from two pits located along the north side of Interstate 15 near the overpass. Both pits are now inactive and both have been regraded. It was noted that alluvium at the bottom of the Yeager Pit was becoming wet during quarrying operations there. Perched groundwater may be present where permeable material overlies less permeable soils and bedrock.

A number of springs are present at the base of the Pauba Formation where it caps the Santiago Peak Volcanics and the Bedford Canyon Formation. Some seepage water was reported in some of the mine shafts and tunnels on the site.

6. Biology

a. Biotic Communities

Several different biotic communities, consisting of plant and wildlife species are found on-site. As the term implies, biotic communities are predictable assemblages of species which exist within the same physical habitat and have a very close and complex set of interrelationships. Biotic communities which can be found on the Alberhill Ranch site are shown in Exhibit 8, and described below.

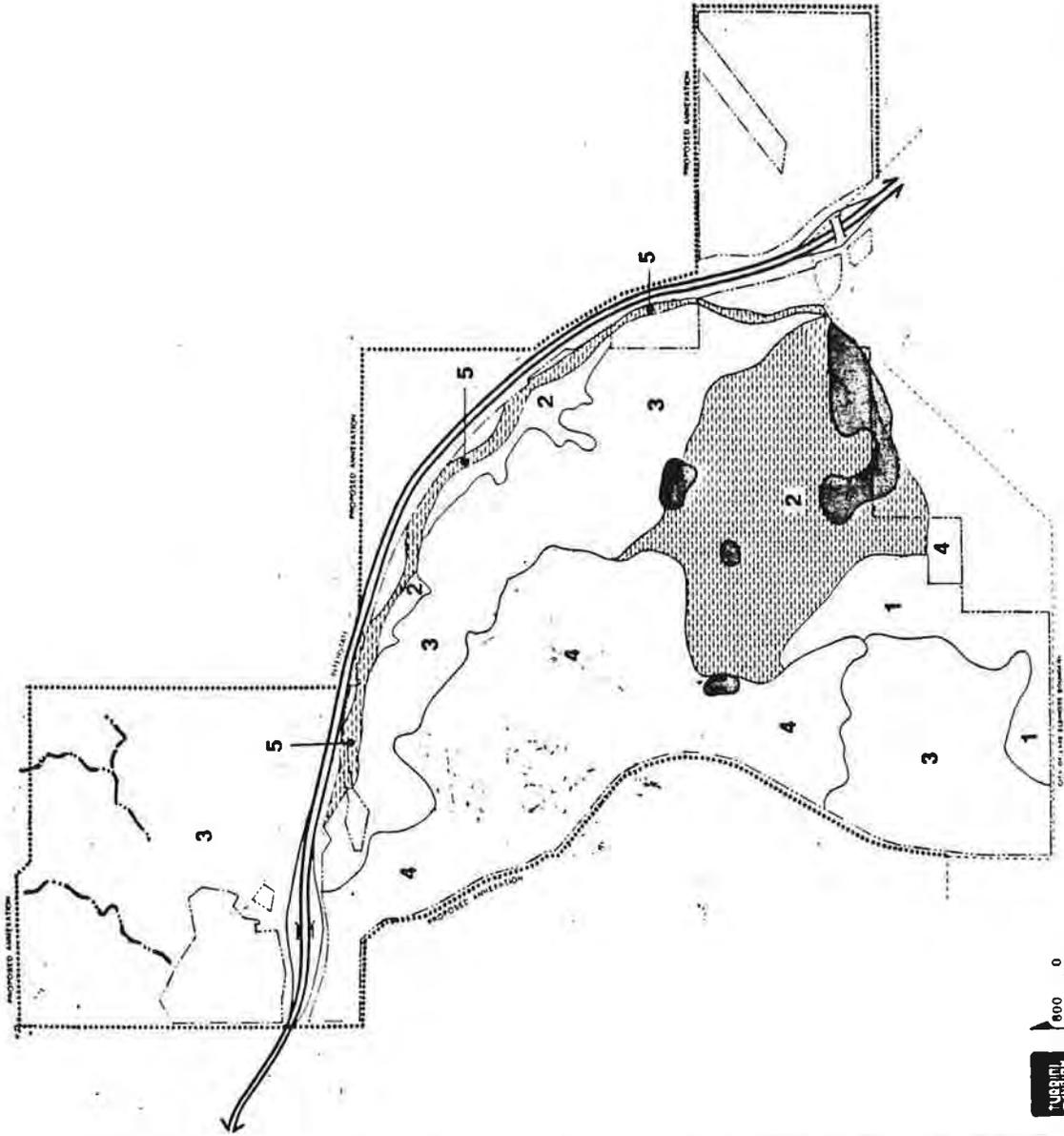
- 1) Coastal Sage Scrub. Native coastal sage scrub is found over the steeper hillsides on-site, presumably where clearing and agriculture production in the past has not been feasible. Dominant ground cover species are annual grasses and forbs that have been introduced through grazing and agriculture.

EXHIBIT 8

Biology/Archeology Map

Legend

- 1 INTRODUCTION GRASSLAND
- 2 INTRODUCTION GRASSLAND/
COASTAL SAGE SCRUB
- 3 COASTAL SAGE SCRUB
- 4 DISTURBED/RUDERAL
- 5 RIPARIAN/FRESHWATER
MARSH & LEAST BELLS
VIREO HABITAT
- 6 RIPARIAN INFLUENCE
- 7 BIOLOGICALLY IMPORTANT
AREA
- 8 STEPHENS' KANGAROO RAT
HABITAT



Alberhill Ranch

LONG BEACH EQUINES, INC.

Coastal sage scrub supports a moderate diversity of wildlife in comparison to other habitats in Southern California. However, vegetative productivity is normally high and large numbers of individuals of each species are usually found. Several species of lizards and snakes were observed or are expected including side-blotched lizard, western fence lizard, spiny granite lizard, gopher snake, red diamond rattlesnake and red racer. Rodents and other small mammals are also abundant. The more common species observed and expected are deer mouse, botta pocket gopher, pacific kangaroo rat, audubon cottontail and beechey ground squirrel. Many species of birds were observed using the project area and others are expected.

- 2) Introduced Grassland. Introduced grassland is a vegetation type that replaces native communities following dryland farming, heavy grazing, and other artificial clearing.

Relatively large introduced grasslands are found on the more gentle south-facing hillsides of the site. Presumably, these areas once were covered by a native coastal sage scrub or native grassland community. However, past livestock grazing have long since cleared away native vegetation.

Large open expanses of grassland support a limited diversity of wildlife, but those that are present are normally abundant. No amphibian species are expected in this dry disturbed habitat. The side-blotched lizard, western fence lizard, red diamond rattlesnake and gopher snake are the characteristic reptiles of this community. The latter two species as well as larger mammalian predators, such as coyote, fox and bobcat, are supported by abundant population of rodents and small mammals and birds.

- 3) Riparian/Freshwater Marsh. Riparian communities are found along drainage courses throughout California where moisture is at or near the surface on a year-round basis. These conditions are favorable for the establishment of a rich cover of trees, shrubs, herbs, and grasses. This community type is found along numerous drainage courses in the study area. Riparian vegetation occurs along Temescal Creek on-site where there is evidence of permanently wet soil. This association is typically dominated by dense stands of willows nine to fifteen feet tall. Cottonwood and Western Sycamore are also common here. Intermixed with riparian are areas of freshwater marsh. This community is composed of emerged aquatic plants and is found in permanently saturated soils where the water table is at or above the ground

surface. It is dominated by tall reed-like species, including Cattail and Olney Bulrush. Willows are also common.

The riparian/freshwater marsh vegetation complex forms a contiguous corridor along most of Temescal Creek within the site boundaries. This corridor generally varies in width from approximately thirty feet to approximately 100 feet.

Riparian habitats normally possess a high diversity of plant types enhanced by their overlap with surrounding vegetation types (edge effect or exotone), which in turn support abundant and diverse wildlife resources. This is concluded to be the case on-site. Woodlands are very important to bird species. Nearly all the species found in surrounding habitats can be found here. Many of these species are migratory, and utilize this habitat for over-wintering. Hawks, owls, falcons, kits, and doves specifically require the trees as perching and nesting sites and forage in surrounding vegetation. Some predatory species such as Cooper's hawk and sharp-skinned hawk forage in the habitat itself.

- 4) Disturbed Ruderal. A significant portion of the central portion of the site has been mined for the underlying clay deposits. This area has been completely altered from its native condition. Alterations have been so intensive that large expanses of bare ground exist today. What little vegetation does exist is scattered and characterized by plant species commonly considered to be roadside weeds. This condition of intensive and/or frequent disturbance supporting sparse non-native vegetation is termed "ruderal".

Wildlife habitat values of ruderal vegetation are extremely low due to the lack of cover, nesting/denning areas and food resources. Only a handful of species are expected and most of these are considered to be transitory only.

b. High Interest Species

Several species which have been given special status designations by governmental agencies and private conservation groups are expected to occur within the project area.

The Stephens' kangaroo rat, whose range includes the study area (California Department of Fish and Game, 1982), has been provided protection by the Endangered Species Act of 1973. Historically, the species is believed to have been found throughout much of Western Riverside County, with small populations also being found in southern San Bernardino County and northwestern San Diego County. Habitat reduction

is believed to be due to widespread agricultural and urban development within areas of preferred habitat. Based on information gathered to date, soil types and vegetation density appear to be the primary ecological factors limiting the distribution of this species. Generally, populations are found in soils having high percentages of sand and gravel in relatively flat or gently rolling areas and covered by open, grassy herblands where scattered shrubs occur.

The southern and southwestern most portions of the site possess habitat characteristics that would appear to support Stephens' kangaroo rat populations. In order to determine the presence or absence of the species on site, a trapping program was undertaken by the Planning Center and SJM Biological. The results of the trapping program found evidence of SKR habitat in scattered localities in a general area of approximately 37 acres. Development of areas which are presently occupied by the Stephens' kangaroo rat will eliminate the species presently on-site. Due to the small size of the Stephens' kangaroo rat population on the project site, long-term preservation of the species is unlikely.

Since the Stephens' kangaroo rat is on the Federal Endangered Species list, development of the Alberhill Ranch project located in the Stephens' kangaroo rat range will require a "permit to take" from the U.S. Fish and Wildlife Service. In addition, the project will be in accordance with any future mitigation fee to be adopted by the City of Lake Elsinore.

The least Bell's vireo is an endangered wildlife species which also may be present on-site, associated with the dense riparian habitat along Temescal Creek. This species is known from the Temescal Canyon area and characteristically inhabits dense willow thickets, such as those found on-site. Historically, this species was found throughout California in expansive riparian habitats. Today, however, the past loss of riparian habitats has limited its distribution to relatively few areas.

The site may also provide habitat for a group of birds included on the Audubon's Society's early warning list, known as the "Blue List". These birds species can be referenced in the Technical Appendix 'B', Biological Assessment.

There are three sensitive plants known to exist on the site, Allium fimbriatum var. munzii, Dudleya multicaulis, and Harpagonella palmeri. All three species are listed in the California Native Plant Society's List of Rare and Endangered Vascular Plants of California.

c. Biologically Sensitive Areas

As indicated by the preceding discussion, the site provides habitat for several sensitive plant species and special wildlife species as well.

Rare and/or endangered wildlife and plant species are often associated with the "open" coastal sage scrub/introduced grassland mosaic found on the southwestern flank of Alberhill Mountain. Therefore, this area may be considered one of special biological significance. An Assessment Study shall be undertaken regarding the existence, potential, or known, of three sensitive plant species prior to the development of this property. Depending upon the results of this Assessment, mitigation measures will be negotiated with the appropriate regulating agency. The proposed land use plan (Exhibit 14) permits clustering of residential units in this area, which may mitigate any future concerns.

In addition, the riparian/freshwater marsh corridor along Temescal Creek is of special biological importance because of its excellent habitat value for wildlife, many of which are closely associated with this type of vegetation. The least bells vireo, an endangered species, may also be present in this habitat area.

7. Archaeology/Paleontology

a. Background

A search of the archaeological site records on file at the Archaeological Research Unit (ARU), University of California, Riverside, showed only one site within the project site boundaries (Riv-659). However, this site was mitigated by excavation by CalTrans as part of the widening of the Route 71 Freeway (ARU Miscellaneous Manuscript 139).

A Butterfield Stage Station Historical Marker and Historical Markers Numbers 186 and 224 noting the 1819 Serrano Tanning Vats and the 1867 Serrano Adobe are located approximately five miles west of the project site in Temescal Canyon. These sites, respectively, reflect attempts at controlling an enclave of Luiseno Indians in the later Spanish-Mexican era. Perhaps the most pertinent regional study of the general area regarding prehistoric land use is that accomplished at Perris Reservoir (O'Connell et al. 1974). This research took place about 20 miles northeast of the property, in the San Jacinto Plains. Not much is known about the general settlement/subsistence patterns of the Santa Rosa uplands, but the Perris Reservoir project provides a general example of prehistoric land use patterns. Most of the archaeological sites described in that study were late prehistoric age (pottery present) and may have resulted from population intrusions from the Coachella Valley caused by the desiccation of Lake

Cahuilla, the ancestral Salton Sea (Wilke 1978). Settlement patterns seem to consist of campsites (located near perennial water sources) and temporary processing locations.

Considering the topography and proximity of the project site to water, site density may be expected to be moderate as the ecosystem is richer than most areas of the Perris Reservoir environs. Based on settlement/subsistence models generated by O'Connell et al. (1974), temporary food gathering/processing, campsites or even village-sized occupation could be expected near the subject project given the proximity to perennial water.

Through time, land use patterns at nearby Perris Reservoir changed from being rather sporadic between 2,200 years ago (the earliest occupations) to about A.D. 1500 when an influx of population with different subsistence exploitation strategies (O'Connell et al. 1974).

At European contact times, the study area was within areas occupied by groups known as the Luiseno, named after the Mission San Luis Rey de Francia in present-day Oceanside, California, which some of their linguistic group frequented. The Luiseno culture area incorporated southwestern Riverside, northern San Diego County, eastern Orange County and was linguistically comprised of a language of the Shoshonean language family (Kroeber 1925: Plate 57). The Contact period ethnicity of the study area remains as Luiseno villages such as Pechanga are relatively close to the project area and historic records note the Luiseno presence. Ethnographic literature pertinent to the Luiseno and surrounding ethnographic groups is fairly extensive and has been collected since the 1800's.

Light vegetation and previous mining activities in the northern part of the site have resulted in excellent conditions for observation on the project site. Much of the northwestern portion of the property is extremely steep and, with the exception of ridge tops, is not conducive for prehistoric activity. Denser vegetation in the southern portions of the site made observations more difficult. Furthermore, significant portions of Sections 26 and 27 have been impacted during clay mining by Pacific Clay.

b. New Archaeological Sites

As a result of field observations, two new archaeological sites were located. The first, located east of I-15 and north of Nichols Road, consists of two loci of relatively sparse, surface distributions of artifacts. Locus 1 includes 4 cores, 8 primary and secondary flakes and one hammerstone and is approximately 10 by 20 meters in surface area. Locus 2 consisted of 4 cores and 4 primary flakes and is approximately 5 by 10 meters in spatial extent. Given the low

density of artifact distribution and soil conditions, no subsurface component is expected for this site. The artifacts and nature of their distribution, suggest a low intensity use, likely reflecting short-term activities such as stone tool manufacture. No indications exist of the site serving as even a limited campsite.

The second, located between Robb Road and Coal Road, consists of 1 hammerstone, 2 cores, 2 manos, 1 drill, 3 utilized flakes, 2 projectile blanks, 20+ spent cores and numerous fragments of debitage exhibiting primary, secondary and tertiary working. The site itself consists of numerous separate scatters of mainly lithic material.

To minimize the possibility of destruction of these newly found archaeological sites, their location has not been identified with an Exhibit in this document. However, their location may be seen in the accompanying Technical Appendices.

c. Mitigation Measures

If any cultural resources are encountered during grading activities, a qualified archaeologist will be contacted for site inspection prior to further grading activities. For detailed mitigation measures, please see Chapter XIII of this document which also specifies implementation mechanisms and timing.

8. Physical Constraint Summary

Exhibit 8a shows the summary of physical constraints to development of the Alberhill Ranch site. Slopes of 25% or greater may be found at several locations on the site. Where adjacent to Walker Canyon, they will be undeveloped in accordance to the conceptual grading plan contained herein. Other 25% slopes may be sensitively recontoured to blend into the natural topography. Stephens' kangaroo rat habitat also may be found at several locations on the site. Since they are only small pockets of habitat it is appropriate that rather than try to save them, the developer participate in an adopted City habitat mitigation program. The final potential constraint to development is the Least Bells Vireo habitat that may be found along Temescal Creek in the Walker Canyon. This area is proposed to remain undeveloped and therefore no disturbance to that habitat will occur.

9. Fiscal Impact Analysis

The Alberhill Ranch Specific Plan consists of approximately 1,853 acres. Approximately 920 acres will be devoted to residential land use, 256 acres to commercial and industrial development. The phasing Alberhill Ranch will occur over a 15-year time frame.

Upon buildout of the Alberhill Ranch Specific Plan project new development values will equal 772 million dollars. The commercial and industrial uses will yield approximately \$169 million dollars annually. This constitutes a net surplus of 1.3 million dollars revenues for the City, as shown in the table below.

**TABLE 2
FISCAL IMPACT SUMMARY**

	<u>Fifteen-Year Development Period</u>	<u>Year 16 and Beyond</u>
Existing City Facilities	14,900.1	1,745.7
Recreation Services	667.9	71.6
Fire Protection	(4,484.0)	(532.3)
<hr/>		
Total Possible City Facilities	11,084.0	1,285.1
Riverside County Facilities	11,092.3	1,276.6
<hr/>		
Total	22,176.3	2,561.7

The fiscal analysis report conducted by Natelson, Levander & Whitney for the project is contained in its entirety in Technical Appendix 'I', Fiscal Impact Analysis.

B. EXISTING FACILITIES AND SERVICES

1. Circulation

a. Roadways

The primary roadways within and adjacent to the project site are Interstate 15, Lake Street, Robb Road, Nichols Road, Coal Road, Terra Cotta Road, Collier Avenue, Lakeshore Drive, Lincoln Street, and Riverside Drive.

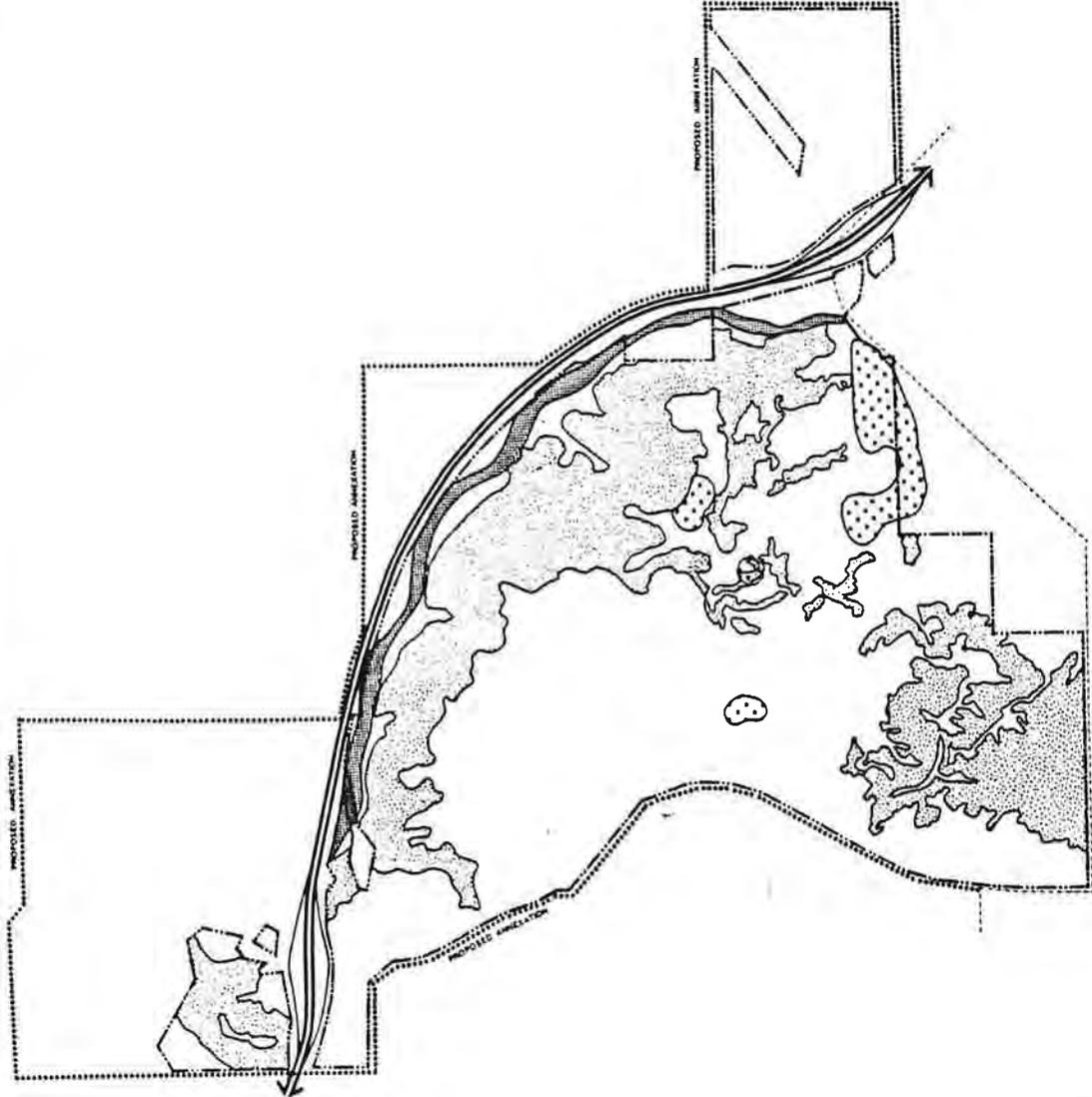
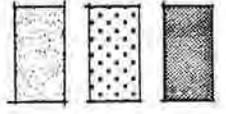
The Corona Freeway (Interstate 15) extends from San Diego northward to Corona. It has six lanes in the vicinity of the site and runs generally northwest from the Nichols Road interchange and curves westerly past the Lake Street interchange.

Lake Street is classified as a 100-foot Major with 76 feet of curb-to-curb pavement width on the Riverside County General Plan Circulation Element. It is currently two lanes in the vicinity of the site, extending south from I-15 to its inter-

EXHIBIT 8A

Constraint Summary

Legend



Alberhill Ranch

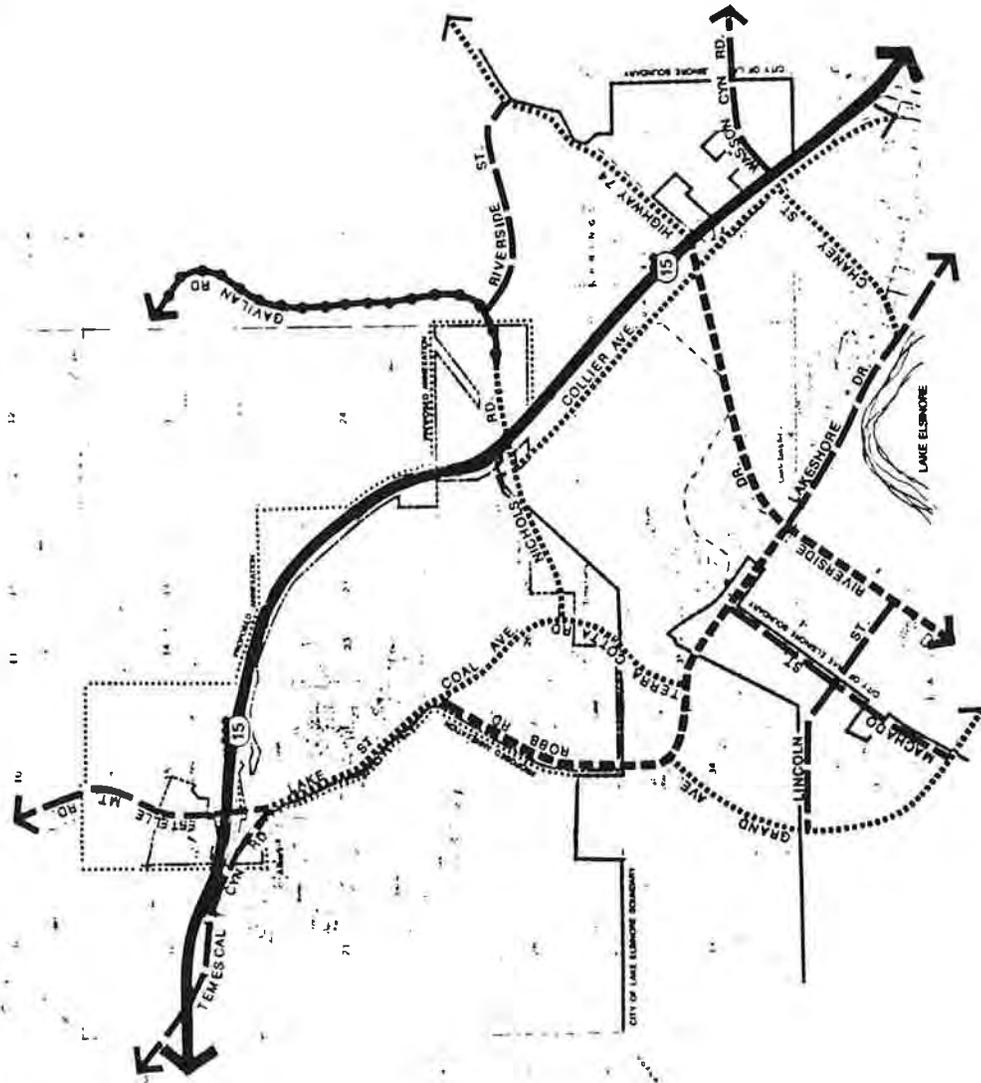
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Master Plan of Highways

Legend

-  FREEWAY VARIABLE
-  MOUNTAIN ARTERIAL HIGHWAY 110' ROW (County)
-  ARTERIAL HIGHWAY 110' ROW
-  MAJOR HIGHWAY 100' ROW
-  SECONDARY ROAD 88' ROW



Alberhill Ranch
LONG BEACH EQUIMES, INC



section with Coal Road, where its alignment becomes Robb Road.

Robb Road is classified as a 110-foot Arterial with 86 feet of curb-to-curb pavement width on the City and County Circulation Elements. It is currently two lanes in the vicinity of the site, extending south from Coal Road and forming the westerly boundary of the project site.

Coal Road is classified as a 100-foot Major with 76 feet of curb-to-curb pavement width on the County Circulation Element. It is currently two lanes in the vicinity of the site, extending between Lake St./Robb Rd. to Nichols Road in the southern part of the project site. South of Nichols Road, the alignment becomes Terra Cotta Road.

Terra Cotta Road is classified as a Modified Secondary on the City General Plan. It is currently two lanes in the vicinity of the site and extends south of the project site to Lakeshore Drive.

Nichols Road is classified as a 100-foot Major with 76 feet of curb-to-curb pavement width on the City and County Circulation Elements. It is currently two lanes in the vicinity of the site, extending east from Coal Rd./Terra Cotta Rd. to Riverside Street east of the project site.

Collier Avenue is classified as a Modified Collector on the City General Plan. It is currently two lanes southeast of the site.

Lakeshore Drive is classified as a 100-foot Major with 76 feet of curb-to-curb pavement width on the City General Plan. It is currently two lanes south of the site.

Lincoln Street is classified as an 88-foot Secondary with 64 feet of curb-to-curb pavement width on the City and County Circulation Elements. It is currently two lanes south of the site.

Riverside Drive is classified as a 100-foot Major with 76 feet of curb-to-curb pavement width on the City General Plan. It is currently two lanes east of the site. It is also California State Route 74 in the Lake Elsinore area.

Exhibit 9 illustrates these major streets as designated in the County Master Plan of Highways. Certain roadways are also identified in the City's General Plan. The roadway designations in both City and County Plans correspond in terms of right of way width, except Collier Avenue. The County designates Collier Avenue as a major (100' ROW) while the City specifies it a Modified Collector (70' ROW).

b. Rail Service

A rail line previously extended through the project area along the east side of Lake Street and Coal Road, and along the north side of Nichols Road. Rail service was provided on this line by the Atchison, Topeka and Santa Fe Railroad (A.T.&S.F.) until 1980, when service to Lake Elsinore was terminated. In 1986, the railroad right of way was reacquired and is part of the project area.

c. Recreational Trails

The County Plan of Bicycle Routes identifies a Class II Bike Lane along Lake Street and Robb Road. It extends further west from the site, along Temescal Road. The only bikeway in the vicinity of the project site, as designated in the Lake Elsinore General Plan, is a bike lane (comparable to the County Class II designation) on Lakeshore Drive between Machado Street and Robb Road.

No equestrian or hiking trails are designated in this area on the County Parks and Recreation Area Map, nor the City's Recreation Plan element of the General Plan. However, the County has a proposed recreation trail system which shows on-site equestrian/hiking trails.

2. Water Service

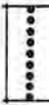
The Elsinore Valley Municipal Water District (EVMWD) owns a 12" transmission main located west of I-15, as shown in Exhibit 10. It extends along Collier Avenue from downtown Lake Elsinore, to the Collier/Riverside Pump Station, and on to the Alberhill tank located in the vicinity of the Collier Avenue/Nichols Road intersection. The main continues in the creekbed south of the freeway and up Temescal Canyon Road, beyond Lake Street, to a deadend at Hostettler Road near the Temescal Canyon Road intersection with I-15. Another 6" line extends up Robb Road and across Mountain Street from a 10" line in Lakeshore. The entire area is within one pressure zone (1,600' elevation), provided a pump station is utilized.

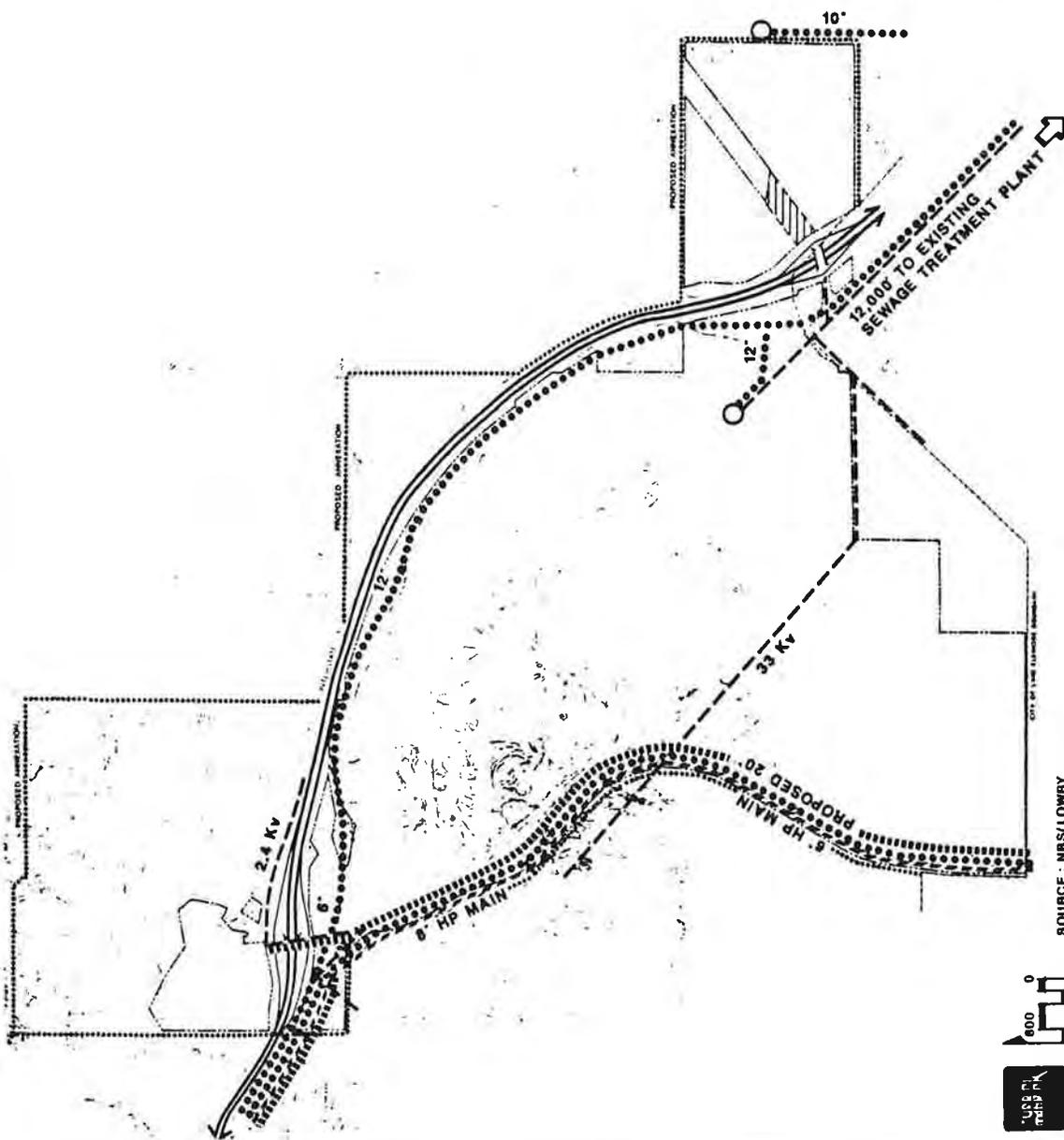
The existing single family development located east of the project site is supplied with water via the El Toro pump station located at Dexter and El Toro, and a 10" water line stemming north from the pump station to an existing water tank. A 6" water line extends south from the tank east towards Highway 74.

EVMWD currently has a 0.125 MG water tank on the project site. There is also a 1 MG water tank proposed for construction just east of Robb Road together with a 20" line to be constructed in Robb Road/Lake Street. The District expects to develop a Master Plan for any Specific Plan project in the

Existing Utilities

Legend

	ELECTRICITY (SCE)
	WATER (EVMWD)
	NATURAL GAS (SCE)
	EXISTING RESERVOIR
	SCE EASEMENT
	TELEPHONE (GTE)



SOURCE : NBS/LOWRY

area, and it is anticipated that any new water facilities will be phased with development.

3. Sewer Service

At the present time, there are no sanitary sewer lines or facilities on-site. The closest sewage disposal facility to the project site is about 8,000 feet to the southeast. This plant has a designed capacity of 2.0 MGD. It is currently treating 1.6 MGD. There are plans to expand the capacity of this plant to 3.0 MGD in the next 12-15 months. The ultimate capacity of this plant is planned to be 5.0 MGD.

4. Electrical Service

Southern California Edison provides electrical service in the area. Currently, a 12 KV line exists on Nichols Road, a 2.4 KV exists on Lake Street north of I-15 and a 33 KV underground line extends across the property. SCE will construct a 115 KV overhead line hanging on 70 to 80 foot poles along its current alignment.

5. Natural Gas

The Southern California Gas Company supplies natural gas to the area. There is one existing north-south high pressure gas transmission line (8") on Lake Street. The size of this line is reduced to 6" as Lake Street turns into Robb Road, as shown on Exhibit 10.

6. Telephone Service

General Telephone Company (GTE) provides telephone service in the area of Lake Elsinore which is the source of service to the project area. The Elsinore Central facility is located at Graham and Langstaff in the City.

There are no telephone facilities existing on the site, and no new facilities have been planned for the area. There are telephone lines on Lake Street, Robb Road and Terra Cotta Road which are adequate for the existing residential areas. However, they cannot be used to serve the project site and new telephone lines will be necessary.

7. Fire Protection

Fire protection is provided on a contract basis through the State Department of Forestry and the County of Riverside. The County has three primary stations in the area, equipped with 7 structural engines and 2 brush engines, and staffed by 3 rescue squads, 10 full-time, 7 season full-time, and 50 volunteers.

8. Police Protection

Police protection is provided by the County of Riverside Sheriff Department, Lake Elsinore Office. Twenty-five officers are available 24 hours per day, plus an additional 40 hours per week. Six patrol units serve the area. As population increases, more manpower will be made available.

9. School Facilities

The Lake Elsinore School District provides educational services for grades K-6 at five elementary schools. The three facilities located nearest to the site are Machado School at 15150 Joy Street, Elsinore Elementary School at 512 Sumner, and Butterfield School on Grand Avenue east of Ortega. Several new elementary schools are planned, and it is expected that Elsinore Elementary School will be relocated.

The student generation factor is 0.4 students per dwelling unit. School facilities have typically been financed by impact fees paid by developers. The 1986 California Legislature changed the rules regarding the financing of school facilities by authorizing school districts to impose school impact fees directly on developers (Assembly Bill No. 2926). In March, 1988 the Governor signed new School Fee Legislation (AB 1929) which defines the amount of fees which may be imposed. AB 1929 was passed as an urgency measure and took effect immediately when signed.

The Elsinore Union School District provides high school and junior high school level educational services in the area. Elsinore Union High School is located at 21800 Canyon Drive. A new facility, Temescal Canyon High School, will open in the Fall of 1989.

Two junior high schools are in operation. Elsinore Junior High School is located at 1203 W. Graham and Terra Cotta Junior High School is located at Lakeshore Drive and Robb Road, southwesterly of the project site. Both of these facilities are near capacity. A new junior high school is being planned south of Railroad Canyon Road and east of I-15, in the southern part of Lake Elsinore.

C. EXISTING ZONING AND LAND USE DESIGNATIONS

1. General Plan Designations

a. County of Riverside

Currently, the County of Riverside is the lead agency that establishes land uses and reviews changes in land use on the project site. As shown on Exhibit 11, the County of Riverside General Plan Open Space and Conservation Map designates the entire Alberhill area, including large portions of the

Existing Land Use/Zoning

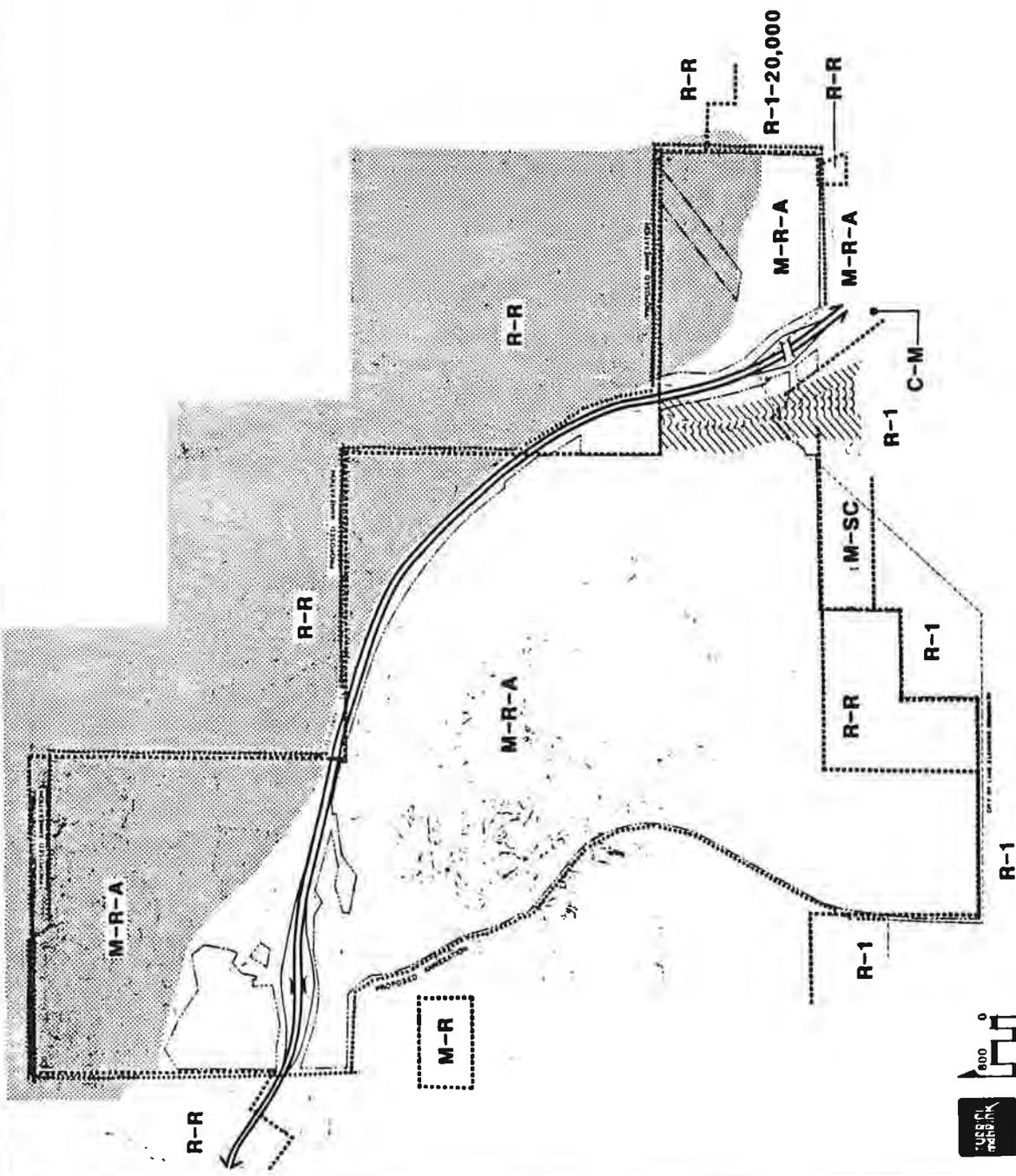
Legend

COUNTY OF RIVERSIDE

- R-1** ONE-FAMILY RESIDENTIAL
- R-R** RURAL RESIDENTIAL
- M-SC** MANUFACTURING & SERVICE COMMERCIAL
- M-R-A** MINERAL RESOURCES & RELATED MANUFACTURING
- M-R** MINERAL-RESOURCES
- [Stippled Box]** MOUNTAINOUS DESIGNATION

CITY OF LAKE ELSNORE

- R-1** SINGLE FAMILY RESIDENTIAL
- C-M** COMMERCIAL & MANUFACTURING
- [Diagonal Lines Box]** FLOOD WAY FRINGE
- [Wavy Lines Box]** FLOOD PLAIN & FLOOD WAY



Alberhill Ranch
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project site, for "Mineral Resources" use. The site also extends north of I-15 into a region designated as "Mountainous Area" on the Map. Portions of the property north and south of the freeway are identified as "Areas Not Designated As Open Space."

Other major General Plan designations in the surrounding area include "City" (City of Lake Elsinore) to the southwest and "Parks and Forest" (Cleveland National Forest) located southwest. Finally, there are strips of "Areas Not Designated As Open Space" that rim Alberhill and the freeway corridor.

As previously stated, the project site has been identified within special State mineral resource zones MRZ-1, MRZ-2 and MRZ-3. MRZ-2 is a "significant resource area." By law, the County of Riverside is required to coordinate its mineral resource protection policies with the State of California, and to protect resources from potentially incompatible land use projects. The objective of this State-County coordination is to allow local agencies to consider location, need, supply and importance of local resources in a Statewide context, regarding local land use planning decisions. According to the County General Plan, "Development on or adjacent to mineral lands designated on the (General Plan) Open Space and Conservation Map as Mineral Resource areas must be compatible with mining uses. Development on other lands classified by the State as MRZ-2 or designated by the State as areas of regional or statewide mineral significance, will be reviewed to determine whether it would preclude, and therefore be incompatible with, potential mineral resource development on the lands. Existing area development, existing and planned public infrastructure, and other land use policies for an area will be taken into account in making this determination."

The project site is located also in County Planning Area #7, the "Southwest Territory", and is now subject to the community policy guidelines for that area. These policies provide background information for each Planning Area, including general description; population and housing statistics; growth and land use forecasts; land use potential and constraints; trends, and adopted Specific Plans. The County's five-year forecasts are intended to guide infrastructure development to support expected growth in all Planning Areas.

The project site is located in the northwestern sector of the Southwest Territory Planning Area. SCAG-82 modified population forecasts for the area (RSA-49 Lake Elsinore) project a population of 77,000 persons in 2000, and 39,000 d.u. in the same year. Both population and housing are expected to increase by over 150%.

Based on an evaluation of the Open Space and Conservation Map, Environmental Conditions and Local Community Policies, the County recommends the following land uses for the Elsinore Valley area portion of the Southwest Territory:

- o Mineral extraction operations.
- o Category I Heavy Urban (intensive commercial, industrial and higher density residential along I-15 north of the City Sphere of Influence).
- o Category II Urban (mixed types and densities of residential, commercial and industrial along I-15 north of the Sphere of Influence).
- o Category III Rural (lower density residential, agricultural, small scale commercial and light industrial in remaining area north of the Sphere of Influence).

b. City of Lake Elsinore

All but eight acres of the project site are located outside of the City of Lake Elsinore corporate limits. The project area is, however, entirely within the City's Sphere of Influence as determined by LAFCO. The portion of the Sphere encompassing the project site is designated in a "holding pattern" for Residential use, including (1) Very Low Density (1 du/2 ac). Surrounding designations within the City's Sphere of Influence include (1) Very Low Density Residential (1 du/2ac) north and south of the freeway; (14A) Floodplain and Floodway, and (14B) Floodway Fringe along Temescal Creek adjacent to Interstate 15.

2. Zoning Categories

a. County of Riverside

The County of Riverside County Zoning Designation for the site is MRA (Mineral Resources and Related Manufacturing). Surrounding areas to the north and east are zoned R-R (Rural Residential), while properties south and west of the site are zoned MRA, mixed with M-R and M-H (Heavy Manufacturing).

Major uses permitted in the MRA zone include large parcels with agricultural use, utility lines and recreational uses along with mining and stockpiling operations, rock crushing and ore reduction activities.

The M-R zone allows large parcels with agricultural use, utility lines and recreational use, along with mining and stockpiling operations and rock crushing.

The M-H zone allows M-1 (Light Manufacturing) uses; M-4 (Medium Industrial) and R-R (Rural Residential) zone uses, such as agricultural, animal-keeping and selected manufacturing uses.

The R-R zone allows light agricultural uses from the A-1 (Agricultural-1) zone; R-1 uses (min. 20,000 sq. ft./1 ac lots) and R-A (Residential Agricultural lots over 20,000 sq. ft.). Horses and farm animals are also allowed.

b. City of Lake Elsinore

Zoning for the portion of the site located within the City boundary is CM (Commercial-Industrial Services), allowing general commercial and support service uses. Surrounding zones include M-1 (Light Industrial), M-2 (Manufacturing), and SPA (Specific Plan Area).

3. State Mineral Resources Classification

a. Jurisdiction

As previously stated, the project site has been classified into the following Mineral Resource Zones, as shown in Exhibit 12.

MRZ-1	No significant mineral deposits
MRZ-2	Significant mineral deposits
MRZ-3	Insufficient data to evaluate (includes areas where full composition and value of deposits are unknown)

The central portion of the site is classified MRZ-2 as a result of Pacific Clay's request for classification in 1982. According to the State Division of Mines and Geology, the lead agency has ultimate jurisdiction as to the use of land classified within a mineral resource zone. The classifications are advisory only. The State Mining and Reclamation Act (SMARA) of 1975 requires that the mineral value of an area be acknowledged in the County of Riverside General Plan. In response, the value of the significant mineral deposit was determined to have a minimum "threshold value" of \$1,000,000 with over 250,000 tons mined annually on the Pacific Clay sites, which included the project area together with their property west of Lake Street.

SMARA does not, however, require that the economic value of any proposed land use be evaluated against the existing resource. Therefore, the primary responsibility lies with the lead agency (currently, the County of Riverside) to examine the economic value of the mineral resource and the regional significance of eliminating that resource (in terms of job loss, loss of clay), should any new use be proposed. The Department of Conservation, Division of Mines and Geology

EXHIBIT 12

Mineral Resource Map

Legend

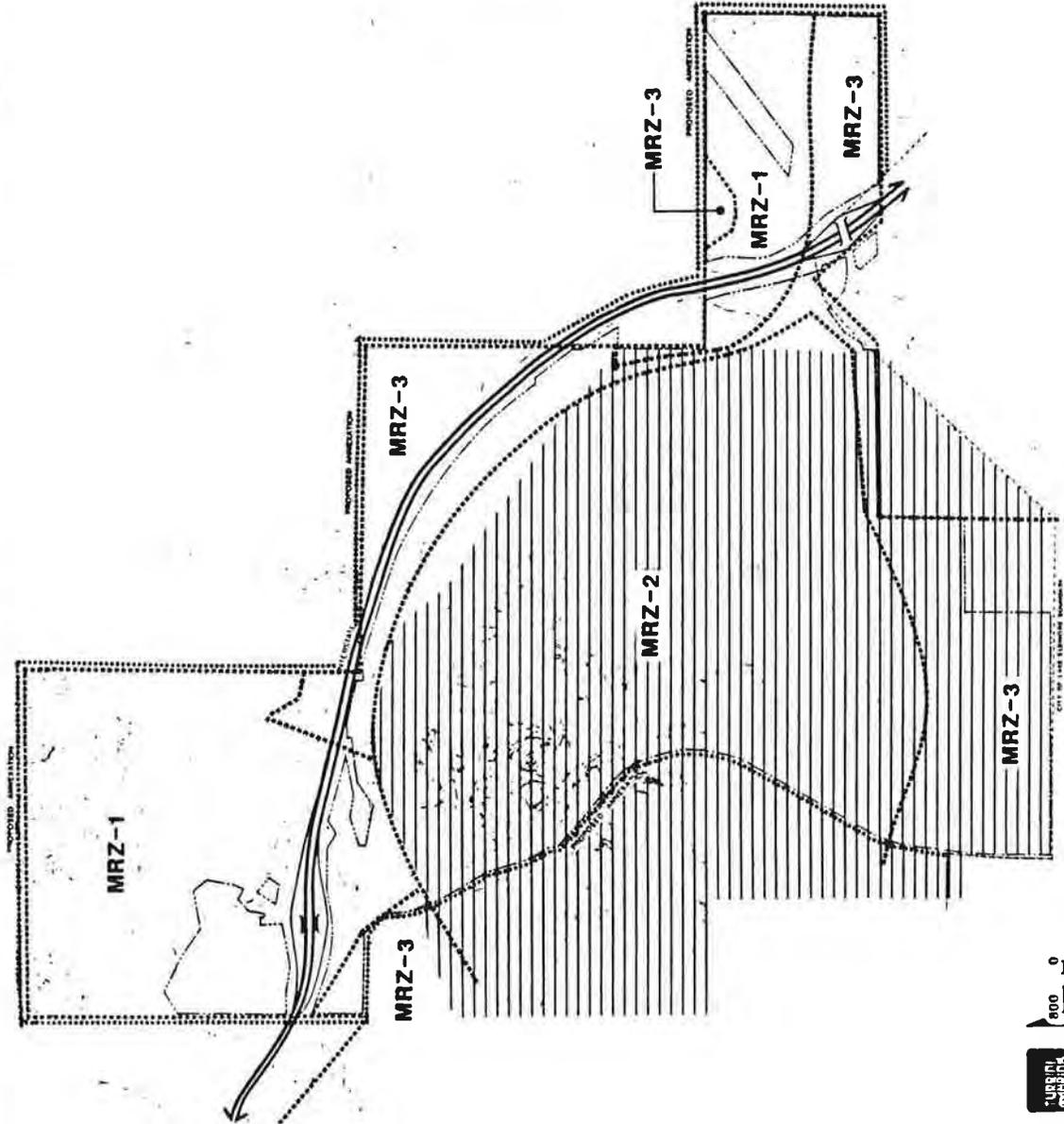
MRZ-1
NO SIGNIFICANT
MINERAL DEPOSIT

MRZ-2
SIGNIFICANT
MINERAL DEPOSIT

MRZ-3
UNKNOWN EXTENT OF
MINERAL DEPOSIT

MINERAL RESOURCE
DESIGNATION

BOUNDARY OF
MINERAL CLASSIFICATION



Alberhill Ranch
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will participate as a responsible agency in reviewing the Draft EIR and General Plan Amendment (GPA) through the State Clearinghouse as part of this Specific Plan process. The State's role is to review and comment only. It has no power to supersede any local agency decision converting mineral land to an alternative use.

b. Designation Status

Typically, the step beyond State "classification" for mineral lands is "designation" of the property, to protect sites as areas of regional or Statewide significance. This status is normally conferred by the State Mining Board to further establish the statewide value or significance of the mineral resource. As noted above, the project site has only been "classified", and there is no effort underway to "designate" it. However, should designation become an issue, it should be noted that the Surface Mining and Reclamation Act (SMARA) requires that a lead agency's land use decisions involving designated areas be in accordance with its mineral resource management policies. A lead agency, in determining land use in designated areas, must balance mineral value against alternative land uses and consider the importance of the designated mineral resources to their market region as a whole and not just their importance to the lead agency's area of jurisdiction.

c. Reclamation Plan

A Reclamation Plan is required by SMARA for any mining conducted after 1976, to demonstrate how an area will be "reclaimed" after it is "mined out". The purpose of this action is to restore the land to an acceptable level for potential development as a subsequent alternative "higher use". Reclamation involves moving equipment, grading and recontouring the site, removing toxins, stabilizing slopes and landscaping. While clay resources on the project site may not be exhausted when Pacific Clay terminates its lease, reclamation will obviously still be necessary before any further use can be developed.

A Reclamation Plan was prepared by Converse Ward Davis Dixon, Inc. for Pacific Clay Products in 1978. According to the Riverside County Geologist, Reclamation Plan 1-12 referring to the Alberhill area was approved by the County in 1978. That plan indicated reclamation that should consider:

- o Size and complexity of operation and mining methods.
- o Site potential for other land uses (consider General Plan and Zoning designations).
- o Soil erosion.

- o Water quality, drainage, flood control.
- o Habitat protection.
- o Disposal of mining waste/overburden.
- o Grading/topography/erosion practices.
- o Public health and safety.

The 1978 Reclamation Plan indicates the following techniques will be applied for adequate "reclamation":

- o Areas will be refilled as individual areas are mined out.
- o Permanent slopes, waste dumps, tailings, etc. will be left in a safe condition and, where appropriate, seeded with grasses.
- o Original drainages will be maintained where practicable.

Residual equipment, structures and refuse will be removed.

- o Existing pits will be used in the interim as sediment detention basins where practicable, to control erosion and sedimentation.
- o Areas will be reseeded in the interim, allowing natural restoration of disturbed areas.

As indicated in the County General Plan, a site Reclamation Plan should be reviewed by the County Planning Department and Planning Commission. Upon annexation, the reviewing agency would be the City of Lake Elsinore. It is anticipated that the State would be involved with the County in reviewing Reclamation Plan implementation, as participating agencies.

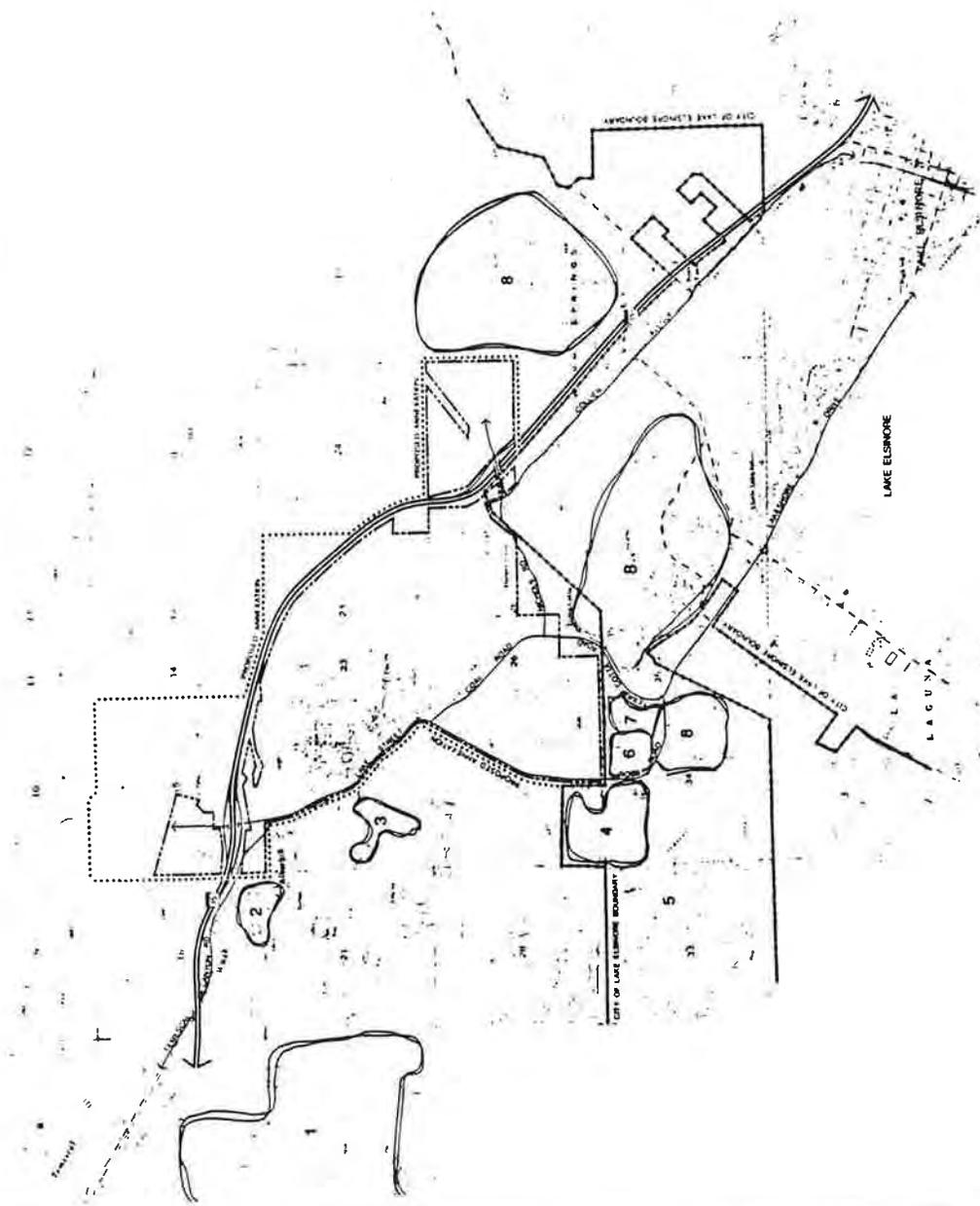
4. Surrounding Land Uses

As Exhibit 13 illustrates, the majority of properties north of the project site are undeveloped. To the east, low density residential development exists. In the vicinity of El Toro Road the predominant type of housing is single-family detached. To the west, Pacific Clay Products operates its ceramic factory near the Lake Street interchange. Clay mining operations also are in process in this area. The majority of recent development has occurred south and west of the site. These projects include:

Surrounding Land Uses

Legend

- 1 HORSETHIEF CANYON
SPECIFIC PLAN #152
(UNDER CONSTRUCTION)
- 2 CERAMIC FACTORY
- 3 MINING OPERATION
- 4 TRACT MAP #18719
(DEVELOPING)
- 5 SPECIFIC PLAN AREA
(VACANT)
- 6 TRACT MAP #19750
(DEVELOPED)
- 7 TRACT MAP #15020
(DEVELOPED)
- 8 EXISTING RESIDENTIAL



Alberhill Ranch

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TM 18719 (Citation Homes) - This subdivision consists of 341 single family detached dwelling units on 115 acres, at a density of 2.0 d.u./ac.; approved by City Council August, 1984. This project is now in Phase III of its construction.

TM 19750 (Buster/Alles) - This subdivision consists of 108 single family detached units on 38.1 acres, at a density of 2.8 d.u./ac.; approved by City Council January, 1984. Construction on this project is complete.

TM 15020 (Buster/Alles) - This subdivision consists of 127 single family detached residences on 43.6 acres, at a density of 2.9 d.u./ac.; approved by city Council January, 1984. This project is also complete.

One additional project, Curtis Elsinore Ranch, is a lot merger subdivision consisting of 52 single family detached residences on Washington Avenue. This project is currently under construction.

Remaining land uses south of the project site in the Terra Cotta area consist of very low density residences. In the vicinity of Collier Avenue, industrial uses are developing near the freeway.

A number of sites in the vicinity have been designated as Specific Plan areas. The McVicker Canyon Specific Plan area is located south and west of the project site. The Leach Canyon Specific Plan area is located directly south of McVicker Canyon. No development has occurred in any of these areas at this time. To the northwest is the Horsethief Canyon Specific Plan Area. Infrastructure improvements are currently under construction.

IV. LAND USE PLAN

A. LAND USE CONCEPTS

The land use plan for Alberhill Ranch Specific Ranch, as shown in Exhibit 14 and as detailed in Table 3, is based upon a comprehensive evaluation of the environmental, physical and jurisdictional factors described in the preceding sections. Through the process of identifying potential opportunities and constraints associated with the development of the site, the following concepts for the Alberhill Ranch project were derived:

1. Site Grading

The grading concept for the site is intended to maintain the natural land form as closely as possible (See Exhibit 14A). Remedial grading activities will be necessary in the mined out areas of the site and recontoured in accordance with the guidelines established in the Reclamation Plan required by SMARA. Grading will also be needed to stabilize potential landslide areas through fill buttressing and recontouring. Significant topographic features that have not been impacted by mining or that are not constrained geotechnically will be retained. The primary ridgeline extending northwest/southeasterly through the center of the project will be recontoured where necessary to maintain its natural character. Grading below the ridgeline to the south will generally follow natural contours in creating terraces to stabilize the slopes. On the Walker Canyon side of the ridgeline, grading and recontouring will be minimized to maintain the natural open space and preserve the Temescal Creek habitat area.

Grading of the site will be conducted in a manner which will eliminate/minimize the need for the import or export of dirt. It is anticipated that grading will be accompanied in accordance to the Phasing Plan (Exhibit 51) (i.e. grading for Phase II will not occur when Phase I is being constructed). However, to maximize grading efficiency, in some cases, of course subject to City review and approved, a limited amount of grading may occur between different phases of the project. In all cases however, all exposed slopes shall be controlled by planting vegetation and by constructing properly engineered drainage systems, in accordance with City standards.

2. Residential Uses

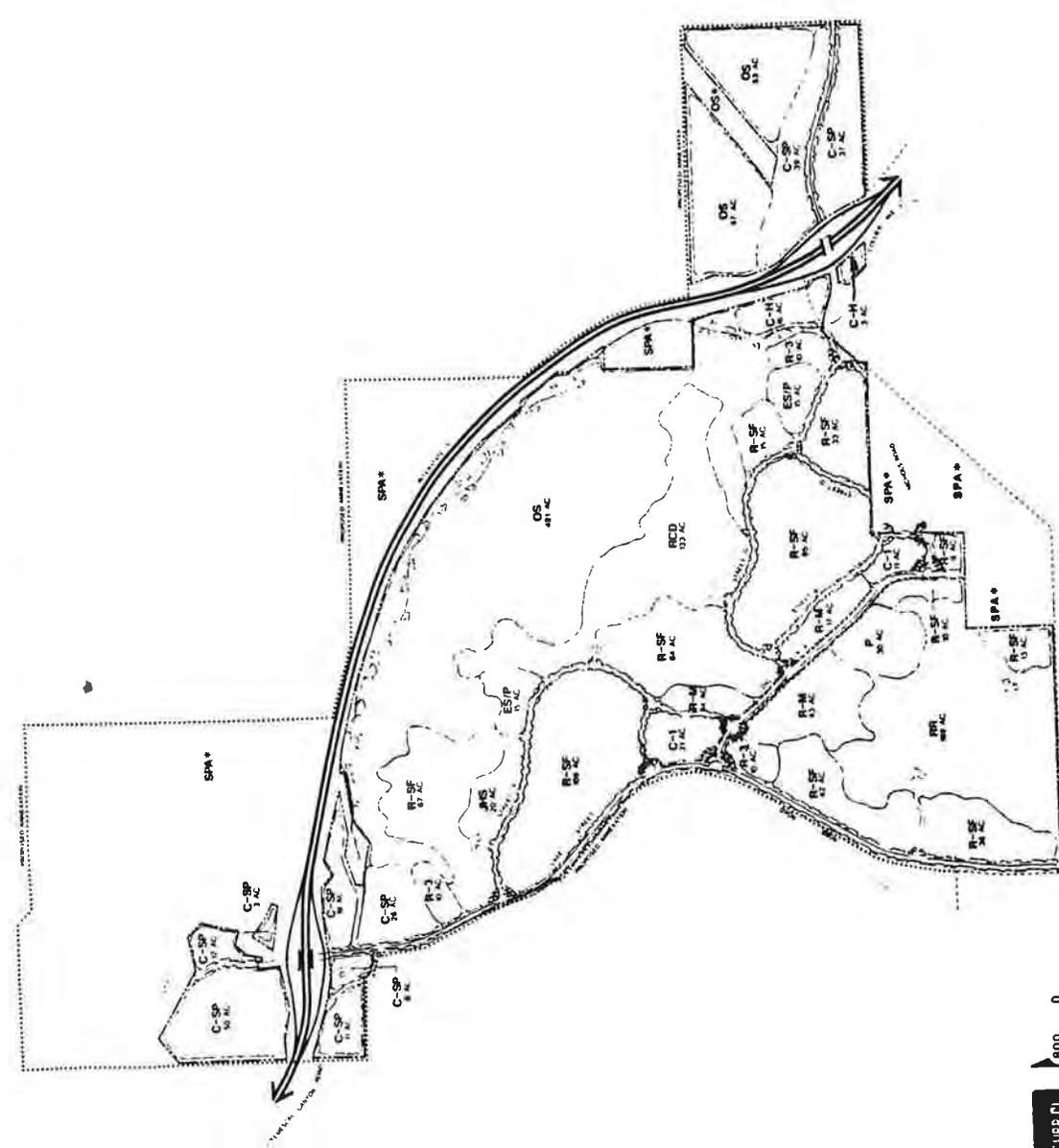
A variety of housing types and densities will be accommodated within the project to provide housing opportunities for as many segments of the population as possible. Overall, the project is Low Density, in keeping with the residential character of development immediately adjacent to the project site and consistent with the General Plan concept of providing lower densities at the perimeter of the City.

EXHIBIT 14
Land Use Plan

Land Use	Acres	Density	Dwelling Units
RR	169	0.2 du/ac	34
RCD	103	3.0 du/ac	309
R-SF	490	4.0 du/ac	1960
R-M	74	8.0 du/ac	592
R-3	30	24.0 du/ac	720
C-1	32		
C-H	9		
C-SP	203		
JHS	20		
ES/P	30		
P	30		
OS	531		
Roads	92		
TOTAL	1853 AC		3705 DU

SPA*	Specific Plan Area	802
OS*	Open Space	20
TOTAL		822

* LAND USE DESIGNATIONS WITHIN ANNEXATION AREA, BUT OUTSIDE ALBERHILL RANCH SPECIFIC PLAN AREA
 ** INCLUDES 9 ACRES WITHIN CITY OF LAKE ELSWORE BOUNDARY CURRENTLY ZONED C-1E



Alberhill Ranch

LONG BEACH EQUITIES, INC.

CC 8-8-89

TABLE 3
ALBERHILL RANCH SPECIFIC PLAN
STATISTICAL SUMMARY

<u>CATEGORY</u>	<u>LAND USE</u>	<u>ACRES</u>	<u>DENSITY</u>	<u>DWELLING UNITS</u>
R-R	Rural Residential	169 ac	0.2 du/ac	34 du
RCD	Single-Family Residential	133 ac	3.0 du/ac	399 du
R-SF	Single-Family Residential	490 ac	4.0 du/ac	1,960 du
R-M	Single-Family Residential	74 ac	8.0 du/ac	592 du
R-3	Multi-Family Residential	30 ac	24.0 du/ac	720 du
C-SP	Commercial-Specific Plan	203 ac		
C-1	Neighborhood Commercial	32 ac		
C-H	Highway/Commercial*	19 ac		
JHS	Junior High School	20 ac		
ES/P	Elementary School/Park	30 ac		
P	Park	30 ac		
OS	Open Space	531 ac		
	Roads	<u>92 ac</u>		
	TOTAL	1,853 ac		<u>3,705 du</u>

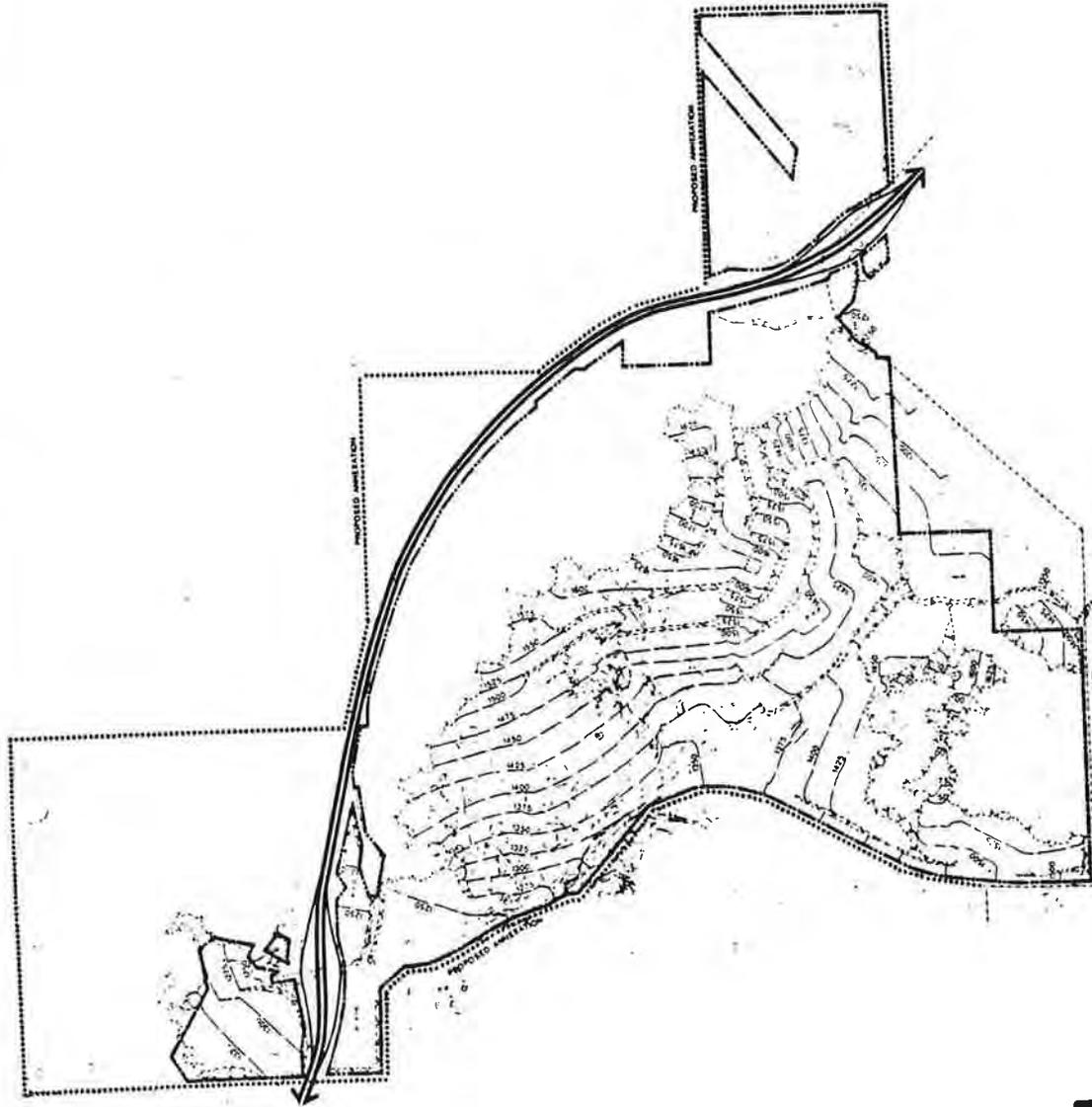
* Includes 8 acres of property within the City of Lake Elsinore, zoned C-M.

Conceptual Grading Plan

Legend



REVISED CONTOUR



Alberhill Ranch

LONG BEACH EQUIPMENT INC

USE IN EXHIBIT

Within hillside areas and areas adjoining significant open space, both large lot development and cluster development concepts will be applied to maximize the open space and to create a transition between natural and developed areas. In keeping with City Council policy, high density development sites have been designed not to exceed 10 acres in area.

3. Commercial Uses

A combination of neighborhood-oriented and freeway-oriented commercial uses are contemplated within the project. Within the interior of the project, commercial sites are located at major intersections to provide convenient access to the residents in the Alberhill Ranch Specific Plan. At freeway interchanges, a mix of commercial retail and business park uses will be accommodated. Commercial uses will include support services for office and business park uses in addition to freeway-oriented retail and service commercial uses and light industrial uses. The freeway-oriented and business park uses will serve a more regional market area.

4. Public Facilities

Adequate public facilities will be provided for the residents of Alberhill Ranch Specific Plan. Combination park and elementary school sites are provided in two locations in the center of residential areas to minimize distances between school, home and recreational areas. Elementary schools are located away from major thoroughfares to minimize potential conflicts between motorists and pedestrians. A 20-acre junior high school site has been identified within the project in accordance with the Elsinore Union High School District standards for school sites. In addition, a 30-acre community level park site has been shown in the project area to provide facilities for residents of Lake Elsinore as well as Alberhill Ranch.

5. Circulation

The circulation system serving the Alberhill Ranch Specific Plan is designed to utilize existing roadways and to improve facilities in keeping with the City's General Plan street classifications. Internal circulation systems are designed to follow natural topography as much as possible while providing efficient and convenient access within the project with the minimum roadway length. Landscaped medians and parkways will be provided to enhance the streetscape and help define the hierarchy of roadways serving the project.

B. RESIDENTIAL USES

Five categories of residential land use are provided within Alberhill Ranch Specific Plan. Densities range from one dwelling per five acres in the Rural Residential category to

24 dwellings per acre in the R-3 category. Except as approved by the Planning Director, the maximum number of dwelling units in each of the five residential categories may be exceeded by up to 15% of the maximum, as long as an equal or greater number of excess units are available from previously approved residential category which did not accomplish the maximum number expressed in that residential category. A total of 3,705 dwelling units is proposed in the categories described below:

1. Rural Residential

The Rural Residential designation is consistent with the Very Low Density Residential designation as described in the City's General Plan. In context to the Alberhill Ranch Specific Plan, Rural Residential is intended primarily for the development of single-family residences on large, estate lots. However, not required, clustering is encouraged to minimize disturbance to the hilly and natural area in the southern part of the Specific Plan site. A minimal amount of development area is permitted on each lot to ensure that the majority of the property remains in open space, maintaining the rural character of the area. The Specific Plan Zoning Ordinance contained herein (Chapter VIII) contains setback standards which define the building envelope for each lot.

In the extreme southern portion of the project site 169 acres have been designated Rural Residential, providing for a total of 34 dwelling units at a density of approximately 0.2 du/ac. The property is characterized by rolling terrain and sloping hillsides. Very low density residential uses exist in close proximity to this part of the site, east of Terra Cotta Road.

The Rural Residential designation in this area is consistent with the general character of the Terra Cotta area and also is consistent with the natural features of the site.

2. RCD Single Family Residential

The RCD category is consistent with the General Plan's Low Density Residential designation. This category is intended primarily to allow clustered, single family residences within the hillside areas adjoining open space. The purpose of this category is to maintain a low overall density to preserve natural terrain and topographic features by clustering single family dwellings on smaller lots. A total of 133 acres of RCD is designated on the plan which extends from the primary ridgeline south in the center of the project area. A total of 399 dwelling units are proposed in this category at a density of approximately 3.0 du/ac. It is anticipated that RCD Residential lots will be of sufficient size to accommodate installation of private amenities such as pools, spas,

playground equipment, and similar amenities. In addition, the schools, public parks, and permanent open space areas will be available for use by residents of the RCD District.

3. R-SF Single Family Residential

The R-SF category is also consistent with the Low Density Residential designation of the General Plan. This category is intended primarily for conventional single family development. The overall density in this category (approximately 4.0 du/ac) is higher than the RCD because the terrain is less steep and the area does not typically adjoin open space. A total of 1,960 units on 490 acres is designated R-SF, predominantly in the south-central portions of the site.

4. R-M Single Family Residential

The R-M category is consistent with the General Plan's Medium Density Residential designation. This category is intended to allow a variety of housing types, including single family detached dwellings, zero lot line dwellings and attached townhouses. The purpose of this category is to allow for higher density, clustered development up to 12 d.u./ac., but to maintain an overall density of 8 d.u./ac. maximum. A total of 74 acres is designated R-M for a maximum of 592 dwelling units. R-M areas are delineated along the Coal Road corridor between Nichols Road and Robb Road. R-M residential areas should be located near schools, parks, or public open space to augment private open space opportunities.

5. R-3 Multi-Family Residential

The R-3 category is consistent with the General Plan's High Density Residential designation. This category is intended to allow multi-family apartment and condominium projects in transitional areas between commercial uses and lower density residential projects. A total of 720 units on 30 acres in three separate sites has been delineated along major streets in close proximity to commercial sites, in keeping with City standards for high density development. The overall density will average approximately 24.0 du/ac.

Each dwelling unit shall be provided with an outdoor living space in the form of a balcony, a fenced yard, or a combination thereof. The minimum dimension for said space shall be six (6) feet in either direction. In addition, two hundred and fifty (250) square feet of usable open space per unit shall be provided within the boundaries of all projects. Usable open space shall constitute area(s) readily accessible, and generally acceptable for active and/or passive recreational uses. In all cases, common open space shall not include required setback areas or other areas less than twenty (20) feet in width. See the attached Specific Plan Zoning Ordinance for further details.

A majority of the usable common open space shall be devoted primarily to common recreational facilities. As a minimum, each multi-family project will contain:

- o A tot lot.
- o A minimum of one pool complex at a ratio of one pool for up to 200 dwelling units.
- o Passive recreational areas such as picnic grounds, barbecue pits, pedestrian paths or bikeways.

Other possible facilities which may be provided or substituted for the above (with prior approval of the Planning Director) include tennis or racketball courts, volleyball courts, basketball courts, spas, etc. Recreation facilities will be maintained by project owners for rental projects or a homeowners association for condominium projects.

Parking and storage requirements for R-3 residential development are contained in Section VIII., Development Standards.

6. Residential Density and Population

Within the project area, a variety of residential densities and housing types are proposed. A total of 3,705 dwelling units will be provided in the project area which encompasses 1,853 acres. The overall residential density on a gross acreage basis is therefore 2.0 dwelling units per acre. This density is consistent with similar Specific Plan areas designated in the City's General Plan, including Ramsgate at 2.5 d.u./ac., Canyon Lake Hills at 2.0 d.u./ac. and the Missing Link at 2.0 d.u./ac.

Based on current baseline projections, the Southern California Association of Governments (SCAG) projected a total population in the Lake Elsinore area of 34,000 in 16,000 dwelling units, as of January 1984. This projection indicates a factor of 2.1 persons per dwelling unit. Population projections established by the City of Lake Elsinore in calculating park dedication requirements indicate a factor of 3.64 persons/d.u. for single family, 3.1 for duplex/medium-low density, and 1.8 for apartments/condos. Utilizing these factors, the anticipated population range generated by Alberhill Ranch at buildout is projected in Table 2.

TABLE 4
 BUILDOUT POPULATION PROJECTIONS
 ALBERHILL RANCH SPECIFIC PLAN

<u>CATEGORY</u>	<u>LAND USE</u>	<u>DWELLING UNITS</u>	<u>POPULATION RANGE</u>
RR	Rural Residential	34	72 - 124
RCD	Single-Family Residential	399	838 - 1,452
R-SF	Single-Family Residential	1,960	4,116 - 7,134
R-M	Single-Family Residential	592	1,243 - 1,835
R-3	Multi-Family Residential	720	<u>1,521 - 1,296</u>
	TOTAL		7,790(1) - 11,841(2)

(1) Projections derived using SCAG-82 Modified Forecast Figures for population and housing, adopted February 1985.

(2) Projections derived from City of Lake Elsinore Resolution No. 85-34, adopted May 1985.

C. COMMERCIAL USES

Three categories of commercial use are provided within Alberhill Ranch Specific Plan, serving different types of consumers. Neighborhood commercial, office and business park, and highway commercial uses are proposed. These land use categories are described in more detail below. In general, the neighborhood commercial "C-1" centers will serve primarily the project residents and those persons living in the area immediately surrounding the project. Larger commercial centers and those with a broader range of uses (e.g., office commercial/business park "C-SP" and highway commercial "C-H" developments), will generally attract consumers from a wider area than will the neighborhood center. The "C-SP" and "C-H" centers will serve a more city-wide and regional function.

1. C-SP Commercial - Specific Plan

This category is intended to accommodate mixed use development projects with a freeway orientation. The predominant uses would be retail and service commercial in conjunction with business park types of use, such as research and development, limited manufacturing, office and administrative uses. Business support services are also compatible within this category. A total of 203 acres have been designated at the two freeway interchanges within the project area: Lake Street/I-15, and Nichols Road/I-15. The flexibility inherent within this category allows the City to establish the form and character of each development on a project by project basis.

2. C-1 Neighborhood Commercial

This category is intended primarily to provide retail and commercial services for the project area, and nearby residents in the immediate vicinity surrounding the project. Neighborhood centers, in general, will contain a supermarket as the principal anchor tenant, and may also contain drug stores, gift shops, book stores, cleaners, and other related uses. Commercial office uses are also compatible within neighborhood commercial centers. A total of 32 acres of neighborhood commercial development is provided in two locations; 21 acres are located at Coal Road and Robb Road, and 11 acres are located at Nichols Road and Coal Road. Each site is located at major intersections within the project area and are central to two neighborhood areas for the convenience of the residents.

3. C-H Highway Commercial

Nineteen acres have been designated as C-H, Highway Commercial development, north of Nichols Road in the vicinity of Collier Road. It should be noted that 8 acres of this area are currently zoned CM - Commercial Manufacturing. This

redesignation would provide more retail and service commercial uses in proximity to the Nichols Road/I-15 interchange. The site is more compatible with freeway oriented uses and is isolated from residential uses, in keeping with City standards.

The C-H development(s), as proposed, will be located adjacent to Temescal Creek. Because of the biological significance of the Creek, all development within the C-H Districts will be subject to site plan review per the Design Review process as required by Chapter VIII of this document "Development Standards". During Design Review, the relationship of the proposed C-H development(s) to Temescal Creek will be examined and reviewed to insure that adequate and appropriate setbacks and design mitigations are implemented. Furthermore, it is anticipated that those areas within the C-H Districts that are located directly adjacent to the Creek will be landscaped with specially selected plant materials that will complement the existing riparian/fresh water marsh vegetation in the Creek. All proposed improvements to the Creek will also be subject to review by the County Flood Control District.

D. PARKS AND RECREATION PLAN

1. Neighborhood and Community Parks

A major element to the Alberhill Ranch Specific Plan is the open space and recreational amenities offered. The National Recreation and Park Association recommends that a minimum of 25% of planned developments be devoted to park and open space uses. The Alberhill Ranch Specific Plan proposes to devote nearly 31% of the total Specific Plan acreage to parks and open space. According to Resolution No. 85-34 of the City of Lake Elsinore, 5 acres of park land must be dedicated for every 1,000 residents.

The Alberhill Ranch Specific Plan provides for approximately 40 acres of active park sites, as well as 531 acres of passive open space. In addition, the multi-family areas will also be required to provide recreational facilities. All dedication and payment of fees will be in accordance with Resolution No. 85-34.

The types of recreational facilities to be provided in the Alberhill Ranch Specific Plan are described below.

* Neighborhood Parks

The Alberhill Ranch Specific Plan provides for two (2) 5-acre neighborhood parks. These neighborhood parks will be a joint use with the two elementary school sites. The two park sites can be accessed easily by all residents of Alberhill Ranch.

The types of facilities proposed for the neighborhood parks may include the following:

- sports field
- tot lot
- lawn area
- restrooms
- parking facilities

* **Community Park Site**

A 30-acre community park site has been delineated in the vicinity of Nichols Road and Terra Cotta/Coal Roads. This park site provides access to the residents of Alberhill Ranch and is in close proximity to the Terra Cotta area. Approximately 10-15 acres of this site will be "usable" for active participation recreational uses. It is anticipated that the remainder of the 30-acre site will remain in its natural condition. Some trails and picnic areas will be provided in this area. The site will be graded to sensitively blend with the existing topography.

2. Open Space

More than one-fourth of the project area (531 acres) has been designated as permanent open space. The majority of the open space will be retained north of the primary ridgeline in Walker Canyon. This area will be left in its natural condition with the exception of approximately 30-35 acres of land which is immediately adjacent to development that adjoins the ridgeline and natural open space in the Walker Canyon. That land will be graded to blend with natural land forms. In those areas where remedial grading disturbs native vegetation, the slopes will be revegetated with either indigenous plant materials or other appropriate native materials.

The riparian woodland along Temescal Creek will be preserved, maintaining a significant wildlife habitat on the site. This habitat area will be protected from development encroachment by the open space which separates it from the development area.

In open space areas adjacent to development, fuel modification zones will be established utilizing fire retardant and fire resistant plant materials. Landscaping and revegetation plans will be reviewed with the County Fire Department to ensure fire protection in areas prone to grassland and range fires. Generally, fuel modification zones will extend 50 feet into open space areas where development is downslope and 100 feet in an upslope condition. Developed recreational facilities are not proposed within natural open space areas, however, an equestrian/hiking trail will be provided within Walker Canyon which is proposed by the Riverside County Parks

Department, and will provide a connection into an equestrian/hiking trail system.

E. SCHOOLS

The Alberhill Ranch Specific Plan provides for two (2) elementary school sites and one (1) junior high school site. These school sites account for approximately 40 acres of the project area. All school sites within the Alberhill Ranch Specific Plan have been provided in accordance with the Lake Elsinore and Elsinore Union School Districts, and will be made available for their purchase, in accordance to State regulations, at the time they are needed.

1. Elementary School Sites

The elementary school sites in Alberhill Ranch have been incorporated into a joint use concept with the two neighborhood parks. The elementary school/park sites will each be 15 acres in size, and have been integrated into the residential portions of the project. These school sites have been centrally located within the project site relative to the population of Alberhill Ranch. The sites have also been located away from major thoroughfares and are in close proximity to residential developments to reduce vehicular trips. Both pedestrian and bicycle access separate from vehicular traffic is provided between residential areas and the school sites.

2. Junior High School Site

One (1) junior high school site has been delineated in the north-central portion of Alberhill Ranch. This school site will be accessible by both pedestrian and bicycle systems. Vehicular access is provided by a lower volume collector street.

F. COMMUNITY ELEMENT MAINTENANCE PLAN

Successful operation of maintaining community elements is important in providing for a quality specific plan project. It is anticipated that maintenance responsibilities for community elements will be that of the City or city sponsored assessment district.

1. Open Space and Parks

All open space and park areas which are not directly associated with a particular residential category will be dedicated to the City or City sponsored assessment district for ownership and maintenance. It is thought that ownership by the City will, with the most certainty, permit the community/public open space areas to be retained in their natural, undisturbed condition in perpetuity. In having ownership and control of the open space areas (i.e. Walker Canyon), the

City can ensure that those areas will be available for the use and enjoyment of not only Alberhill Ranch residents, but instead, all residents of the City.

2. Expanded Parkway

All expanded parkways that are within designated roadways will be dedicated to the City for ownership and maintenance.

3. Pedestrian and Equestrian Trails

It is anticipated that maintenance for pedestrian/equestrian trails will be the responsibility of the City, as they will be dedicated for public use.

V. CIRCULATION PLAN

The circulation system serving the Alberhill Ranch Specific Ranch as illustrated in Exhibit 15, will utilize the existing street network in the area with appropriate improvements to adequately handle projected increased traffic. The major streets serving the project are discussed below.

A. INTERSTATE 15 INTERCHANGES

Freeway interchanges exist at Lake Street on the north side of the project area, and Nichols Road on the east. The current improvements at these interchanges are currently underutilized and will accommodate anticipated increases in project related traffic, with certain improvements.

1. Lake Street at I-15

At buildout, Lake Street will require a dual left turn lane at the westbound on-ramp and two through lanes north and south. Traffic signals at both eastbound and westbound ramps will be warranted.

2. Nichols Road at I-15

At buildout, Nichols Road will require two through lanes east and west. A left turn lane will also be required at the eastbound and westbound on-ramps, as well as traffic signalization.

B. ARTERIAL HIGHWAYS

1. Robb Road

Robb Road south of Coal Road is currently two lanes. Ultimately, this road will be improved to Arterial Highway standards with a 110 foot right-of-way and an 86 foot pavement width (curb to curb). A traffic signal will eventually be warranted at the intersection of Robb Road and Coal Road.

2. Lake Street

Lake Street will be improved to Arterial Highway standards with traffic signals ultimately being warranted at its intersection with Street "A", and at its intersection with Street "E".

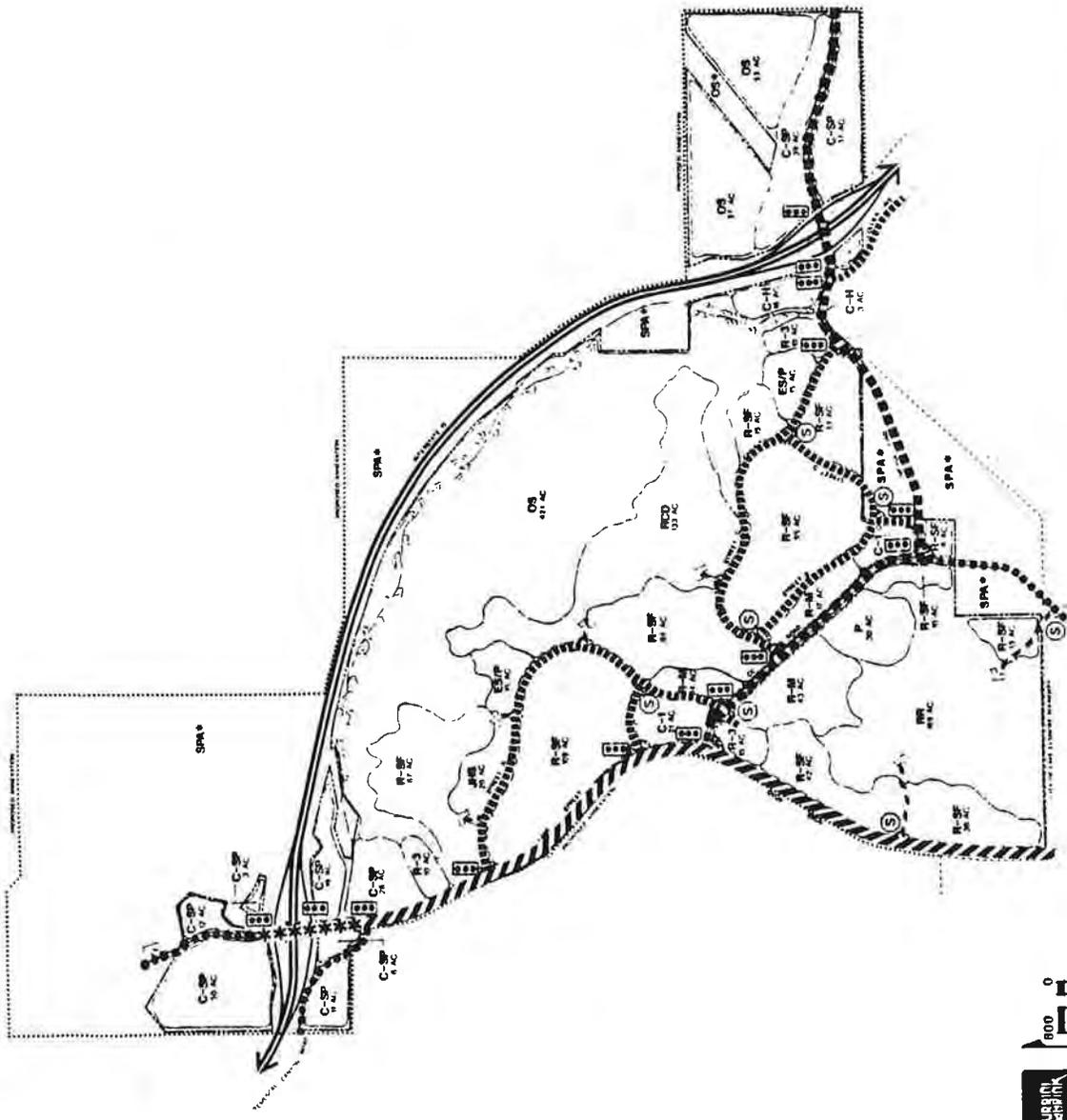
C. MAJOR HIGHWAYS

Two streets serving the project site will eventually need to be upgraded to Major Highway standards, with 100 foot rights-of-way and a pavement width of 76 feet.

EXHIBIT 15
Circulation Plan

Legend

-  ARTERIAL (110' ROW, 86' CURB-TO-CURB)
-  MAJOR (110'-126' ROW, 86' CURB-TO-CURB, COAL ROAD)
-  SECONDARY (88' ROW, 64' CURB-TO-CURB)
-  COLLECTOR (66' ROW, 44' CURB-TO-CURB)
-  LOCAL (60' ROW, 40' CURB-TO-CURB)
-  TRAFFIC SIGNAL
-  STOP SIGN
-  ARTERIAL WITH ADJACENT EQUESTRIAN TRAIL
-  SECONDARY WITH ADJACENT EQUESTRIAN TRAIL



Alberhill Ranch
LONG BEACH EQUIMES INC



1. Coal Road

Coal Road will be improved to Major Highway standards with traffic signals warranted at its intersection with Nichols Road, Street "A" and Street "C". Left turn lanes will be necessary for north, south and westbound approaches at the Nichols Road intersection.

2. Nichols Road

Nichols Road ultimately will be upgraded to Major Highway standards from Terra Cotta across I-15. Traffic signals will eventually be warranted at the intersections of Nichols Road and "C" Street, "F" Street, at the Interstate interchange and at Collier Avenue.

D. SECONDARY HIGHWAYS

Two streets at the perimeter of the project will need to be upgraded to Secondary Highway standards with 88 feet of right-of-way and 64 feet of pavement (curb to curb).

1. Temescal Canyon Road

This roadway will become a Secondary Highway west of its intersection with Lake Street. Left turn lanes and a traffic signal will ultimately be warranted at this intersection.

2. Terra Cotta Road

This roadway will ultimately be improved to Secondary Highway standards south of Nichols Road.

E. COLLECTOR STREETS

Several interior streets within the project will be improved to Collector Street standards, with 66 foot rights-of-way and 44 foot pavement widths (curb to curb). Three major loop streets will provide access to the majority of residential areas north and south of the Coal Road/Lake Street intersection.

1. "A" Street

This roadway is a Loop Street located in the northern portion of the project, connecting predominantly local streets to Lake Street south of Temescal Creek Road.

2. "B", "C", and "D" Streets

These Loop Streets connect local residential streets to Coal Road on its west side and Nichols Road on its east side.

3. "E" Street

This street connects Lake Street with Street "A".

4. "F" Street

This residential Collector connects Streets "B" and "D" to Nichols Road.

5. Collier Avenue

This roadway will ultimately be improved to Collector Street standards south of Nichols Road, providing access to the industrial park development along the freeway.

F. LOCAL STREETS

Vehicular access within individual planning areas will be provided by local streets which will extend from the Collector Loop Streets in the central portion of the project. Access from local streets to streets larger than Collectors will be limited to reduce points of conflict on the roadways carrying higher traffic volumes and speeds.

G. PRIVATE ROADS

In addition to vehicular access being provided to planning areas by local roads, private roadways may be utilized where appropriate. A minimum of 36' of paved roadway will be provided for private roads. This width is considered appropriate to insure proper fire access, smooth traffic flow, and on-street parking.

H. CIRCULATION DESIGN STANDARDS

1. Local streets should have a minimum radius of 250 feet (25 m.p.h. design speed).
2. Cul-de-sacs should not exceed 1,000 feet in length to facilitate emergency access.
3. Long straight roadway stretches should be avoided to discourage excessive speeds and thereby reduce safety hazards.
4. Adjacent intersections along the same street, but on opposite sides, should be offset a minimum of 150 feet centerline to centerline on collector and local streets.
5. Streets grades should not exceed 15 percent. Steep grades do not pose major problems but do increase braking distances, vehicle delay, and the likelihood of accidents.

6. Streets should intersect at as near to a right angle as possible, and at not more than a 15 degree skew.
7. Streets should intersect others on the outside rather than the inside of a horizontal curve.
8. Streets should not intersect on a crest vertical curve.
9. Schools should be located on low volume local streets and not on collectors.
10. Landscaping plantings and signs should be limited in height within the vicinity of project roadways to assure good visibility.
11. At least two different ingress-egress routes should be included except as noted under the cul-de-sac discussion.
12. No street, or turnaround road, should have a centerline radius or curvature of less than 50 feet.
13. Vertical curves and dips in the roadway should have a radius of not less than 50 feet.
14. Bridges should have a minimum load limit of 40,000 pounds (20 tons), and be no narrower than the driving portion of the road serving each end. Major ingress-egress roads in subdivisions should have a minimum load limit on bridges of 80,000 pounds (40 tons).
15. To facilitate fire location and to avoid delays in response, all roads, streets, and buildings should be designated by name or street number signs clearly visible from the main travelled roadway.
16. Access roads and/or driveways for the commercial developments should be located at least 200 feet apart and at least 200 feet from the nearest intersection.
17. Driveways to retail commercial should be curb-return type with at least 35 foot radius.
18. Driveways should be at least 28 feet wide, and preferably 30 to 35 feet wide, so that an entering vehicle does not interfere with an exiting vehicle. Narrower driveways lead to conflict between entering and exiting vehicles, causing one to stop and wait for the other.

19. The first parking stall which is perpendicular to a driveway, or first aisle juncture, should be at least 40 feet back from the curb. The reason for this recommendation is to provide a queueing area off street so that if a vehicle is parking or unparking in the stall nearest the street, there is room for at least one vehicle to queue while waiting for the other vehicle to park. Without this provision, vehicles will queue into the street.
20. To provide for sufficient site access and yet minimize the number of required access locations, joint site access with adjacent sites should be encouraged in the planning of site development.
21. Pedestrian walkways should be provided which separate pedestrian/vehicle conflicts. The conflicts seldom lead to accidents because of the low speeds; however, it is clearly desirable to separate vehicles and pedestrians whenever possible.
22. The traffic aisles which interconnect parcels are desirable; however, the aisles should have sufficient turns so that "through street" effects do not exist. Long stretches of straight travelway invite higher speeds. The maximum length of straight travelways should not exceed 300 or 400 feet when possible.
23. Circulation within the parking areas should allow relatively free flow of vehicular traffic with no constrictions.
24. The aisles should be placed in such a way that it is easy to reach any destination within a property after entering any driveway.

I. NON-VEHICULAR SYSTEMS

In conjunction with the roadway system, non-vehicular systems will be provided throughout the project area.

1. Bicycle Paths

The County Plan of Bicycle Routes identifies a Class II Bike Lane along Lake Street and Robb Road. This bike lane continues west along Temescal Creek Road. A Class II facility provides for a separate bike lane within the road right of way. A Class II bike lane is designated through the project site in keeping with the County's designation. In addition, a Class II lane is provided to the east along Coal Road to the Lake Street bicycle trail, which connects with Nichols Road and extends east of I-15 to provide bicycle access from Alberhill Ranch to the new Temescal Canyon High School.

Class III bike lanes within the project area will extend along "A", "B", "C", "D", "E" and "F" Streets north of Coal Road and Nichols Road, and will extend south of the project site along Terra Cotta Road.

2. Pedestrian Facilities

The majority of pedestrian facilities will be provided in the form of sidewalks provided along all Major, Arterial, Secondary and Collector Streets within the project. Within individual development areas served by local streets, opportunities will be available to provide walkways and bike lanes through greenbelt systems which link park and school sites to residential areas, separating non-vehicular traffic from motorists.

3. Equestrian/Hiking Trails

The County Parks and Recreation Area Map does not designate any hiking or riding trails within the project area. However, opportunities for such facilities exist within the open space and Rural Residential areas. An equestrian/hiking trail will be provided from Nichols Road into Walker Canyon to Lake Street for future off-site recreational uses. Where such facilities are provided, a minimum width of 14 feet will be allowed to accommodate both hikers and riders.

VI. UTILITIES

In order to adequately service the proposed development of Alberhill Ranch Specific Plan, the infrastructure improvements described below will be required.

A. WATER SERVICE

1. Service Demand

Elsinore Valley Municipal Water District (EVMWD) provides standards for water service in the Lake Elsinore area. the average daily demand by land use is shown below in Table 5.

TABLE 5
WATER USAGE BY LAND USE - EVMWD

<u>USE</u>	<u>AVERAGE DAILY DEMAND</u>
<u>Residential</u>	
Single Family or Duplex	500 Gal./Unit 2,500 Gal./Acre
Multi-Family Low Rise	400 Gal./Unit 4,000 Gal./Acre
Multi-Family High Rise	300 Gal./Acre
<u>Commercial</u>	
Commercial/Industrial Mix	100 Gal./1,000 Sq. Ft.
Commercial/Residential Mix	120 Gal./1,000 Sq. Ft.
Schools/Parks	4,000 Gal./Acre 60 Gal./Student

Maximum daily water demand is two times the average daily demand.

$$(MDD = ADD \times 2)$$

For calculating storage requirements EVMWD uses MDD plus fire flow for 4 hours duration. for this analysis, fire flow was assumed to be an average of 3,500 gallons per minute (GPM). The total water service demand for the project, together with off-site land uses within the proposed annexation area, is summarized in Table 6.

**TABLE 6
ESTIMATED WATER DEMAND
ALBERHILL RANCH SPECIFIC PLAN**

<u>CATEGORY</u>	<u>LAND USE</u>	<u>ACREAGE</u>	<u>DWELLING UNITS</u>	<u>ESTIMATED POPULATION¹</u>	<u>ADD² (MGD) ⁴</u>	<u>MDD³ (MGD) ⁴</u>
RR	Single-Family Residential	169	34	102	0.017	0.034
R-CD	Single-Family Residential	133	399	1,197	0.199	0.398
R-SF	Single-Family Residential	490	1,960	5,880	0.980	1.960
R-M	Single-Family Residential	74	592	1,776	0.296	0.592
R-3	Multi-Family Residential	30	720	2,160	0.288	0.576
C-SP	Commercial- Specific Plan	190	-0-	-0-	0.57	1.114
-1	Neighborhood Commercial	32	-0-	-0-	0.095	0.190
C-H	Highway Commercial	19	-0-	-0-	0.057	0.114
JHS	Junior High School	20	-0-	-0-	0.08	0.16
ES/P	Elementary School/ Park	30	-0-	-0-	0.12	0.24
P	Park	30	-0-	-0-	0.12	0.24
OS	Open Space	531	-0-	-0-	-0-	-0-
	Roads	92	-0-	-0-	-0-	-0-
SUBTOTALS		1,853	3,705	11,115	2.82	5.47

TABLE 6 (con't.)
ESTIMATED WATER DEMAND - OFF-SITE ANNEXATION AREA

<u>CATEGORY</u>	<u>LAND USE</u>	<u>ACREAGE</u>	<u>DWELLING UNITS</u>	<u>ESTIMATED POPULATION</u> ¹	<u>ADD</u> ² (MGD) ⁴	<u>MDD</u> ³ (MGD) ⁴
SPA*	Specific Plan Area	652	-0-	-0-	-0-	-0-
OS	Open Space	20	-0-	-0-	-0-	-0-
SUBTOTALS		672	1,277 ⁽⁵⁾	3,831	0.639	1.28
TOTAL		2,525	4,982	14,946	3.46	6.75

NOTE: 150 acres located in I-15 R.O.W. is not included in total project acreage.

ESTIMATED RESERVOIR STORAGE - ALBERHILL RANCH

A.D.D. plus the fire flow for 4 hours duration:

$$3.046 + (4 \text{ Hrs.}) (3,500 \text{ GPM}) (60 \text{ Min./Hr.}) = 6.886 \text{ MG}$$

¹ Estimated population assumes 3.0 persons per dwelling unit.

² A.D.D. Average Daily Demand based on EVMWD criteria.

³ M.D.D. Maximum Daily Demand (MDD = ADD x 2).

M.G.D. Million Gallons per Day.

⁴ The number of dwelling units for the SPA* area was estimated by using a density factor of 1.99 du/ac, as calculated in the Alberhill Ranch Specific Plan.

2. Proposed Facilities

Exhibit 16 illustrates the proposed water distribution system for the project area. The majority of the project area could be serviced by the 1601 pressure zone. However, areas to the east of the site would have to be served by the 1800.5 pressure zone system. At this time, there are no facilities to serve the 1800.5 pressure zone system. To provide service to this area, the regional pump station, pump discharge/distribution lines and storage reservoirs must be constructed.

B. SEWER SERVICE

1. Service Demand

The estimated sewage generation from the proposed project is determined according to Elsinore Valley Municipal Water District (EVMWD) criteria. The criteria assumes an average daily flow of 100 gallons per person per day (GPD), with an average population factor of three persons per dwelling unit. Total average daily flow (ADF) for the Alberhill Ranch Specific Plan is summarized in Table 7. The criteria further assumes a peaking factor of 2.90 based on current EVMWD data. Peak daily flow (PDF) is determined by multiplying the ADF by the peaking factor. Adequate sewer capacity must be provided to accommodate daily flows from the project, as determined by EVMWD.

2. Proposed Facilities

As previously mentioned, the existing EVMWD treatment plant located south of the project site is proposed to be expanded to a capacity of 3.0 MGD by 1989-90. Ultimately, the capacity of this plant will be 5.0 MGD. A new treatment plant is proposed in the EVMWD Master Plan to be located west of the project site. This plan is currently being prepared by Black and Veatch and the ultimate capacity has yet to be determined.

Several alternatives are available for the ultimate disposition of sewage generated within the project. The first alternative system is shown on Exhibit 17(a). This system utilizes treatment capacity at the proposed plant west of the site. A lift station would be required near Nichols Road and "C" Street to pump sewage generated in the southeastern portion of the site to a high point in Lake Street. From that point, sewage flows would be carried by gravity to the proposed plant. In order to provide sewerage to the portion of the site east of I-15, an 8" sewer line would need to be bored under the interstate. It is noted that a sewer line is being constructed to serve the new high school directly south of the project site. It may be feasible to sewer this portion of the site by utilizing this line.

A second alternative would involve the sewage treatment plant now under construction in Horsethief Canyon. In this scheme, the on-site system would remain as shown in Exhibit 17(a), but a sewage pump station would be added in the northwest corner of the site near Temescal Canyon Road. The purpose would be to pump sewage to the new plant in Horsethief Canyon for treatment. This alternative would require increasing the capacity of the plant to accommodate both developments.

A third alternative would utilize the existing treatment plant near Cheney Street. This system would require two lift

stations in order to provide flows to the south of the project area. This alternative could be considered for only a portion of the total project or as an interim solution for the total project because the ultimate capacity of the facilities is 5.0 MGD.

Depending on the timing of the infrastructure improvements, availability of funding, and ultimate phasing of development, any of these alternatives, or portions of each, could be implemented to provide sewer service to the project.

The sizing and construction of all sewer facilities has been, and will continue to be coordinated through the Elsinore Valley Municipal Water District, who ultimately has the responsibility of owning and operating the system. Any oversizing of facilities to accommodate adjacent and other proposed land development will be done according to EVMWD standards. It is expected that the additional expense for oversizing facilities will be reimbursed to the project developer according to a standard system controlled by EVMWD. Phasing of the construction of all facilities will be accomplished in accordance to the overall land development Phasing Plan (Exhibit 51), and in accordance to Table 15 (Public Facilities Phasing Program).

C. DRAINAGE FACILITIES

The the Alberhill Ranch Specific Plan site consists of rolling terrain. The majority of development is proposed on the southwesterly facing slopes below the major ridgeline in the center of the project site, and on the north and east facing slopes south of Coal Road. The site generally drains to the northwest, ultimately flowing into Temescal Creek. The proposed drainage system utilizes natural drainage channels to the greatest extent possible, although improvements will be necessary to accommodate expected flows from new development.

The design of the storm drain system has considered the runoff anticipated to be generated by the proposed densities within Alberhill Ranch. However, specific drainage systems will be designed as each planning area develops. Drainage systems will comply with adopted City standards and the Master Plan of storm drains. The proposed drainage facilities are delineated in Exhibit 18.

TABLE 7
ESTIMATED SEWAGE GENERATION
ALBERHILL RANCH SPECIFIC PLAN

<u>CATEGORY</u>	<u>LAND USE</u>	<u>ACREAGE</u>	<u>DWELLING UNITS</u>	<u>ESTIMATED POPULATION¹</u>	<u>ADF²</u>
RR	Single-Family Residential	169	34	102	0.0102
R-CD	Single-Family Residential	133	399	1,197	0.1197
R-SF	Single-Family Residential	490	1,960	5,880	0.5880
R-M	Single-Family Residential	74	592	1,776	0.1776
R-3	Multi-Family Residential	30	720	2,160	0.2160
C-SP	Commercial - Specific Plan	203	-0-	-0-	
C-1	Neighborhood Residential	32	-0-	-0-	0.026
C-H	Highway Commercial	19	-0-	-0-	0.15
JHS	Junior High School	20	-0-	-0-	0.016
ES/P	Elementary School/ Park	30	-0-	-0-	0.024
P	Park	30	-0-	-0-	-0-
OS	Open Space	531	-0-	-0-	-0-
	Roads	92	-0-	-0-	-0-
SUBTOTAL		1,853	3,705	11,115	1.2975

TABLE 7 (con't)
ESTIMATED SEWAGE GENERATION - OFF-SITE ANNEXATION AREA

<u>CATEGORY</u>	<u>LAND USE</u>	<u>ACREAGE</u>	<u>DWELLING UNITS</u>	<u>ESTIMATED POPULATION¹</u>	<u>ADF²</u>
SPA*	Specific Plan Area	652	1,277(3)	3,831	0.38
OS*	Open Space	20	-0-	-0-	-0-
TOTALS		2,525	4,982	14,946	1.68

NOTE: 150 acres located in the I-15 R.O.W. is not included in the total project acreage.

Peak Daily Flow (PDF): ADF x Peaking Factor

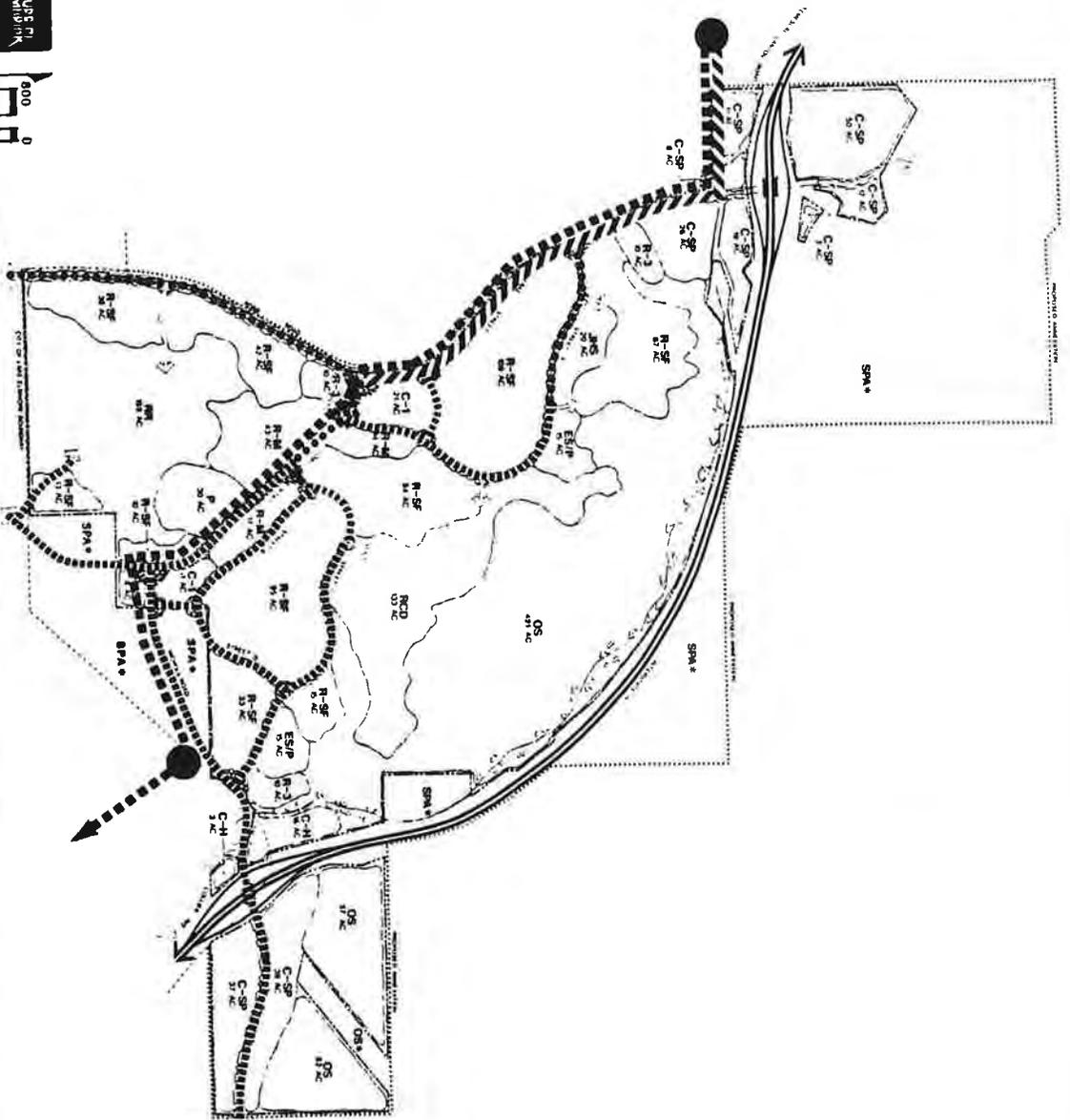
Peaking Factor = 1.77 Based on EVMWD Data (PF (ADF) .92)

PDF = 1.68 x 1.771 = 2.97 MGD

-
- 1 Estimated population assumes 3.0 persons per dwelling unit.
 - 2 ADF Average Daily Flow based on EVMWD criteria.
 - 3 The number of dwelling units for the SPA* area was estimated by using a density factor of 1.99 du/ac, as calculated in the Alberhill Ranch Specific Plan.

EXHIBIT 179
Sanitary Sewer System
 (Treatment At existing Plant)

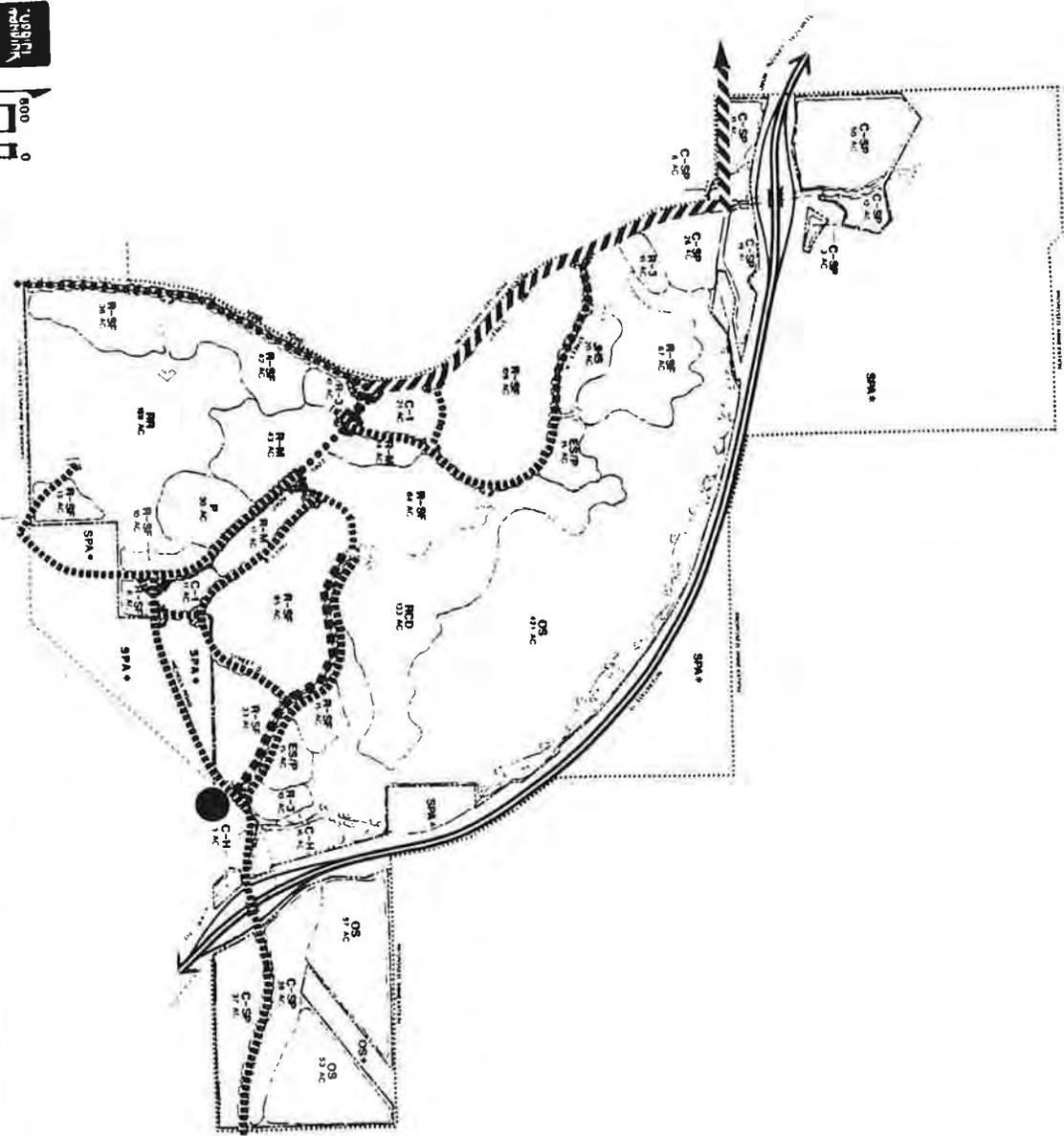
- Legend**
-  18" PROPOSED SEWER
 -  12" PROPOSED SEWER
 -  8" PROPOSED SEWER
 -  12" FORCE MAIN
 -  PROPOSED LIFT STATION



Alberhill Ranch
 LONG BEACH EQUIPMENT INC.

EXHIBIT 17A
Sanitary Sewer System
 (Treatment At Proposed Plant)

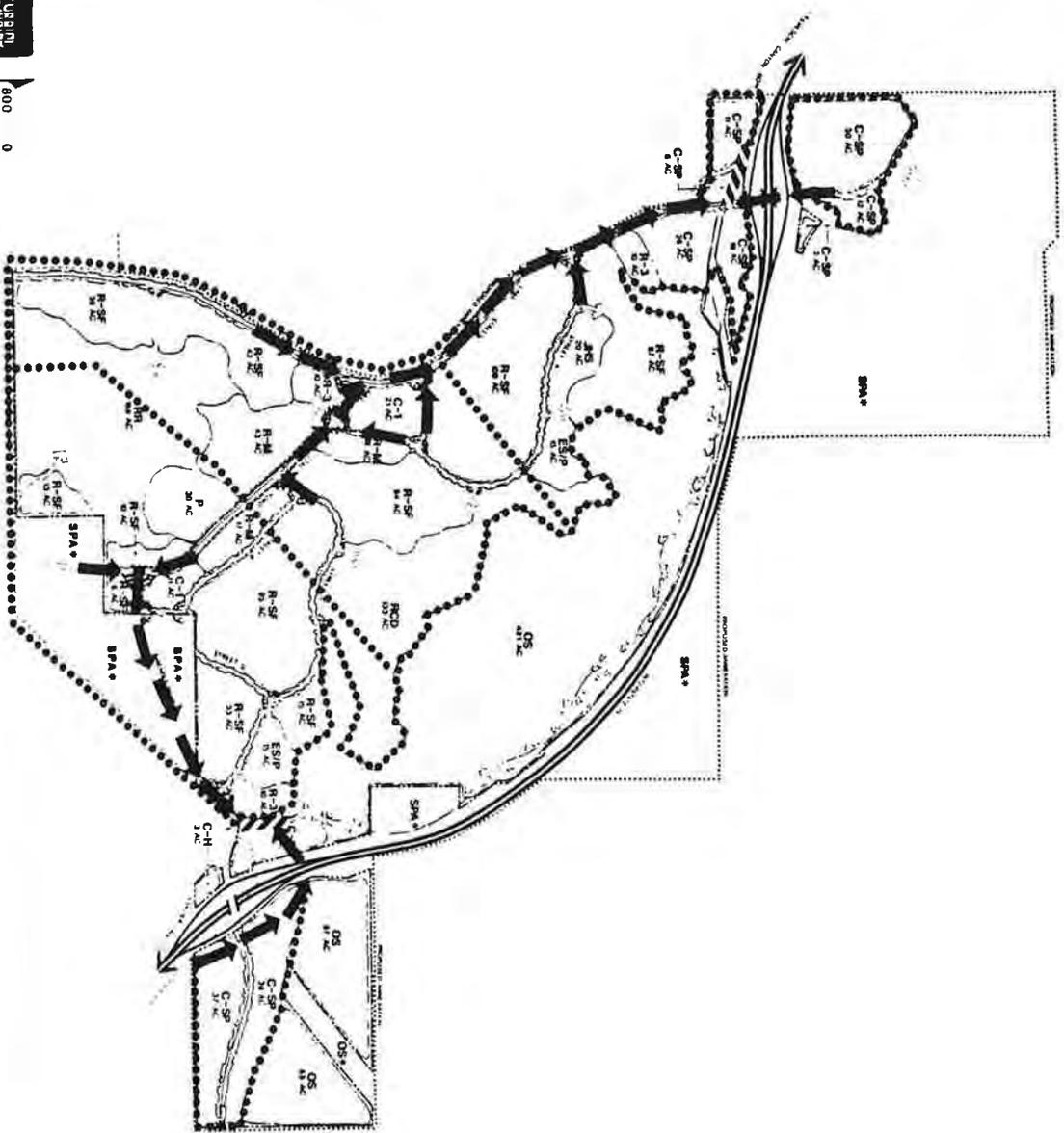
- Legend**
-  18" PROPOSED SEWER
 -  12" PROPOSED SEWER
 -  8" PROPOSED SEWER
 -  12" FORCE MAIN
 -  PROPOSED LIFT STATION



Alberhill Ranch
 LONG BEACH EQUITIES, INC.

EXHIBIT 1B
Drainage Facilities

- Legend**
-  R.C.P. STORM DRAIN
 -  CHANNEL IMPROVEMENTS
 -  DRAINAGE AREA WITHIN PROJECT SITE



D. OTHER UTILITIES

The extension of electrical, gas, telephone and cable television lines will be designed as each portion of the project develops. Specific easements for these facilities will be determined during the subdivision stage of development.

According to Southern California Edison Company representatives, a 12 KV underground line would be necessary to provide electrical service to the project site. The developer will be responsible for the cost of extending adequate power to the project site.

The Southern California Gas Company indicates that the existing lines on Lake Street and Robb Road are available for local service needs. The cost of extending gas service to the project area must be borne by the developer.

The General Telephone Company has advised that the existing facilities in the area are not adequate to service the project site and new lines are necessary.

GTE will design and pay for these lines, except for 200 feet of line next to each tract boundary. These costs will be the developers' responsibility.

King Videocable Company provides cable television service to the area. King Videocable will pay for the cost of installing the line, utilizing SCE trenches throughout the project area.

VII. PUBLIC FACILITIES

A. POLICE PROTECTION

The Riverside County Sheriff's Department will provide protection to the project area from the existing substation located at 177 South Langstaff Street in Lake Elsinore. Service will be provided on a response basis only.

B. FIRE PROTECTION

The County Fire Department assumes a standard of one substation per 2,000 residents of a service area. A fire substation may be required within the Alberhill Ranch Specific Plan to provide the necessary coverage. The substation would provide a response time within five minutes to any location in the project area. It is noted that a substation will be located within the Horsethief Canyon Specific Plan area approximately 1-1/2 miles west of this project. Fire protection for Alberhill Ranch may be provided from this location as well.

C. SCHOOLS

School sites have been provided in accordance with the Lake Elsinore and Elsinore Union High School District's criteria for sizing facilities. Estimated student generation from the project is summarized in Table 8.

TABLE 8
STUDENT GENERATION BY LAND USE
ALBERHILL RANCH SPECIFIC PLAN

<u>CATEGORY</u>	<u>LAND USE</u>	<u>DWELLING UNITS</u>	<u>STUDENT GENERATION</u>		<u>TOTAL</u>
			<u>K-6⁽¹⁾</u>	<u>7-12⁽²⁾</u>	
RR	Rural Residential	34	14	7	21
RCD	Single Family	399	160	80	240
R-SF	Single Family	1,960	784	392	1,176
R-M	Single Family	592	237	118	355
R-3	Multi-Family	<u>720</u>	<u>288</u>	<u>144</u>	<u>432</u>
	TOTAL	3,705	1,483	741	2,224

(1) 0.4 students/du, per Lake Elsinore School District criteria.

(2) 0.2 students/du, per Elsinore Union High School District criteria.

Lake Elsinore School District requires 10-acre sites for elementary schools. Maximum enrollment for school facilities is 600 students. Two elementary school sites have been designated within the project area in conjunction with park sites. Each of those two sites is 15 acres in size. It is expected that several acres of each site will be used for school district buildings and parking facilities. The remainder of the 15 acre site will be used for playgrounds, ballfields, and miscellaneous open space and recreational activities. To provide a maintenance cost savings to the School District, if they so agree, the 15 acre site, exclusive of School District buildings and parking facilities, will be dedicated to the City of Lake Elsinore for maintenance. Both sites will accommodate the facilities anticipated by the District.

The Elsinore Union High School District requires 20-acre sites for junior high school facilities. A 20-acre site is provided on "A" Street in the northcentral portion of the site.

D. PARKS

Park facility demand has been calculated based on the City of Lake Elsinore Resolution No. 85-34, requiring park dedication and/or payment of fees. Park dedication requirements are shown in Table 9 below.

TABLE 9
PARK DEDICATION REQUIREMENTS
ALBERHILL RANCH SPECIFIC PLAN

<u>CATEGORY</u>	<u>LAND USE</u>	<u>DWELLING UNITS</u>	<u>PERSONS/ DU(1)</u>	<u>TOTAL</u>
RR	Single Family	34	3.6	122
RCD	Single Family	399	3.6	1,437
R-SF	Single Family	1,960	3.6	7,056
R-M	Medium-Low	592	3.1	1,835
R-3	Apartment/Condo	<u>720</u>	1.8	<u>1,296</u>
	TOTAL	3,705		11,746

$$\text{Park Dedication Requirement} = \frac{11.846}{1,000} \times 5 \text{ acres} = 58.73 \text{ acres}$$

(1) Persons per dwelling unit factors per City Resolution No. 85-34, adopted May 28, 1985.

A total of 58.73 acres of parkland is required for Alberhill Ranch. Three park sites are shown in conjunction with elementary school sites north of Nichols Road and east of Lake Street, and one community park south of Coal Road.

VIII. SPECIFIC PLAN ZONING ORDINANCE

This chapter establishes zoning and land use development standards for each of the land uses planned within the Alberhill Ranch Specific Plan Project Area. In general, the zoning districts are based on the City of Lake Elsinore's Zoning Ordinance format, with modifications to standards as necessary to accommodate specific conditions relative to this Specific Plan.

Exhibit 14, Land Use Plan, depicts the zoning for the entire Alberhill Ranch Specific Plan. The permitted zoning districts include the following:

- * R-R: Rural Residential
- * R-SF: Single-Family Residential
- * RCD: Residential District, Constraint Designed
- * R-M: Medium Lot Single-Family Residential
- * R-3: High Density Residential
- * C-1: Neighborhood Commercial
- * C-H: Highway Commercial
- * C-SP: Commercial - Specific Plan
Public Facilities and Open Space District
(includes OS, JHS, ES/P, and P Zoning Designations)

At the time of drafting this Specific Plan Zoning Ordinance, Zones C-1, R-3, and RR are consistent with those City of Lake Elsinore zones, in all respects (i.e. permitted uses, and zoning standards). The remainder of the above listed zones were drafted specifically for the Alberhill Ranch Specific Plan, and vary from the existing zoning code.

The permitted uses, development regulations, and design standards of the designated zone shall apply to the appropriate project planning area, as shown on Exhibit 14.

In addition to this Specific Plan Zoning, which is adopted by Ordinance, this Specific Plan has set forth detailed Design Guidelines. The design guidelines comprise Chapter IX of this text. They specify criteria for such items as landscaping, site planning, architectural, grading, signage, etc. It is the purpose of those guidelines to augment the Specific Plan Zoning Ordinance. Other purposes of the design guidelines are stated below:

- * To provide the City of Lake Elsinore with the necessary assurance that the Specific Plan area will develop in accordance with the quality and character proposed herein;
- * To provide guidance to developers, builders, engineers, architects, landscape architects, and other professionals in order to maintain the desired design quality;

- * To provide guidance to City staff, the Planning Commission and the City Council in the review of future development projects in the Specific Plan area;
- * To provide guidance in the formulation of Covenants, Conditions and Restrictions for the use of land in the Specific Plan area; and
- * To provide guidance in the formulation of concise development guidelines for the various planning areas within the Specific Plan boundaries.

The Design Guidelines provided herein are intended to be adopted by resolution, rather than by ordinance. They are intended to be flexible and are therefore illustrative in nature. Over time, they can therefore respond to unanticipated conditions, such as changes in lifestyles, buyer's taste, economic conditions, community desires and the marketplace.

The overall zoning of the site is proposed to be in compliance with the Zoning Code of the City of Lake Elsinore regarding Specific Plans, Chapter 17.99 SPD Specific Plan District. Section 17.99.030, paragraph B states that, "The Specific Plan shall consist of a development plan and supplemental text material and is recognized as a guide to the developers and designers of land use plans for the property." The "development plan" for Alberhill Ranch is proposed to be Exhibit 14, Land Use Plan. The "supplemental text material" is proposed to be the text as contained within this document.

The proposed request is for the approval of a "Nonconditional" Specific Plan, in accordance to Section 17.99.060 of the City's Zoning Code. Nonconditional Specific Plan zoning is utilized when seeking concurrent approval of the Specific Plan documents and SP Zoning designation. Section 17.99.070 of the City's Zoning Code requires that residential, commercial, or industrial development intensity policy be established for each Specific Plan Zone concurrently with the approval of Specific Plan (SP) zoning. The Alberhill Ranch Specific Plan clearly should be classified as a Residential Specific Plan, because Section 17.99.070, paragraph A.1 states that, "A residential designation shall be made where residential uses within the Specific Plan Zone combine to comprise over fifty percent (50%) of the proposed land uses within the Specific Plan Zone." A review of the Land Use Plan (Exhibit 14) shows that 896 acres of land are to be developed with residential uses, while only 254 acres are to be developed with commercial uses. Comparatively, expressed as a percentage, 78 percent of the land will be developed with residential uses, and approximately 22 percent of the land will be developed with commercial land uses. (Other land uses such as open space, Junior High School, etc. were not considered in this analysis.)

From the above analyses, the following conclusions can be drawn:

1. Zoning of the site, as designated on the City's Zoning Map will be SPD, with a density designation of 2.0 du/ac.
2. Nonconditional Specific Plan Zoning is being requested.
3. The establishment of Residential Intensity Policy is being requested.

"R-R: RURAL RESIDENTIAL DISTRICT"

Purpose. The "R-R" District provides an opportunity to set aside areas of the City for single-family residential development in accordance with the General Plan designation of "Very Low Density Residential" for those persons who wish to reside in a truly rural setting. The District also makes provision for compatible commercial uses which are land intensive and are normally with a non-urban environment. All uses however, shall be designed to be environmentally sensitive in order to minimize the impact of encroachment of development into the countryside and to maintain the region's scenic characteristics.

Permitted Uses. Uses permitted in this district shall include those uses listed below when developed in compliance with the purpose and intent of this chapter. Each use shall be evaluated in terms of its design characteristics and specific site location pursuant to the provisions of Chapter 17.82 of the Zoning Ordinance.

- A. Single-family detached dwelling units; one dwelling unit per lot.
- B. Accessory uses and structures pursuant to Section 17.19.40 of Chapter 17.19 of the Zoning Ordinance.
- C. Day care and residential care facilities pursuant to Chapter 17.16 of the Zoning Ordinance.
- D. Public utility distribution and transmissions facilities excluding private radio, television, and paging antenna and towers.
- E. Government buildings and service facilities.
- F. Public parks, playgrounds, community centers and recreation buildings.
- G. Structures and installations necessary to the conservation and development of water resources and/or the control of flooding.
- H. Manufactured houses in compliance with the provisions of Chapter 17.14 of the Zoning Ordinance.

Uses Subject to a Conditional Use Permit. It is recognized that certain uses, while similar in characteristics to the "Permitted Uses" above, may have the potential to impact surrounding properties and therefore require additional approval and consideration. Such uses to be permitted in the R-R District shall

require a Use Permit pursuant to Chapter 17.74 of the Zoning Ordinance and shall include the following:

- A. Archery ranges.
- B. Cemeteries.
- C. Country Clubs.
- D. Fishing lakes.
- E. Fruit and vegetable stands.
- F. Golf courses and driving ranges.
- G. Guest ranches.
- H. Hunting clubs.
- I. Large family day care homes in compliance with the provisions of Chapter 17.16 of the Zoning Ordinance.
- J. Keeping of exotic animals on the same lot as a permitted dwelling for pets only and not for commercial purposes; The Planning Commission shall impose adequate limitations to assure that the residential character of the property and neighborhood are maintained.
- K. Kennels.
- L. Nurseries and garden supply stores.
- M. Recreational vehicle parks.
- N. Riding academies and commercial stables.
- O. Rifle, pistol, skeet or trapshooting ranges.
- P. Swimming, tennis, and polo clubs.
- Q. Second unit in compliance with the provisions of Chapter 17.17 of the Zoning Ordinance.
- R. Trailer and boat storage lots.

Accessory Uses. The following accessory buildings and uses may be located on the same lot with a permitted dwelling, provided that they remain clearly incidental and secondary to the primary permitted use, are found to be compatible with the residential character of the neighborhood, and that any buildings or structures be harmonious with the architectural style of the main building.

A. USES:

1. Home occupations; subject to the completion and approval of an application for a home occupation issued by the Planning Division and compliance with the provisions of Chapter 17.15 of the Zoning Ordinance.
2. Non-commercial hobbies.
3. Keeping of household pets (when no commercial activity is involved). For the purpose of this ordinance, a household pet is an animal clearly considered customary to a residential use, e.g. dogs, cats, birds, and fish, but excluding livestock. Said pets shall be limited to a maximum of six (6) weaned dogs and/or cats.

4. Keeping of the following additional animals subject to the provisions of "Animals", below:
 - a. Equine, bovine or swine.
 - b. Sheep and goats.
 - c. Chickens, rabbits, and similar small animals.

B. STRUCTURES:

1. Group I

Sheds, children's playhouses, and similar enclosures of less than 120 square feet provided they do not exceed a maximum height of six and one-half (6-1/2) feet. Such structures may be located on property line provided the design of the structure complies with the City's Fire and Building Codes.

2. Group II

Unenclosed structures such as non-commercial stables, corrals, and appurtenant facilities for the keeping of animals, carports, gazebos, and patio covers (both trellis-type and solid) as well as detached enclosed structures not included in Group I but containing less than 600 square feet of floor area such as sheds, cabanas, children's playhouses, and work shops, provided they do not exceed a maximum height of fifteen (15) feet and are located no closer than five (5) feet to a property, or ten (10) feet to a rear property line. Attached, enclosed structures in this category, such as garages and enclosed patios, shall be located no closer to a property line than the setback prescribed for the main dwelling unit.

3. Group III

Garages, stables, enclosed patios, workshops, cabanas, and similar enclosed structures containing 600 or more square feet of floor area, provided they are located no closer than twenty (20) feet to a public right-of-way or trail and no closer than ten (10) feet to any other property line.

4. Group IV

- a. Antennas, satellite dishes, and similar devices; subject to compliance with the provisions of Chapter 17.67 of the Zoning Ordinance.

- b. Swimming pools, jacuzzis, spas, and associated equipment; provided they may be permitted only within rear yard areas or the enclosed portion of a side yard. Pool equipment located within ten (10) feet of a property line shall be separated from the adjacent property by a minimum six (6) foot high masonry wall. Otherwise there shall be no required setback provided the design and installation complies with the City's Building Codes.
- c. Trellis-type patio covers may be located in a front yard area but shall encroach not more than twenty (20) feet into the required setback.

Lot Area. The minimum lot area for any new lot created in the R-R District shall be two (2) acres.

Street Frontage Width. The minimum street frontage width for any new lot created in the R-R District shall be as follows:

- A. Standard Lots: 160 feet.
- B. Cul-de-sac Lots: Seventy (70) feet; provided the average width is 160 feet.

Setbacks. The following minimum standards shall apply to all new construction within the R-R District:

- A. Front Yard: Thirty (30) feet.
- B. Side Yard:
 - 1. Main Dwelling Unit: Adjacent to an interior lot line there shall be minimum side yard of twenty (20) feet. Adjacent to a public right-of-way there shall be thirty (30) feet.
 - 2. Accessory Structures: In the rear one-half of the lot, as specified in Accessory Uses, otherwise the same as required for the main dwelling unit with the exception that where straight-in entry garage gains access via the site yard, the setback shall be twenty-two (22) feet.

C. Rear Yard:

1. Main Dwelling Units: Fifty (50) feet.
2. As specified in "Accessory Uses" in this District, with the exception that where straight-in entry garage gains access via rear yard, the setback shall be twenty-two (22) feet.

Lot Coverage. The maximum lot coverage in the R-R District shall be twenty (20%) percent.

Building Height. Except as otherwise provided for accessory structures, the maximum building height in the R-R District shall be thirty (30) feet.

Minimum Dwelling Unit Size. The minimum dwelling unit size within the R-R District shall be 1,400 square feet exclusive of garage area.

Animals. The keeping of animals as permitted as an accessory use herein on the same lot with a permitted use shall be permitted subject to compliance with the provisions of Section 17.20.120 in the "R-A" District as contained in the Zoning Ordinance, with the exception that the minimum lot area required to maintain said animals shall be one (1) net acre.

Parking. The provisions of Chapter 17.66 of the Zoning Ordinance shall be used to determine the required parking for development in the R-R District.

Signs. The provisions of Chapter 17.94 of the Zoning Ordinance shall be used to determine signs in the R-R District.

Design Review. No building permits shall be issued for the construction of any building or structure in the R-R District until the applicant has obtained Design Review approval pursuant to the provisions of Chapter 17.82 of the Zoning Ordinance. The following exemptions shall apply:

- A. Additions or alterations to an existing structure which do not change the use from one permitted in the District and which does not increase the floor area by more than 50%.
- B. Group I, II and IV accessory structures.
- C. Fences and walls.

Although the above exempted structures do not need formal Design Review approval, their proposed location and design must still be approved by the Director of Community Development or his designee prior to construction or installation.

Design Standards. Chapter 17.14 of the Zoning Ordinance contains residential development standards applicable to all projects within the city regardless of zoning district. It is therefore important that the provisions of Chapter 17.14 of the Zoning Ordinance be considered together with the regulations contained herein for the R-R District.

EXHIBIT 19
RURAL RESIDENTIAL SUMMARY

Minimum Lot Size: 2 acres

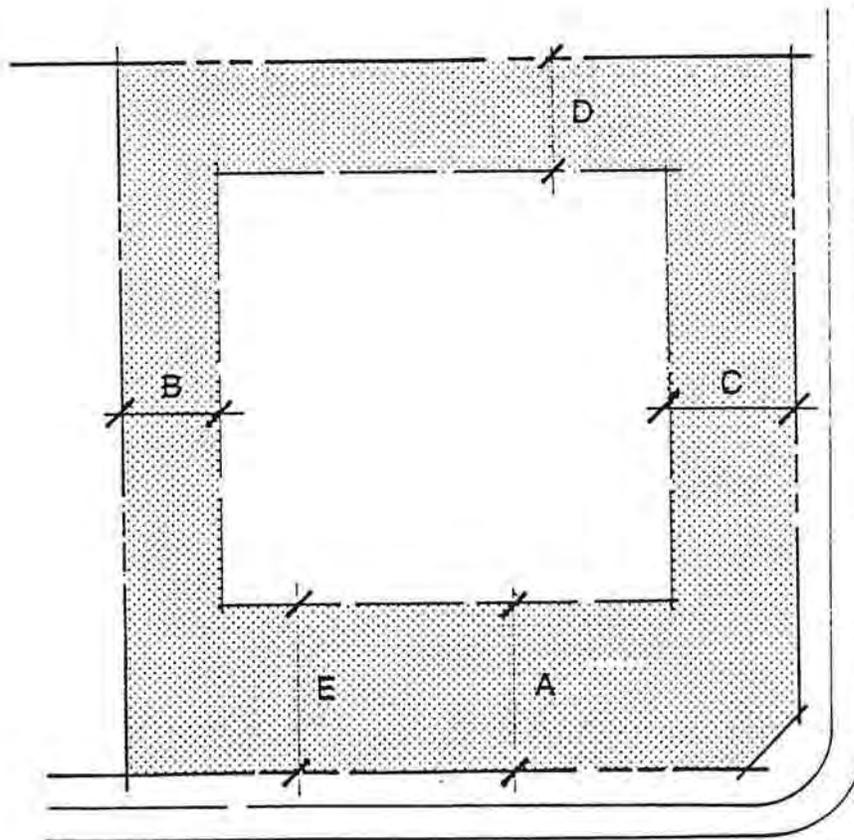
Building Setbacks:

A.	Front Yard:	30 ft.
B.	Interior Side Yard:	20 ft.
C.	Exterior Side Yard:	30 ft.
D.	Rear Yard:	50 ft.
E.	Garage:	22 ft.

Street Frontage Width:

Standard Lots: 160 ft.

Knuckles & Cul-de-sacs: 70 ft.; provided the average width is 160 ft.



"R-SF: SINGLE-FAMILY RESIDENTIAL DISTRICT"

Purpose. The R-SF District is intended to accommodate low density projects comprised of quality single-family residences developed in an urban environment with available public services and infrastructure. The R-SF District is not however, intended for hillside development.

Permitted Uses. Uses permitted in this district shall include those uses listed below when developed in compliance with the purpose and intent of this chapter. Each use shall be evaluated in terms of its design characteristics and specific site location pursuant to the provisions of Chapter 17.82, Design Review, of the Zoning Ordinance.

- A. Single-family detached dwelling units; one dwelling unit per lot.
- B. Accessory uses and structures pursuant to "Accessory Uses and Structures", below.
- C. Small family day care and residential care facilities pursuant to Chapter 17.16 of the Zoning Ordinance.
- D. Public utility distribution and transmission facilities excluding private radio, television, and paging antenna and towers.
- E. Government buildings and service facilities.
- F. Public parks, playgrounds, community centers, recreation buildings, elementary, junior high and high schools.
- G. Manufactured houses in compliance with the provisions of Chapter 17.14 of the Zoning Ordinance.

Uses Subject to a Conditional Use Permit. It is recognized that certain uses while similar in characteristics to the above Permitted Uses may have the potential to impact surrounding properties and therefore require additional approval and consideration.

Uses permitted subject to approval of a use permit, pursuant to Chapter 17.74 of the Zoning Ordinance, in the R-SF District shall be as follows:

- A. Two, three, or four detached single-family dwellings on a single lot subject to the following:

1. The property is presently zoned for single-family dwellings.
 2. The Director of Community Development has determined that the property cannot be subdivided to comply with established lot dimension and street frontage criteria.
 3. There is lot area equivalent to 7,260 square feet per dwelling unit exclusive of any required drive aisles or access easements.
- B. Large family day care homes in compliance with the provisions of Chapter 17.16 of the Zoning Ordinance.
 - C. Second units in compliance with the provisions of Chapter 17.17 of the Zoning Ordinance.
 - D. Keeping of exotic animals or birds, or more than three (3) dogs and/or cats, on the same lot as a permitted dwelling for pets only and not for commercial purposes. The Planning Commission shall impose adequate limitations to assure that the residential character of the property and neighborhood are maintained.
 - E. Churches, located on a site a minimum of one (1) acre in size and located on streets designated as arterial streets or collector streets. Parochial schools shall require a separate use permit. Churches shall not otherwise be permitted in the R-SF District.
 - F. Horticultural uses, including growing of fruit, nuts, vegetables, and ornamental plants for commercial purposes.
 - G. Parochial or private preschools, elementary, junior high or high schools.

Accessory Uses and Structures. The following accessory buildings and uses may be located on the same lot with a permitted dwelling, provided that they are found to be compatible with the residential character of the neighborhood and that any buildings or structures be harmonious with the architectural style of the main building. With the exception of open trellis-type patio covers and detached garages, all accessory buildings and/or structures shall be located only in rear one half of the lot.

A. USES:

1. Home occupations; subject to the completion and approval of an application for a home occupation issued by the Planning Division and compliance with the provisions of Chapter 17.15 of the Zoning Ordinance.

2. Non-commercial hobbies.
3. Keeping of household pets (when no commercial activity is involved). For the purpose of this ordinance, a household pet is an animal clearly considered customary to a residential use, e.g. dogs, cats, birds, and fish. Said pets shall be limited to a maximum of three (3) weaned dogs and/or cats. Birds shall be permitted only inside the main dwelling unit, unless a use permit is obtained.

B. STRUCTURES:

1. Group I

Sheds, children's playhouses, and similar enclosures of less than 120 square feet provided they do not exceed a maximum height of six and one-half (6-1/2) feet. Such structures may be located on property line provided the design of the structure complies with the City's Fire and Building Code.

2. Group II

Unenclosed structures such as carports, gazebos, and patio covers (both trellis-type and solid) as well as detached enclosed structures not included in Group I, but containing less than 600 square feet of floor area such as sheds, children's playhouses and workshops, provided they do not exceed a maximum height of fifteen (15) feet and are located no closer than five (5) feet to a side property line, or ten (10) feet to a rear property line. Attached, enclosed structures in this category shall be located no closer to a property line than the setback prescribed for the main dwelling unit.

3. Group III

Garages, enclosed patios, workshops, cabanas, and similar enclosed structures containing 600 or more square feet of floor area provided they are located no closer to a property line than the setback prescribed for the main dwelling unit, except that straight-in entry garages may be required a greater setback.

4. Group IV

- a. Antennas; subject to compliance with the provisions of Chapter 17.67 of the Zoning Ordinance.

- b. Swimming pools, jacuzzis, spas, and associated equipment; provided they may be permitted only within rear yard areas or the enclosed portion of a side yard. Pool equipment located within ten (10) feet of a property line shall be separated from the adjacent property by a minimum six (6) foot high masonry wall. Otherwise there shall be no required setback provided the design and installation complies with the City's Building Codes.
- c. Open trellis-type patio covers may be located in a front yard area but shall not encroach more than five (5) feet into the required setback.

Lot Area. The minimum lot area for any new lot created in the R-SF District shall be as follows:

- A. Interior Lots: 6,000 square feet, however, the average lot size for any subdivision shall be a minimum of 7,260 square feet.
- B. Corner Lots: 7,700 square feet.
- C. Provided further that the minimum lot area for any new lot created in the R-SF District may be reduced as follows, subject to a Conditional Use Permit per Chapter 17.74 of the Zoning Ordinance:
 - 1. Interior Lots: 5,500 square feet, however, the average lot size for any subdivision shall be a minimum of 6,000 square feet.
 - 2. Corner Lots: 6,500 square feet.
- D. Exception: Whenever a lot is adjacent to a lower density zoning district or to an existing developed parcel with a larger lot size than required in the R-SF District, a transition or buffer shall be provided between the adjacent property and a new subdivision, which may include, but is not limited to, lot size, lot width, lot depth, increased setbacks, or slopes. The purpose of this transition shall be to minimize the disparity between different densities of development. The adequacy of this transition shall be subject to the review and approval of the Planning Commission and City Council on a case-by-case basis.

- E. In the implementation of Paragraph D, any change in a lot size which would leave the lot at a size at least seventy-five (75%) percent the size of the largest adjacent developed lot will be presumed appropriate, absent unusual circumstances. Any application to change a lot to a size lower than said seventy-five (75%) percent standard will be permitted only upon a showing of good cause. It is the intent of this paragraph to set a standard but also to allow flexibility.

Street Frontage Width for Average 7,260 Square Foot Lot. The minimum street frontage width for any new lot created in the R-SF District shall be as follows:

- A. Standard Interior Lots: Sixty (60) feet.
- B. Corner Lots: Sixty-five (65) feet.
- C. Knuckles and Cul-de-sac Lots: Thirty-five (35) feet; provided the average width is sixty (60) feet.
- D. Flag Lots: Minimum twenty-five (25) feet; provided that the average width of the principal portion of the lot is sixty (60) feet.

Street Frontage Width for Conditional Use Permit for Average 6,000 Square Foot Lot. The minimum street frontage width for any new lot created in the R-SF District shall be as follows:

- A. Standard Interior Lots: Fifty-five (55) feet.
- B. Corner Lots: Sixty (60) feet.
- C. Knuckles and Cul-de-sac Lots: Thirty-five (35) feet; provided the average width is fifty-five (55) feet.
- D. Flag Lots: Minimum twenty-five (25) feet; provided that the average width of the principal portion of the lot is fifty-five (55) feet.

Setbacks. The following minimum standards shall apply to all new construction within the R-SF District:

A. Front Yard:

1. Main Dwelling Unit: Twenty (20) feet.

2. Garage: Twenty (20) feet; provided however, that turn-in entry garages may encroach to within fifteen (15) feet of the front property line.

B. Side Yard:

1. Main Dwelling Unit: Adjacent to an interior lot line there shall be minimum side yard of five (5) feet. Adjacent to a public right-of-way there shall be fifteen (15) feet.
2. Accessory Structures: In the rear one-half of the lot, as specified in "Accessory Uses and Structures" per this District, otherwise the same as required for the main dwelling unit with the exception that where straight-in entry garage gains access via the site yard, the setback shall be twenty-two (22) feet.
3. Finished slopes exceeding five percent (5%) shall not be permitted within five (5) feet of the main dwelling unit.

C. Rear Yard:

1. Main Dwelling Units: Twenty (20) feet.
2. Accessory Structures: As specified in "Accessory Uses and Structures" in this District, with the exception that where straight-in entry garage gains access via rear yard, the setback shall be twenty-two (22) feet.
3. Finished slopes in excess of five percent (5%) shall not be permitted within fifteen (15) feet of the main dwelling unit.

Lot Coverage. The maximum lot coverage in the R-SF District shall be thirty-five (35) percent.

Building Height. No building or structure shall exceed a building height in the R-SF District of thirty (30) feet. For the purposes of this Chapter, in all cases of split levels, no

vertical section through the building shall measure more than thirty (30) feet.

Minimum Dwelling Unit Size. The minimum dwelling unit size within the R-SF District shall be 1,000 square feet exclusive of garage area, provided that at least 20% of the total number of units within any phase shall exceed the minimum square footage by 15%.

Parking. The provisions of Chapter 17.66 of the Zoning Ordinance shall be used to determine the required parking for development in the R-SF District.

Signs. The provisions of Chapter 17.94 of the Zoning Ordinance shall be used to determine permitted signs in the R-SF District.

Design Review. No building permits shall be issued for the construction of any building or structure in the R-SF District until the applicant has obtained Design Review approval pursuant to the provisions of Chapter 17.82, Design Review, of the Zoning Ordinance. The following exemptions shall apply.

- A. Additions or alterations to an existing structure which do not change the use from one permitted in the District and s which does not increase the floor area by more than 50%.
- B. Group I, II, and IV accessory structures.
- C. Fences and Walls.

Although, the above exempted structures do not need formal Design Review approval, their proposed location and design must be approved by the Director of Community Development or his designee prior to construction or installation.

Design Standards. Chapter 17.14 of the Zoning Ordinance contains residential development standards applicable to all projects within the city regardless of zoning district. It is therefore important that the provisions of Chapter 17.14 of the Zoning Ordinance be considered together with the regulations contained herein for the R-SF District.

EXHIBIT 20
SINGLE FAMILY RESIDENTIAL (R-SF) SUMMARY

Minimum Lot Size:

Interior Lots: 6,000 sq. ft., 5,500 sq. ft. subject to Conditional Use Permit (CUP) minimum; 7,260 sq. ft., 6,000 sq. ft. (CUP) average.
Corner Lots: 7,700 sq. ft., 6,500 sq. ft. (CUP)

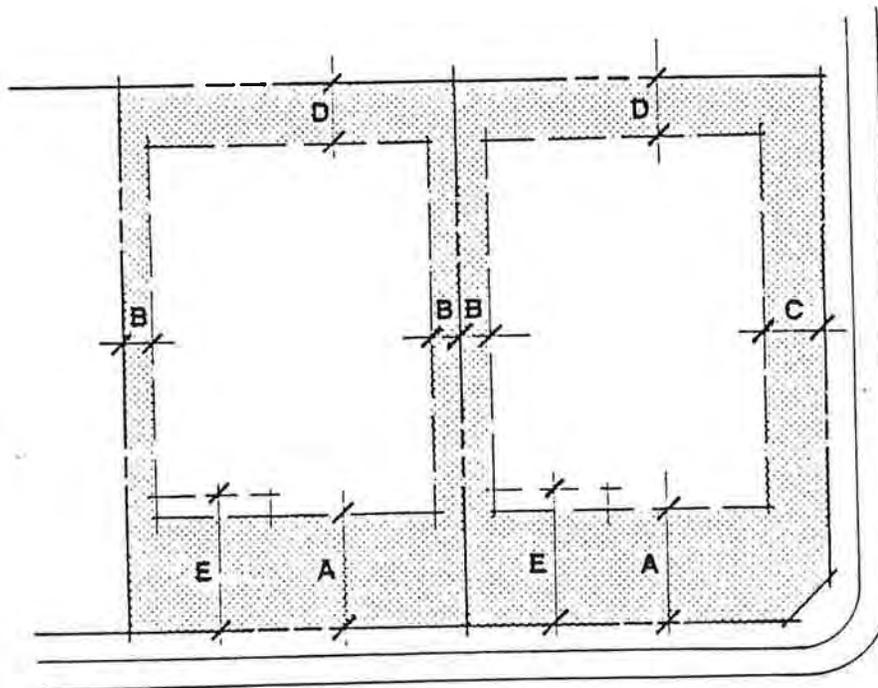
Building Setbacks:

A. Front Yard: 20 ft.
B. Interior Side Yard: 5 ft.
C. Exterior Side Yard: 15 ft.
D. Rear Yard: 20 ft.
E. Garage: 20 ft.; 15 ft. if side-loaded.

Street Frontage Width:

Interior Lots: 60 ft., 55 ft. (CUP)
Corner Lots: 65 ft., 60 ft. (CUP)
Knuckles & Cul-de-sacs: 35 ft; provided average width is 60 ft., 55 ft. (CUP)
Flag Lots: 25 ft. minimum; provided average width is 60 ft., 55 ft. (CUP)

Slopes: A usable rear yard of at least fifteen (15) feet from building to slope shall be provided. In addition, a usable side yard of at least five (5) feet from building to slope shall be provided.



"RCD: RESIDENTIAL DISTRICT - CONSTRAINT DESIGNED"

Purpose. The "RCD" District is intended to encourage design solutions which minimize grading and maximize preservation of the natural hillside topography. This may be accomplished by clustering dwelling units in natural topography. Both conventional and Planned Residential Development projects are permitted. Maximum densities of 6 du/ac on a net basis and 3 du/ac on an overall basis are allowed. Limited application of reduced road width standards for local streets and common walls are also allowed. In addition, all uses shall be designed to be environmentally sensitive in order to minimize the impact of encroachment of development into hillside areas and to maintain the region's scenic characteristics.

Permitted Uses. Uses permitted in this district shall include those uses listed below when developed in compliance with the purpose and intent of this chapter. Each use shall be evaluated in terms of its design characteristics and specific site location pursuant to the provisions of Chapter 17.82 of the Zoning Ordinance.

- A. Single-family detached dwelling units; one dwelling unit per lot.
- B. Accessory uses and structures pursuant to Section 17.19.40 of Chapter 17.19 of the Zoning Ordinance.
- C. Small family day care and residential care facilities pursuant to Chapter 17.16 of the Zoning Ordinance.
- D. Public utility distribution and transmissions facilities excluding private radio, television, and paging antenna and towers.
- E. Government buildings and service facilities.
- F. Public parks, playgrounds, community centers and recreation buildings.
- G. Manufactured houses in compliance with the provisions of Chapter 17.14 of the Zoning Ordinance.
- H. Planned Residential Developments (PRD). For the purposes of this section, a Planned Residential Development is "any development to be constructed by a person or corporate body, involving a variety of residential designs, planned as a total entity, and subject to approval, development regulation, and maintenance as comprehensive land use plan". Single Family attached and multi-family dwelling units will be permitted within this zone, only as a PRD.

Uses Subject to a Conditional Use Permit. It is recognized that certain uses while similar in characteristics to the Permitted Uses, above, in the "RCD" District may have the potential to impact surrounding properties and therefore require additional approval and consideration. Such uses to be permitted in the RCD District shall require a Use Permit pursuant to Chapter 17.74 of the Zoning Ordinance and shall include the following:

- A. Archery ranges.
- B. Cemeteries.
- C. Country Clubs.
- D. Fishing lakes.
- E. Fruit and vegetable stands.
- F. Golf courses and driving ranges.
- G. Guest ranches.
- H. Keeping of exotic animals on the same lot as a permitted dwelling for pets only and not for commercial purposes; The Planning Commission shall impose adequate limitations to assure that the residential character of the property and neighborhood are maintained.
- I. Nurseries and garden supply stores.
- J. Swimming, tennis, and polo clubs.
- K. Second unit in compliance with the provisions of Chapter 17.17 of the Zoning Ordinance.

Accessory Uses. The following accessory buildings and uses may be located on the same lot with a permitted dwelling, provided that they remain clearly incidental and secondary to the primary permitted use, are found to be compatible with the residential character of the neighborhood, and that any buildings or structures be harmonious with the architectural style of the main building.

A. USES:

- 1. Home occupations; subject to the completion and approval of an application for a home occupation issued by the Planning Division and compliance with the provisions of Chapter 17.15 of the Zoning Ordinance.
- 2. Non-commercial hobbies.
- 3. Keeping of household pets (when no commercial activity is involved). For the purpose of this ordinance, a household pet is an animal clearly considered customary to a residential use, e.g. dogs, cats, birds, and fish, but excluding livestock. Said pets shall be limited to a maximum of six (6) weaned dogs and/or cats.

B. STRUCTURES:

1. Group I

Sheds, children's playhouses, and similar enclosures of less than 120 square feet provided they do not exceed a maximum height of six and one-half (6-1/2) feet. Such structures may be located on property line provided the design of the structure complies with the City's Fire and Building Codes.

2. Group II

Unenclosed structures such as non-commercial stables, corrals, and appurtenant facilities for the keeping of animals, carports, gazebos, and patio covers (both trellis-type and solid) as well as detached enclosed structures not included in Group I but containing less than 600 square feet of floor area such as sheds, cabanas, children's playhouses, and work shops, provided they do not exceed a maximum height of fifteen (15) feet and are located no closer than five (5) feet to a property, or ten (10) feet to a rear property line. Attached, enclosed structures in this category, such as garages and enclosed patios, shall be located no closer to a property line than the setback prescribed for the main dwelling unit.

3. Group III

Garages, stables, enclosed patios, workshops, cabanas, and similar enclosed structures containing 600 or more square feet of floor area, provided they are located no closer than twenty (20) feet to a public right-of-way or trail and no closer than ten (10) feet to any other property line.

4. Group IV

- a. Antennas, satellite dishes, and similar devices; subject to compliance with the provisions of Chapter 17.67 of the Zoning Ordinance.
- b. Swimming pools, jacuzzis, spas, and associated equipment; provided they may be permitted only within rear yard areas or the enclosed portion of a side yard. Pool equipment located within ten (10) feet of a property line shall be separated from the adjacent property by a minimum six (6) foot high masonry wall. Otherwise there shall be no required setback provided the design and

installation complies with the City's Building Codes.

- c. Trellis-type patio covers may be located in a front yard area but shall encroach not more than twenty (20) feet into the required setback.

Lot Area. The minimum lot area for any new lot created in the RCD District shall be as follows:

- A. Interior lots: 6,000 square feet, however, the average lot size for any subdivision shall be a minimum of 7,260 square feet.
- B. Corner lots: 7,700 square feet.
- C. Exception: Whenever a lot is adjacent to a lower density zoning district or to an existing developed parcel with a larger lot size than required in the RCD District, a transition or buffer shall be provided between the adjacent property and a new subdivision, which may include, but is not limited to, lot size, lot width, lot depth, increased setbacks, or slopes. The purpose of this transition shall be to minimize the disparity between different densities of development. The adequacy of this transition shall be subject to the review and approval of the Planning Commission and City Council on a case-by-case basis.

Lot Area Per Dwelling Unit. The minimum lot area required for each dwelling unit in the "RCD" District shall be 6,000 square feet of net lot area per unit. To determine the maximum number of units that may be constructed on a given property, divide the total net lot area by the square footage required for the type of product. The resultant number should be rounded down to the nearest whole number.

Street Frontage Width. The minimum street frontage width for any new lot created in the RCD District shall be as follows:

- A. Standard Lots: Sixty (60) feet.
- B. Corner Lots: Sixty-five (65) feet.
- C. Cul-de-sac and Knuckle Lots: Minimum thirty-five (35) feet; provided the average width is sixty (60) feet.

- D. Flag Lots: Twenty-five (25) feet; provided the average width of the principal portion of the lot is sixty (60) feet.

Setbacks. The following minimum standards shall apply to all new construction within the RCD District:

A. Single-Family Detached Residential:

1. Front Yard:

- a. Main dwelling unit: Twenty (20) feet.
- b. Garage: Twenty (20) feet; provided, however, that turn-in entry garages may encroach to within fifteen (15) feet of the front property line. Provided further, that if the City Engineer determines that no hazard to pedestrian or vehicular traffic will be created, a garage or carport may be built to within five (5) feet of the street right-of-way line, if the front half of the lot or building site slopes up or down from the established street grade at a slope graded one (1) foot for each five (5) feet horizontal distance.

2. Side Yard:

- a. Main Dwelling Unit: Adjacent to an interior lot line there shall be minimum side yard of five (5) feet, exclusive of slopes with gradients exceeding five (5%) percent. Adjacent to a public right-of-way there shall be fifteen (15) feet; provided that in such cases, the side yard may include slopes with gradients not to exceed twenty-five (25%) percent.
- b. Accessory Structures: In the rear one-half of the lot, as specified in Accessory Uses, otherwise the same as required for the main dwelling unit with the exception that where straight-in entry garage gains access via the site yard, the setback shall be twenty (20) feet.
- c. If the City Engineer determines that no hazard to pedestrian or vehicular traffic will be created, a garage or carport may be built to within five (5) feet of the street right-of-way line, if the front half of the lot or building site slopes up or down from the established street grade at a slope graded one (1) foot for each five (5) feet horizontal distance.

3. Rear Yard:

- a. Main Dwelling Units: A usable rear yard of at least fifteen (15) feet from building to slope shall be provided. For the purposes of this section, "usable" is defined as having a gradient not exceeding that of the balance of the building pad, or five (5%) percent, whichever is the lesser.
- b. As specified in Section 17.19.040 in Chapter 17.19 of the Zoning Ordinance with the exception that where straight-in entry garage gains access via rear yard, the setback shall be twenty (20) feet.
- c. Balconies or decks with a minimum dimension of six (6) feet and equal to twenty (20%) percent of the dwelling area may be provided in lieu of the rear yard area for main dwelling units required above.
- d. If the City Engineer determines that no hazard to pedestrian or vehicular traffic will be created, a garage or carport may be built to within five (5) feet of the street right-of-way line, if the front half of the lot or building site slopes up or down from the established street grade at a slope graded one (1) foot for each five (5) feet horizontal distance.

B. Multi-Family and Attached Single-Family Residential: For townhomes and attached single-family units, the following building setbacks shall apply:

1. The minimum distance between any building and a Collector Street shall be no less than thirty (30) feet.
2. The minimum distance between any building and a private or public street other than a Collector Street shall be twenty (20) feet.
3. The minimum distance between any building and an interior property line shall be twenty (20) feet.
4. The minimum distance between any main building and a garage or carport or surface parking shall be ten (10) feet.

Separation Between Buildings. The minimum required separation between main buildings shall be ten (10) feet for any buildings located on the same site or group of sites.

Lot Coverage. The maximum lot coverage in the RCD District shall be forty (40%) percent.

Building Height. Except as otherwise provided for accessory structures, above, or in "Building Height on Sloping Lots", below, the maximum building height in the RCD District shall be thirty (30) feet. For the purposes of this Chapter, in the case of split levels no vertical section through the building shall measure more than thirty (30) feet.

Building Height on Sloping Lots. If the average slope of the land on which a building is situated is greater than one (1) foot rise of fall per five (5) feet of horizontal distance, the height of the building may be forty (40) feet when measured from the downhill side of the building.

Minimum Dwelling Unit Size. The minimum dwelling unit size within the RCD District shall be 1,000 square feet exclusive of garage area, provided that at least twenty (20%) percent of the total number of units within any phase shall exceed the minimum square footage by fifteen (15%) percent.

Landscaping.

- A. A landscaping plan consistent with the standards set forth herein shall be submitted to the Planning Director for review and approval. Failure to irrigate and maintain landscaping according to these approved plans shall be in violation of this Code.
- b. Landscaping shall emphasize the use and management of native plants. Care should be taken in plan selection and maintenance to avoid plants of high flammability either due to their intrinsic quality or the cumulative effect of dense planting especially in proximity to structures.
- C. All native vegetation on property will be allowed to remain. If trees or ground cover are added they shall conform to the following requirements:
 1. All ground cover within ten (10) feet of the structure shall not be more than three (3) feet in height.
 2. Beyond this distance landscaping will be allowed to increase two (2) feet in height for each additional linear foot beyond the ten (10) foot boundary line established in this subsection.

D. Trees and nonnative evergreen shrubs shall not be within ten feet of chimneys and should not otherwise present unusual fire hazards.

Grading. Grading requirements shall be those referenced in the most recently adopted grading ordinance and attached diagram.

Streets. Street development standards shall be those referenced in the land division ordinance and attached diagram.

The City Engineer may impose special design considerations upon streets due to health and safety, geologic, hydrologic, road maintenance, or other reasons which may adversely affect the project. Appeal of City Engineer's requirement shall go directly to the city council.

Animals. The keeping of animals as permitted as an accessory use herein on the same lot with a permitted use shall be permitted subject to compliance with the provisions of Section 17.20.120 of the "R-A" District as contained in the Zoning Ordinance, with the exception that the minimum lot area required to maintain said animals shall be one (1) net acre.

Storage. A storage space of eighty-five (85) cubic feet with a minimum dimension of three (3) feet shall be provided for each dwelling unit in a location external of the unit; provided however, that said storage space may be provided in a garage.

Parking. The provisions of Chapter 17.66 of the Zoning Ordinance shall be used to determine the required parking for development in the RCD District.

Signs. The provisions of Chapter 17.94 of the Zoning Ordinance shall be used to determine signs in the RCD District.

Design Review. No building permits shall be issued for the construction of any building or structure in the RCD District until the applicant has obtained Design Review approval pursuant to the provisions of Chapter 17.82 of the Zoning Ordinance. The following exemptions shall apply:

- A. Additions or alterations to an existing structure which do not change the use from one permitted in the District and which does not increase the floor area by more than 50%.
- B. Group I, II and IV accessory structures.
- C. Fences and walls.

Although the above exempted structures do not need formal Design Review approval, their proposed location and design must still

be approved by the Director of Community Development or his designee prior to construction or installation.

In addition to all materials and procedures required by the City's subdivision, zoning, building and grading regulations, and environmental review procedures, the following application materials shall be required to be submitted to the City for review:

- A. Plot plan reflecting the proposed project, including representations of property lines, all recorded and proposed property lines, all recorded and proposed easements, and public right-of-way.
- B. A topographical map of the project site and all adjacent terrain located within fifty (50) feet of the project boundaries.
- C. A complete grading plan for the project.
- D. A landscaping plan shall accurately show the final disposition of all existing trees on the project site and the type and extent of proposed vegetation, including provisions for ongoing maintenance and irrigation thereof. Specific consideration should be given to:
 1. Vegetation on new formed slopes.
 2. insure slope stability.
 3. Provide ongoing maintenance of vegetation associated with roadway and with private driveways of more than one hundred fifty (150) feet in length or serving more than one building site.

Additional Materials Which May Be Required. City staff, Planning Commission and City Council may require any or all of the following materials to be submitted if necessary to properly review and act upon a given project:

- A. All proposals for development in areas of known geological hazards shall be accompanied by a detailed geological report prepared by a recognized engineering geologist, containing conclusions and recommendations regarding the effect of geologic conditions on the proposed development.
- B. A soils engineering report which shall include, but not be limited to, data regarding the nature, distribution and strengths of existing soils, conclusions and recommendations for grading procedures, design criteria for any identified corrective measures, and opinions and recommendations covering the adequacy of sites to be developed.

This investigation report shall be performed by a professional soils engineer who is experienced in the practice of soils mechanics and who is registered with the State of California.

- C. A hydrology report which shall include, but not be limited to, the hydrologic conditions on the site, possible flood inundation, downstream flood hazards, natural drainage courses, conclusions and recommendations regarding the effect of hydrologic conditions on the proposed development, opinions and recommendations covering the adequacy of the sites to be developed and design criteria to mitigate any identified hydrologic hazards consistent with these regulations. This report shall provide consideration for each lot or dwelling unit site in a proposed project. Run-off and debris amounts shall be computed using County Flood Control District criteria. The investigation and report shall be completed by a registered civil engineer experienced in the science of hydrology investigation.

Design Standards. Chapter 17.14 of the Zoning Ordinance contains residential development standards applicable to all projects within the city regardless of zoning district. It is therefore important that the provisions of Chapter 17.14 of the Zoning Ordinance be considered together with the regulations contained herein for the RCD District.

EXHIBIT 21(a)
RESIDENTIAL CONSTRAINT-DESIGNED (RCD) SUMMARY
CONVENTIONAL DEVELOPMENT

Minimum Lot Size:

Interior Lots: 6,000 sq. ft.; 7,260 sq. ft. average
Corner Lots: 7,700 sq. ft.

Building Setbacks:

A.	Front Yard:	20 ft.
B.	Interior Side Yard:	5 ft.
C.	Exterior Side Yard:	15 ft.
D.	Rear Yard:	20 ft.
E.	Garage:	20 ft.; 15 ft. if side-loaded.

Street Frontage Width:

Interior Lots: 60 ft.
Corner Lots: 65 ft.
Knuckles & Cul-de-sacs: 35 ft; provided the average width is 60 ft.
Flag Lots: 25 ft. minimum; provided average width is 60 ft.

Slopes: A usable rear yard of at least fifteen (15) feet from building to slope shall be provided. In addition, a usable side yard of at least five (5) feet from building to slope shall be provided.

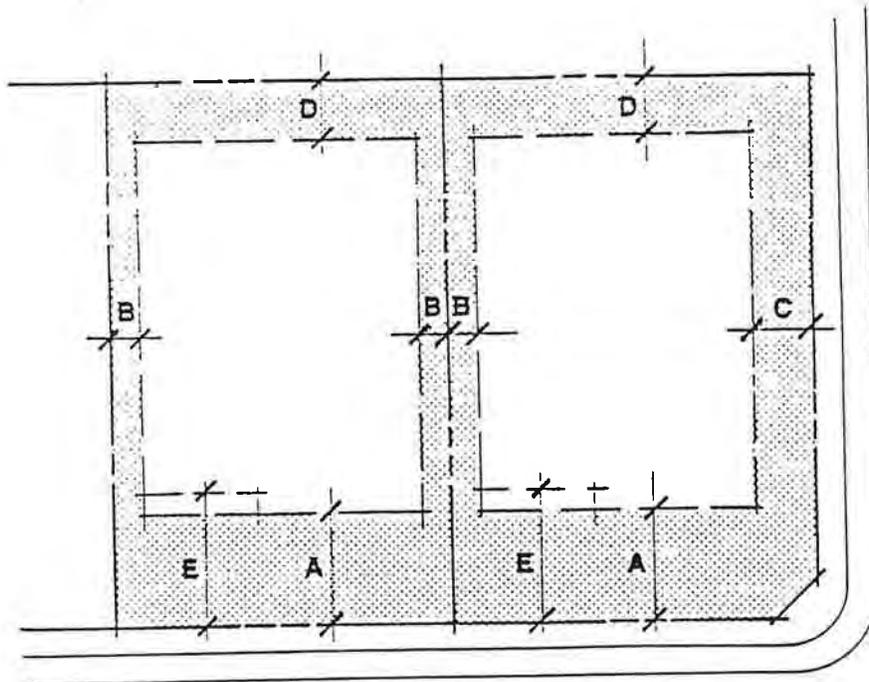


EXHIBIT 21(b)
RESIDENTIAL CONSTRAINT-DESIGNED (RCD) SUMMARY
PLANNED RESIDENTIAL DEVELOPMENT

Minimum Lot Size:

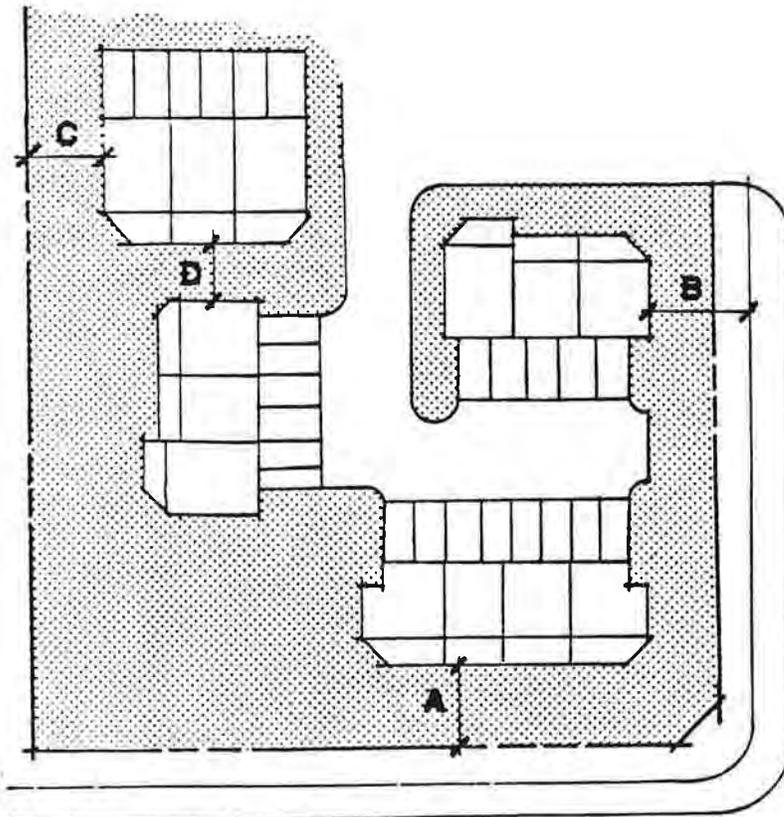
Interior Lots: 6,000 sq. ft.
Corner Lots: 7,000 sq. ft.

Building Setbacks:

- A. Minimum distance between any building and a Collector Street: 30 ft.
- B. Minimum distance between any building and a private or public street (other than a Collector St.): 20 ft.
- C. Minimum distance between any building and an interior property line: 20 ft.
- D. Minimum distance between any main building and a garage or carport or surface parking: 10 ft.

Street Frontage Width:

Interior Lots: 60 ft.
Corner Lots: 65 ft.
Knuckles & Cul-de-sacs: 35 ft. minimum; provided average width is 60 ft.
Flag Lots: 25 ft. minimum; provided average width is 60 ft.



"R-M: MEDIUM LOT SINGLE-FAMILY RESIDENTIAL DISTRICT"

Purpose. The R-M District is intended to accommodate medium density projects comprised of quality single-family residences developed in an urban environment with available public services and infrastructure. The R-M District is not however, intended for hillside development.

Permitted Uses. Uses permitted in this district shall include those uses listed below when developed in compliance with the purpose and intent of this Chapter. Each use shall be evaluated in terms of its design characteristics and specific site location pursuant to the provisions of Chapter 17.82, Design Review, of the Zoning Ordinance.

- A. Single-family detached dwelling units including, but not limited to, patio homes, "wide and shallow" lots, zero lot line lots, Z-lot and Angled Z-lot developments.
- B. Multi-family dwellings including, but not limited to, duplexes, triplexes, fourplexes, and townhomes.
- C. Accessory uses and structures pursuant to "Accessory Uses and Structures", below.
- D. Small family day care and residential care facilities pursuant to Chapter 17.16 of the Zoning Ordinance.
- E. Public utility distribution and transmission facilities excluding private radio, television, and paging antenna and towers.
- F. Government buildings and service facilities.
- G. Public parks, playgrounds, community centers, recreation buildings, elementary, junior high and high schools.
- H. Manufactured houses in compliance with the provisions of Chapter 17.14 of the Zoning Ordinance.
- I. Planned Residential Developments (PRD). For the purposes of this section, a Planned Residential Development is "any development to be constructed by a person or corporate body, involving a variety of residential designs, planned as a total entity, and subject to approval, development regulation, and maintenance as comprehensive land use plan".

Uses Subject to a Conditional Use Permit. It is recognized that certain uses while similar in characteristics to the above Permitted Uses may have the potential to impact surrounding

properties and therefore require additional approval and consideration.

Uses permitted subject to approval of a use permit, pursuant to Chapter 17.74 of the Zoning Ordinance, in the R-M District shall be as follows:

- A. Two, three, or four detached single-family dwellings on a single lot subject to the following:
 - 1. The property is presently zoned for single-family dwellings.
 - 2. The Director of Community Development has determined that the property cannot be subdivided to comply with established lot dimension and street frontage criteria.
 - 3. There is lot area equivalent to 7,260 square feet per dwelling unit exclusive of any required drive aisles or access easements.
- B. Large family day care homes in compliance with the provisions of Chapter 17.16 of the Zoning Ordinance.
- C. Second units in compliance with the provisions of Chapter 17.17 of the Zoning Ordinance.
- D. Keeping of exotic animals or birds, or more than three (3) dogs and/or cats, on the same lot as a permitted dwelling for pets only and not for commercial purposes. The Planning Commission shall impose adequate limitations to assure that the residential character of the property and neighborhood are maintained.
- E. Churches, located on a site a minimum of one (1) acre in size and located on streets designated as arterial streets or collector streets. Parochial schools shall require a separate use permit. Churches shall not otherwise be permitted in the R-M District.
- F. Horticultural uses, including growing of fruit, nuts, vegetables, and ornamental plants for commercial purposes.
- G. Parochial or private preschools, elementary, junior high or high schools.

Accessory Uses and Structures. The following accessory buildings and uses may be located on the same lot with a permitted dwelling, provided that they are found to be compatible with the residential character of the neighborhood and that any buildings or structures be harmonious with the architectural style of the

main building. With the exception of open trellis-type patio covers and detached garages, all accessory buildings and/or structures shall be located only in rear one half of the lot.

A. USES:

1. Home occupations; subject to the completion and approval of an application for a home occupation issued by the Planning Division and compliance with the provisions of Chapter 17.15 of the Zoning Ordinance.
2. Non-commercial hobbies.
3. Keeping of household pets (when no commercial activity is involved). For the purpose of this ordinance, a household pet is an animal clearly considered customary to a residential use, e.g. dogs, cats, birds, and fish. Said pets shall be limited to a maximum of three (3) weaned dogs and/or cats. Birds shall be permitted only inside the main dwelling unit, unless a use permit is obtained.

B. STRUCTURES:

1. Group I

Sheds, children's playhouses, and similar enclosures of less than 120 square feet provided they do not exceed a maximum height of six and one-half (6-1/2) feet. Such structures may be located on property line provided the design of the structure complies with the City's Fire and Building Code.

2. Group II

Unenclosed structures such as carports, gazebos, and patio covers (both trellis-type and solid) as well as detached enclosed structures not included in Group I, but containing less than 600 square feet of floor area such as sheds, children's playhouses and workshops, provided they do not exceed a maximum height of fifteen (15) feet and are located no closer than five (5) feet to a side property line, or ten (10) feet to a rear property line. Attached, enclosed structures in this category shall be located no closer to a property line than the setback prescribed for the main dwelling unit.

3. Group III

Garages, enclosed patios, workshops, cabanas, and similar enclosed structures containing 600 or more

square feet of floor area provided they are located no closer to a property line than the setback prescribed for the main dwelling unit, except that straight-in entry garages may be required a greater setback.

4. Group IV

- a. Antennas; subject to compliance with the provisions of Chapter 17.67 of the Zoning Ordinance.
- b. Swimming pools, jacuzzis, spas, and associated equipment; provided they may be permitted only within rear yard areas or the enclosed portion of a side yard. Pool equipment located within ten (10) feet of a property line shall be separated from the adjacent property by a minimum six (6) foot high masonry wall. Otherwise there shall be no required setback provided the design and installation complies with the City's Building Codes.
- c. Open trellis-type patio covers may be located in a front yard area but shall not encroach more than five (5) feet into the required setback.

Lot Area. The minimum lot area for any new lot created in the R-M District shall be as follows:

A. Detached Single-Family Residential:

1. Interior Lots: Minimum 4,500 square feet.
2. Corner Lots: Minimum 5,000 square feet.

B. Multi-Family or Attached Single-Family Residential: There is no minimum lot size requirement for multi-family or attached single-family residential developments, including townhomes, however, there shall be a minimum net lot area of 4,500 square feet permit.

C. Exception: Whenever a lot is adjacent to a lower density zoning district or to an existing developed parcel with a larger lot size than required in the R-M District, a transition or buffer shall be provided between the adjacent property and a new subdivision, which may include, but is not limited to, lot size, lot width, lot depth, increased setbacks, or slopes. The purpose of this transition shall be to minimize the disparity between different densities of

development. The adequacy of this transition shall be subject to the review and approval of the Planning Commission and City Council on a case-by-case basis.

Street Frontage Width. The minimum street frontage width for any new lot created in the R-M District shall be as follows:

A. Detached Single-Family Residential:

1. Standard Interior Lots: Minimum thirty-five (35) feet.
2. Corner Lots: Minimum forty (40) feet.
3. All knuckles and Cul-de-sac Lots: Thirty (30) feet.
4. Flag Lots: Minimum twenty (20) feet, provided that the average width of the principal portion of the lot is thirty-five (35) feet.
5. Wide and Shallow Lots (Both Interior & Corner Lots): Minimum sixty (60) feet.
6. Z-Lots and Angled Z-Lots (Both Interior & Corner Lots): Minimum thirty-five (35) feet.

B. Multi-Family and Attached Single-Family Residential: There is no minimum street frontage width requirement.

Lot Depth. The minimum average lot depth for any new lot created in the R-M District shall be all follows:

- A. Detached Single-Family Residential: Ninety (90) feet, provided that "wide and shallow" lots shall have a minimum depth of sixty (60) feet. Lot depth shall not exceed four (4) times the lot width.
- B. Multi-Family and Attached Single-Family Residential: There is no minimum lot depth requirement, provided that lot depth shall not exceed four (4) times the lot width.

Setbacks. The following minimum standards shall apply to all new construction within the R-M District:

A. Single-Family Detached Residential:

1. Front Yard:
 - a. Main Dwelling Unit: Ten (10) feet.

- b. Garage: Minimum twenty (20) feet, provided however, that turn-in entry garages may encroach to within ten (10) feet of the front property line.

2. Side Yard:

- a. Main Dwelling Unit: Adjacent to an interior lot line there shall be minimum side yard of five (5) feet; provided that interior side yards may be reduced to accommodate zero lot line or common wall situations, except in no case shall the reduction in the side yard reduce the required separation between detached structures to less than ten (10) feet. Adjacent to a public right-of-way there shall be a minimum side yard of ten (10) feet.
- b. Accessory Structures: In the rear one-half of the lot, as specified in Section 17.19.040, otherwise the same as required for the main dwelling unit with the exception that where straight-in entry garage gains access via the site yard, the setback shall be twenty (20) feet.

3. Rear Yard:

- a. Main Dwelling Units: Ten (10) feet.
- b. As specified in the "R-1" District, "Accessory Uses and Structures", with the exception that where straight-in entry garage gains access via rear yard, the setback shall be twenty (20) feet.

B. Multi-Family and Attached Single-Family Residential: For townhomes and attached single-family units, the following building setbacks shall apply:

- 1. Front Yard: The front yard setback to any building shall be no less than twenty (20) feet.
- 2. Side and rear yards:
 - a. Main dwelling units: Adjacent to interior lot lines, the setback shall be ten (10) feet. Adjacent to residential and local streets, either public or private, the minimum setback shall be fifteen (15) feet. The minimum setback adjacent

to all other streets and public right-of-ways shall be twenty (20) feet.

- b. Garages: No minimum required.
- c. Carports: Ten (10) feet.
- d. Lattice patio covers may encroach to within ten (10) feet of a rear property line or a public right-of-way and to within three (3) feet of a side property line not abutting a public right-of-way.

C. Slopes: Within the R-M District, a usable rear yard of at least fifteen (15) feet from building to slope shall be provided. In addition, a usable side yard of at least five (5) feet from building to slope shall be provided. For the purposes of this section, "usable" is defined as having a gradient not exceeding that of the balance of the building pad, or five (5%) percent, whichever is the lesser.

Lot Coverage. The maximum lot coverage in the R-M District shall be fifty (50) percent.

Building Height. No building or structure shall exceed a building height in the R-M District of thirty (30) feet. For the purposes of this Chapter, in all cases of split levels, no vertical section through the building shall measure more than thirty (30) feet.

Separation Between Buildings. The minimum required separation between main buildings shall be as follows:

- A. Single-Family Detached Residential: Ten (10) feet.
- B. Multi-Family and Attached Residential:
 - 1. Front to front: Twenty (20) feet for one story buildings plus each additional story on each building shall be setback five (5) additional feet.
 - 2. Front to rear or rear to rear: Fifteen (15) feet for one story building plus each additional story on each building shall be setback five (5) additional feet.
 - 3. End wall to front or rear: Ten (10) feet for one story buildings plus each additional story on each building shall be setback five (5) additional feet.
 - 4. In order to encourage obliquely aligned buildings, where such alignments are used, the distances in 1 or 2, as applicable, may be decreased by five (5) feet.

5. No accessory structure shall be located closer than ten (10) feet from any property line or public right-of-way, provided that no minimum spacing is required between any accessory structure and a main building.

Minimum Dwelling Unit Size. The minimum dwelling unit size within the R-M District shall be 1,000 square feet exclusive of garage area, provided that at least 20% of the total number of units within any phase shall exceed the minimum square footage by 15%.

Storage. A storage space of eighty-five (85) cubic feet with a minimum dimension of three (3) feet shall be provided for each dwelling unit in a location external of the unit; provided however, that said storage space may be provided in a garage.

Parking. Single-family detached or attached residences shall provide two (2) parking spaces per dwelling unit, including a minimum of one (1) covered space. Guest parking shall be provided at one (1) space per five (5) units, where adequate on-street parking is not available. Residential projects between one and four units shall provide a minimum of one (1) guest parking space.

Signs. The provisions of Chapter 17.94 of the Zoning Ordinance shall be used to determine permitted signs in the R-M District.

Design Review. No building permits shall be issued for the construction of any building or structure in the R-M District until the applicant has obtained Design Review approval pursuant to the provisions of Chapter 17.82, Design Review, of the Zoning Ordinance. The following exemptions shall apply:

- A. Additions or alterations to an existing structure which do not change the use from one permitted in the District and which does not increase the floor area by more than 50%.
- B. Group I, II, and IV accessory structures.
- C. Fences and walls.

Although, the above exempted structures do not need formal Design Review approval, their proposed location and design must be approved by the Director of Community Development or his designee prior to construction or installation.

Design Standards. Chapter 17.14 of the Zoning Ordinance contains residential development standards applicable to all projects within the city regardless of zoning district. It is therefore important that the provisions of Chapter 17.14 be considered together with the regulations contained herein for the R-M District.

EXHIBIT 22(a)
MEDIUM LOT RESIDENTIAL (R-M) SUMMARY:
Typical Single-Family Detached Residential Lot

Minimum Lot Size:

Interior Lots: 4,500 sq. ft.
 Corner Lots: 5,000 sq. ft.

Building Setbacks:

- A. Front Yard: 10 ft.
- B. Interior Side Yard: 5 ft.
- C. Exterior Side Yard: 10 ft.
- D. Rear Yard: 10 ft.; rear yards with garages shall have 20 ft. setback.
- E. Garage: 20 ft.; side-loaded garage setbacks may be reduced to 10 ft.

Street Frontage Width:

Interior Lots: 35 ft.
 Corner Lots: 40 ft.
 Knuckles & Cul-de-sacs: 30 ft.
 Flag Lots: 20 ft. for access; 35 ft. for principal portion of lot.

Minimum Lot Depth: 90 ft.

Slopes: A usable rear yard of at least fifteen (15) feet from building to slope shall be provided. In addition, a usable side yard of at least five (5) feet from building to slope shall be provided.

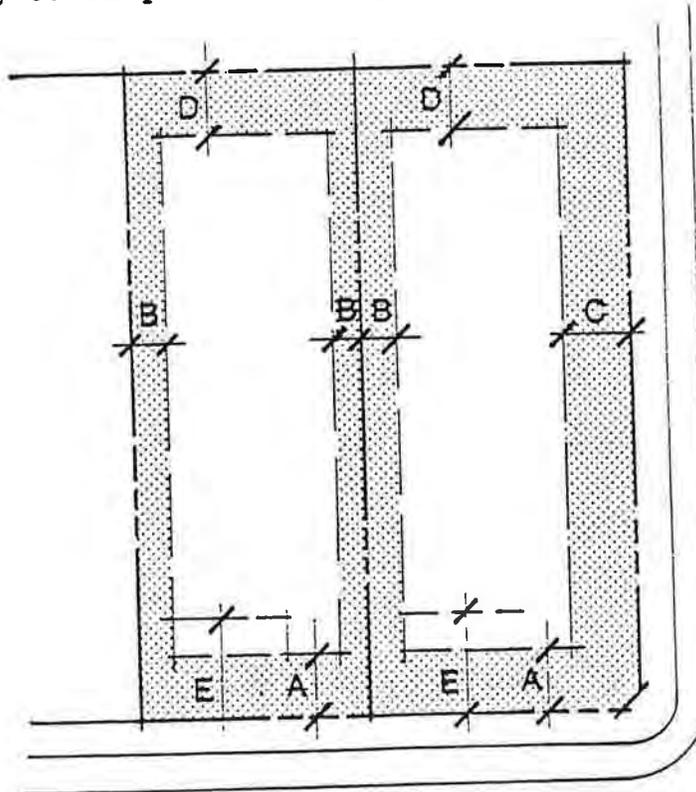


EXHIBIT 22(b)
MEDIUM LOT RESIDENTIAL (R-M) SUMMARY:
"Wide and Shallow" Lots

Minimum Lot Size:

Interior Lots: 4,500 sq. ft.
Corner Lots: 5,000 sq. ft.

Building Setbacks:

- A. Front Yard: 10 ft.
- B. Interior Side Yard: 5 ft.
- C. Exterior Side Yard: 10 ft.
- D. Rear Yard: 10 ft.; rear yards with garages shall have 20 ft. setback.
- E. Garage: 20 ft.; side-loaded garage setbacks may be reduced to 10 ft.

Street Frontage Width:

Interior and Corner Lots: 60 ft.
Knuckles and Cul-de-sacs: 30 ft.

Minimum Lot Depth: 60 ft.

Slopes: A usable rear yard of at least fifteen (15) feet from building to slope shall be provided. In addition, a usable side yard of at least five (5) feet from building to slope shall be provided.

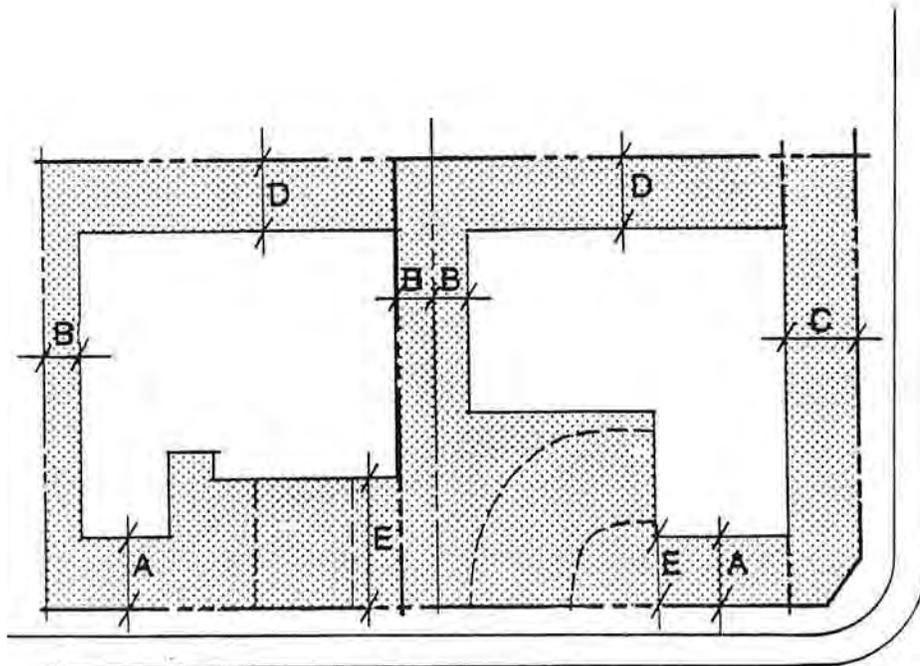


EXHIBIT 22(c)
MEDIUM LOT RESIDENTIAL (R-M) SUMMARY:
Patio Homes

Minimum Lot Size:

Interior Lots: 4,500 sq. ft.
Corner Lots: 5,000 sq. ft.

Building Setbacks:

- A. Front Yard: 10 ft.
- B. Interior Side Yard: May be reduced to 0 ft., provided building separation is 10 ft.
- C. Exterior Side Yard: 10 ft.
- D. Rear Yard: 10 ft.; rear yards with garages shall have 20 ft. setback.
- E. Garage: 20 ft.; side-loaded garage setbacks may be reduced to 10 ft.

Street Frontage Width:

Interior Lots: 35 ft.
Corner Lots: 40 ft.
Knuckles and Cul-de-sacs: 30 ft.

Minimum Lot Depth: 90 ft.

Slopes: A usable rear yard of at least fifteen (15) feet from building to slope shall be provided. In addition, a usable side yard of at least five (5) feet from building to slope shall be provided.

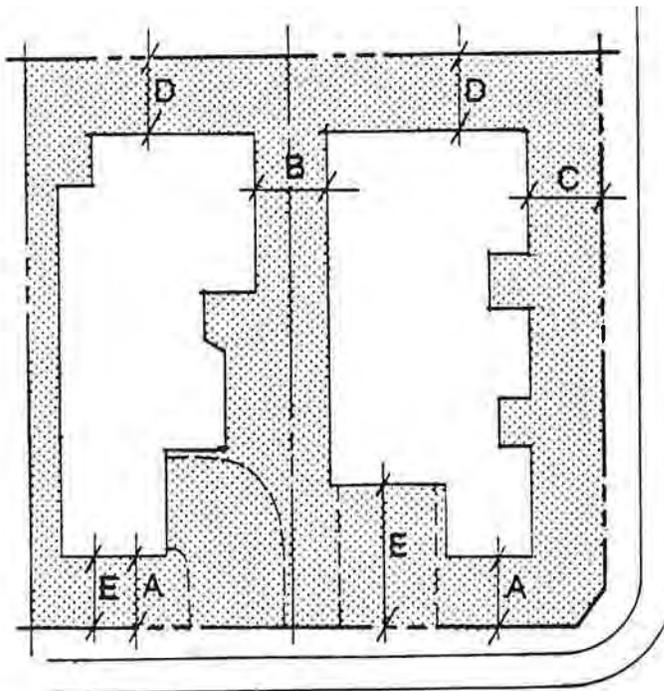


EXHIBIT 22(d)
MEDIUM LOT RESIDENTIAL (R-M) SUMMARY:
"Z" Lots

Minimum Lot Size:

Interior Lots: 4,500 sq. ft.
Corner Lots: 5,000 sq. ft.

Building Setbacks:

- A. Front Yard: 10 ft.
- B. Interior Side Yard: May be reduced to 0 ft. provided building separation is 10 ft.
- C. Exterior Side Yard: 10 ft.
- D. Rear Yard: 10 ft.; rear yards with garages shall have 20 ft. setback.
- E. Garage: 20 ft.; side-loaded garage setbacks may be reduced to 10 ft.

Street Frontage Width:

Interior and Corner Lots: 35 ft.
Knuckles and Cul-de-sacs: 30 ft.

Minimum Lot Depth: 90 ft.

Slopes: A usable rear yard of at least fifteen (15) feet from building to slope shall be provided. In addition, a usable side yard of at least five (5) feet from building to slope shall be provided.

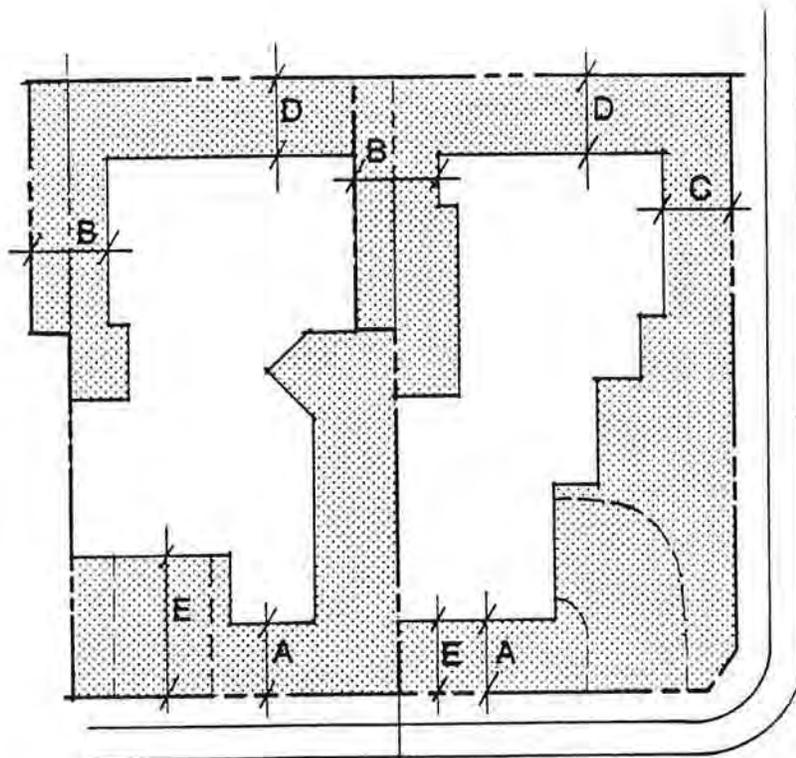


EXHIBIT 22(e)
MEDIUM LOT RESIDENTIAL (R-M) SUMMARY:
Angled "Z" Lots

Minimum Lot Size:

Interior Lots: 4,500 sq. ft.
Corner Lots: 5,000 sq. ft.

Building Setbacks:

- A. Front Yard: 10 ft.
- B. Interior Side Yard: May be reduced to 0 ft. provided building separation is 10 ft.
- C. Exterior Side Yard: 10 ft.
- D. Rear Yard: 10 ft.; rear yards with garages shall have 20 ft. setback.
- E. Garage: 20 ft.; side-loaded garage setbacks may be reduced to 10 ft.

Street Frontage Width:

Interior and Corner Lots: 35 ft.
Knuckles and Cul-de-sacs: 30 ft.

Minimum Lot Depth: 90 ft.

Slopes: A usable rear yard of at least fifteen (15) feet from building to slope shall be provided. In addition, a usable side yard of at least five (5) feet from building to slope shall be provided.

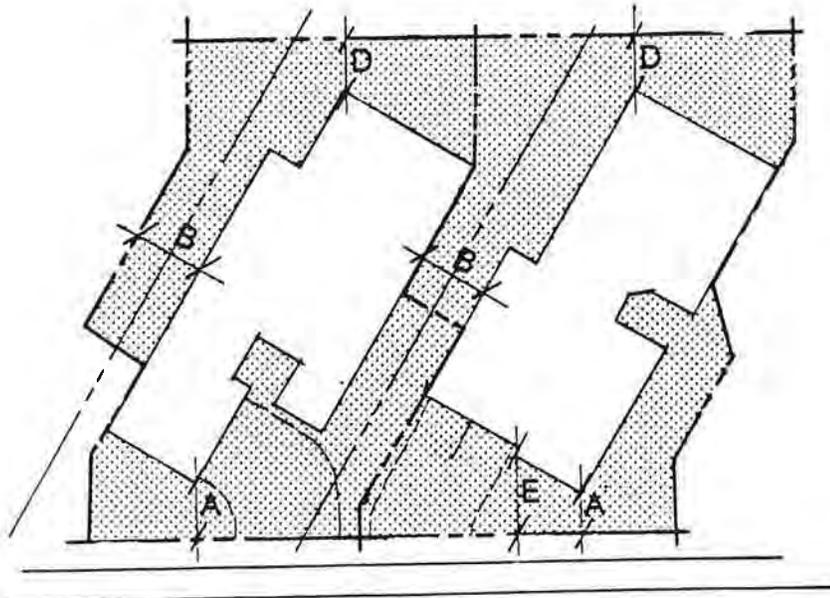


EXHIBIT 22(f)
MEDIUM LOT RESIDENTIAL (R-M) SUMMARY:
Multi-Family
(Includes Duplexes, Triplexes,
Fourplexes and Townhomes)

Minimum Lot Size: No minimum required, however there shall be a minimum net lot area of 4,500 square feet per d.u.

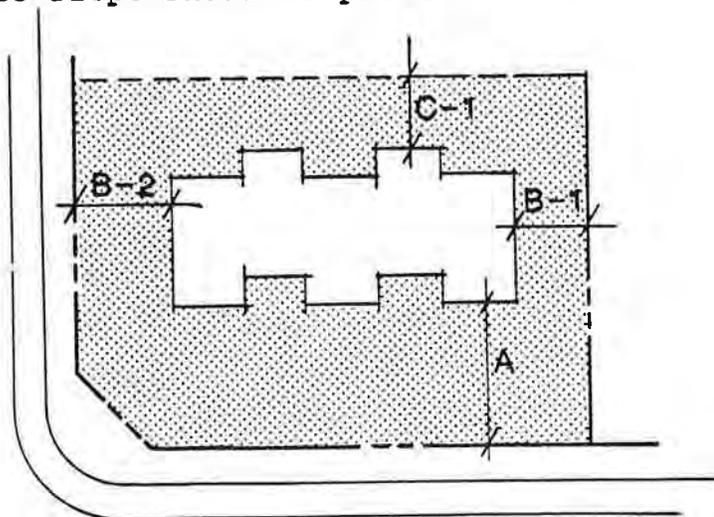
Building Setbacks:

- A. Front Yard: 20 ft. minimum
- B. Side Yard:
 - 1. Interior Side Yard: 10 ft.
 - 2. Adjacent to Local Streets: 15 ft.
 - 3. Adjacent to Public R.O.W. and All Other Streets: 20 ft.
- C. Rear Yard:
 - 1. Adjacent to Interior Lot Line: 10 ft.
 - 2. Adjacent to Local Streets: 15 ft.
 - 3. Adjacent to Public R.O.W. and All Other Streets: 20 ft.
- D. From Garages: No minimum required.
- E. From Carports: 10 ft.
- F. Patio Covers: 10 ft. from rear property line or public right-of-way; 3 ft. from interior side property line.

Street Frontage Width: No minimum required.

Minimum Lot Depth: No minimum required, provided lot depth does not exceed four times lot width.

Slopes: A usable rear yard of at least fifteen (15) feet from building to slope shall be provided. In addition, a usable side yard of at least five (5) feet from building to slope shall be provided.



"R-3: HIGH DENSITY RESIDENTIAL"

Purpose. The "R-3" District is intended to provide locations for multiple-family residential projects at densities of up to twenty-four (24) dwellings to the net acre, in compliance with the City's General Plan designation of High Density Residential. It may also provide sites for public and semi-public facilities needed to complement residential areas and for institutions that require a residential environment. Properties assigned this designation should be located within close proximity to community services such as shopping centers, transit systems, sewers, and other required infrastructure. They should not be located immediately adjacent to a single-family district. Provisions for appropriate recreation, religious, and community uses are included for a balanced neighborhood.

Permitted Uses. Uses permitted in this district shall include those listed below when developed in compliance with the purpose and intent of this chapter:

- A. Multiple-family dwellings.
- B. Accessory uses and structures pursuant to "Accessory Uses", below.
- C. Government buildings and service facilities.
- D. Public: parks, playgrounds, community centers, recreation buildings and schools including elementary, junior high and high schools.
- E. Public utility distribution and transmission facilities excluding private radio, television, and paging antenna and towers.
- F. Small-family day care and residential care facilities pursuant to Chapter 17.16 of the Zoning Ordinance.
- G. Small family day care uses when they comply with all requirements of Chapter 17.16 of the Zoning Ordinance.
- H. Single-family uses when they comply with all requirements of Chapter 17.23 of the Zoning Ordinance.

Uses Subject to a Conditional Use Permit. It is recognized that certain uses, while similar in characteristics to the "Permitted Uses" above, may have the potential to impact surrounding properties and therefore require additional approval and consideration. Such uses to be permitted in the "R-3" District shall require a Use Permit pursuant to Chapter 17.74 of the Zoning Ordinance and shall include the following:

- A. Churches.
- B. Commercial child day care centers.
- C. Condominiums subject to compliance with all provisions of Chapter 17.37 of the Zoning Ordinance.
- D. Convalescent, retirement homes, rest homes, sanitariums, and similar congregate care facilities.
- E. Horticultural uses, including growing of fruit, nuts, vegetables, and ornamental plants for commercial purposes.
- F. Large family day care homes in compliance with the provisions of Chapter 17.16 of the Zoning Ordinance.
- G. Keeping of exotic animals on the same lot as a permitted dwelling for pets only and not for commercial purposes; the Planning Commission shall impose adequate limitations to assure that the residential character of the property and neighborhood are maintained.
- H. Private, noncommercial clubs and lodges.
- I. Private preschools, elementary, junior and high schools.
- J. Permitted primary structures which exceed the height limitation specified in "Building Height", below.
- K. Tennis clubs and swimming clubs.

Accessory Uses. The following accessory buildings and uses may be located on the same lot with a permitted use provided that they are found to be compatible with the residential character of the neighborhood and that any buildings or structures be harmonious with the architectural style of the main building(s).

A. USES:

- 1. Home occupations; subject to the completion and approval of an application for a home occupation issued by the Planning Division and compliance with the provisions of Chapter 17.15 of the Zoning Ordinance.
- 2. Non-commercial hobbies.
- 3. Keeping of household pets (when no commercial activity is involved). For the purpose of this ordinance, a household pet is an animal clearly considered customary to a residential use, e.g. dogs, cats, birds, and

fish. Said pets shall be limited to a maximum of three (3) weaned dogs and/or cats. The maximum number of birds and fish shall be as specified by the City's adopted Animal Control Ordinance.

B. STRUCTURES:

1. Antennas, satellite dishes, and similar devices; subject to compliance with the provisions of Chapter 17.67 of the Zoning Ordinance.
2. Carports and garages.
3. Community recreation buildings and facilities for use by the residents of a permitted development.
4. Equipment storage structures not exceeding 400 square feet.
5. Lattice patio covers, and gazebos.
6. Rental offices and management offices; only when they serve the project on which property they are located.
7. Special use rooms such as laundry rooms and pool dressing rooms.
8. Swimming pools, jacuzzis, spas, and associated equipment (provided said equipment is enclosed to reduce noise impacts).

Unless otherwise permitted in this chapter, no accessory structures or associated equipment shall be located in a required yard area.

Lot Area. The minimum net lot area for any new lot created in the "R-3" District shall be 7,260 square feet.

Lot Area Per Dwelling Unit. The minimum lot area required for each dwelling unit in the "R-3" District shall be 1,815 square feet of net lot area per unit. To determine the maximum number of units that may be constructed on a given property, divide the total net lot area by the square footage required for the type of product. The resultant number should be rounded down to the nearest whole number.

Street Frontage Width. The minimum street frontage width for any new lot created in the "R-3" District shall be sixty (60) feet.

Setbacks. The following minimum standards shall apply to all new construction within the "R-3" District:

A. **Front Yard:** The front yard setback to any building shall average twenty (20) feet but in no case shall be less than fifteen (15) feet.

B. **Side Yard and Rear Yards:**

1. **Main Dwelling Units:** Adjacent to interior lot lines the setback shall be ten (10) feet; adjacent to a public right-of-way the minimum setback shall be fifteen (15) feet.

2. **Garage or Enclosed Carports:** Five (5) feet

3. **Open Carports:** Three (3) feet

Lattice patio covers may encroach to within ten (10) feet of a rear property line or a public right-of-way and to within three (3) feet of a side property line not abutting a public right-of-way.

Lot Coverage: The maximum lot coverage in the "R-3" District shall be sixty (60) percent including all structures, drive-aisles, and parking areas. Attainment of the permitted maximum coverage shall be a secondary consideration to compliance with all other design regulations contained within this chapter.

Building Height. Except as otherwise provided for accessory structures, the maximum building height in the "R-3" District shall be thirty-five (35) feet. However, within twenty-five (25) feet of an "R-1", "R-A", or "R-R" District the maximum height shall be seventeen (17) feet.

Minimum Dwelling Unit Size. The minimum dwelling unit size within the "R-3" District exclusive of any balcony or patio area shall be as follows:

- | | |
|--|---|
| A. Bachelor Apartment (sleeping quarters within the living room area): | 450 square feet |
| B. One (1) Bedroom Apartments: | 600 square feet |
| C. Two (2) Bedroom Apartments: | 700 square feet plus 100 square feet for each additional bedroom. |

Open Space. In addition to any open space required by other provisions of the Zoning Ordinance, all projects developed in an "R-3" District shall provide the following open space:

- A. **Private Open Space:** Each dwelling unit shall be provided with a usable private open space area in the form of a patio or courtyard with a minimum area of one hundred (100) square feet and a minimum dimension of ten (10) feet, or a balcony as follows:
1. Units of 600 square feet or less: A balcony of sixty (60) square feet with a minimum dimension of six (6) feet.
 2. Units larger than 600 square feet of floor area: A balcony of eighty (80) square feet and a minimum dimension of eight (8) feet.

For the purpose of this chapter, private open space shall mean a fenced or otherwise screened area which is devoid of structures and improvements other than those provided for landscape or recreation purposes.

Common open space may be provided in lieu of private open space, if for each one (10) square foot of private open space reduction there shall be one and one-half (1-1/2) square feet of common open space added to the project over and above any other requirements of this Chapter.

- B. **Common Open Spaces:** Two hundred and twenty-five (225) square feet of usable common open space per unit shall be provided within the boundaries of all projects. Usable open space shall constitute area(s) readily accessible, practical, and generally acceptable for active and/or passive recreational uses. In all instances however, a majority of the usable common open space shall be devoted primarily to active recreational facilities (i.e.,

pool, court games, par jogging courses, etc.). Common open space shall not include required setback areas or areas less than twenty (20) feet in width.

Separation Between Buildings. The minimum required separation between main buildings shall be as follows:

- A. Front to Front: Twenty (20) feet for one story buildings plus each additional story on each building shall be setback five (5) additional feet.
- B. Front to Rear or Rear to Rear: Fifteen (15) feet for one story building plus each additional story on each building shall be setback five (5) additional feet.
- C. End Wall to Front or Rear: Ten (10) feet for one story buildings plus each additional story on each building shall be setback five (5) additional feet.
- D. In order to encourage obliquely aligned buildings, where such alignments are used, the distances in 1 or 2, as applicable, may be decreased by five (5) feet.

Unless otherwise provided by any other adopted City regulation, accessory structures may be located without regard to a minimum separation subject to Design Review approval.

Walkways. Where walkways pass between buildings, fences, or other structures, there shall be a minimum separation between said structures of ten (10) feet.

Laundry Facilities. All projects developed within the "R-3" District shall provide laundry facilities adequate to accommodate the number of units proposed within the project. The minimum number shall be one (1) washer and one (1) dryer per each nine (9) units; however, in no case shall there be less than one (1) washer and dryer provided.

Walls and Fences. Decorative masonry walls a minimum of six (6) feet in height, as measured from the highest grade elevation either side of the wall, shall be provided along all side and rear property lines or property lines that abut a major utility easement. Wood fences may be used to separate private open space areas.

Storage. A storage space of eighty-five (85) cubic feet with a minimum dimension of three (3) feet shall be provided for each dwelling unit in a location external of the unit.

Parking. The provisions of Chapter 17.66 of the Zoning Ordinance shall be used to determine the required parking for development in the "R-3" District.

Signs. The provisions of Chapter 17.94 of the Zoning Ordinance shall be used to determine permitted signs in the "R-3" District.

Design Review. No building permits shall be issued for the construction of any building or structure in the "R-3" District until the applicant has obtained Design Review approval pursuant to the provisions of Chapter 17.82 of the Zoning Ordinance. The following exemptions shall apply:

- A. Accessory structures other than garages and carports.
- B. Fences and walls.

Although these above exempted structures do not need formal Design Review approval, their proposed location and design must still be approved by the Director of Community Development or his designee prior to construction or installation.

Design Standards. Chapter 17.14 of the Zoning Ordinance contains residential development standards applicable to all projects within the City regardless of zoning district. It is therefore important that the provisions of Chapter 17.14 of the Zoning Ordinance be considered together with the regulations contained herein for the "R-3" District.

**EXHIBIT 23
MULTI-FAMILY RESIDENTIAL (R-3) SUMMARY**

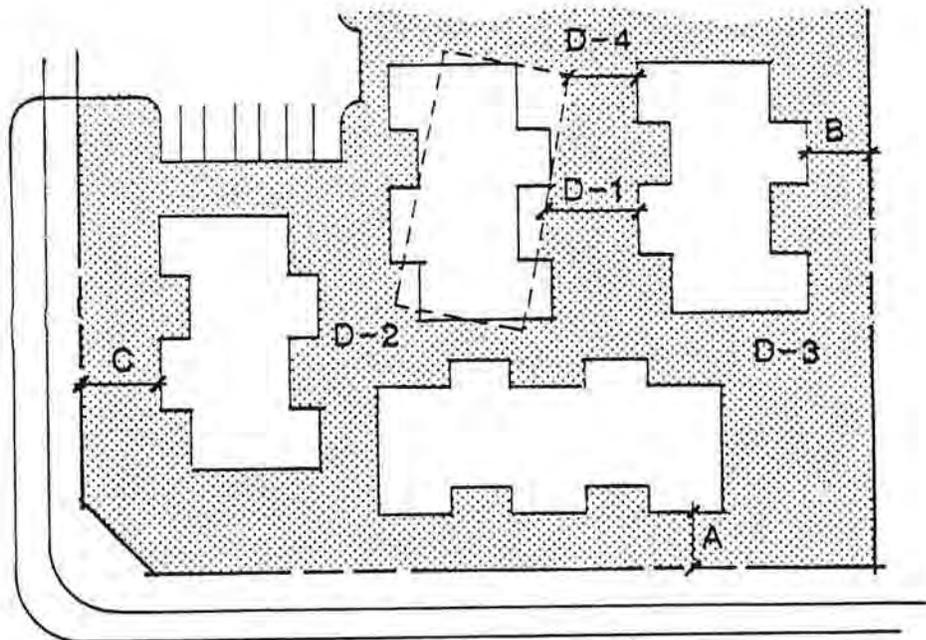
Minimum Lot Size: 7,260 sq. ft.

Lot Area Per Dwelling Unit: 1,815 sq. ft. of net lot area per unit.

Building Setbacks:

- A. Front Yard: 15 ft. minimum; 20 ft. average.
- B. Interior Side or Rear Yard: 10 ft. minimum.
- C. Street Side or Rear Yard: 15 ft. minimum
- D. Building Separation (Minimum Distance):
 1. Front to Front: 20 ft. for one story bldgs., plus 5 ft. per each additional story
 2. Front to Rear/Rear to Rear: 15 ft. for one story bldgs., plus 5 ft. per each additional story.
 3. End Wall to Front or Rear: 10 ft. for one story bldgs., plus 5 ft. per each additional story.
 4. Where oblique building alignment is used, distance in (D.1) or (D.2) may be decreased by 5 ft.
- E. Garage or Enclosed Carports: 5 ft.
- F. Open Carports: 3 ft.

Street Frontage Width: 60 ft.



"C-1: NEIGHBORHOOD COMMERCIAL DISTRICT"

Purpose. The intent of the "C-1" District is to provide locations for general retail and office uses which offer the sale of goods and services to the general public and which, through characteristics of their operation, serve primarily the day-to-day shopping needs of local residents. Whereas "C-1" properties are expected to be located in closer proximity to residential districts and on smaller City streets than the more intense commercial designations, the "C-1" District is not intended for those uses which because of size or nature of operation generate vehicular or truck traffic beyond that normally associated with a neighborhood use.

Permitted Uses. Uses permitted in the "C-1" District shall include those businesses listed below which operate in compliance with the intent and standards of this district and are conducted entirely within a completely enclosed building. Each business shall be evaluated in terms of its operational characteristics and specific site location.

- A. All permitted uses in the "C-0" District as contained in this document.
- B. Apparel stores.
- C. Appliance stores.
- D. Bicycle shops.
- E. Food stores; including markets, bakeries, and health food establishment, candy stores.
- F. Florists.
- G. General merchandise stores.
- H. Hardware stores.
- J. Health and exercise clubs.
- J. Hobby supply stores.
- K. Jewelry stores.
- L. Media shops; including bookstores, newsstands, and video tape outlets.
- M. Music stores; including sales of instruments, records, and tapes.

- N. Personal service establishments; including barbershops, beauty shops, dry cleaning and tailors.
- O. Pet shops; retail sales and grooming only. No boarding of animals.
- P. Restaurants and eating places provided they comply with the requirements of Chapter 17.66, Parking Requirements, of the Zoning Ordinance; but excluding drive-ins and drive-throughs.
- Q. Schools for dance and music.
- R. Service establishments; such as small appliance repair, watch and jewelry repair, and shoe repair.
- S. Sporting goods stores.
- T. Toy shops.
- U. Vehicle parts sales; (new or rebuilt only) and excluding repair and service.
- V. Other uses that the Planning Commission finds by resolution to be in accord with the purpose of this Chapter and having characteristics similar to those listed in this Section. A list of these uses shall be maintained in the Planning Department for future reference.

Uses Subject to a Conditional Use Permit. It is recognized that certain uses while similar in characteristics to the Permitted Uses in the "C-0" District, may have the potential to impact surrounding properties and therefore require additional approval and consideration. Such uses to be permitted in the "C-1" District shall require a Use Permit pursuant to Chapter 17.74 of the Zoning Ordinance and shall include the following:

- A. Automatic car washes; provided they shall be located a minimum of two hundred (200) feet from any residential use.
- B. Bars or cocktail lounges; not in conjunction with a restaurant.
- C. Churches.
- D. Drive-through or drive-in establishments; provided a safe and efficient circulation system can be provided completely on-site.
- E. Game arcades; includes any establishment having five or more mechanical or electronic games of chance, skill or

entertainment, whether as the primary use or in conjunction with another business, but excluding vending machines dispensing a product for sale.

- F. Gasoline dispensing establishments, subject to the provisions of Chapter 17.38 of the Zoning Ordinance.
- G. Hotels.
- H. Mortuaries.
- I. Motels.
- J. Private clubs and lodges.
- K. Restaurants and eating places with outside eating areas.
- L. Small animal veterinary clinics subject to the following addition to all other conditions of the Use Permit:
 - 1. Treatment of animals is restricted to dogs, cats and other small domesticated animals and birds.
 - 2. The operation shall be conducted in a completely enclosed and sound controlled building in such a way as to produce no objectionable noises or odors outside its walls.
 - 3. There shall be no outdoor runs or animal holding areas.
 - 4. There shall be no boarding of animals other than as necessary for recuperation of patients.
 - 5. The clinic shall have direct access from the parking area.
- M. Structures exceeding the maximum height permitted by "Building Height", below.

Site Criteria. There shall be no minimum lot size required for a "C-1" parcel. However, in establishing and maintaining locations or approving uses for the "C-1" District it shall be demonstrated that the property is capable of compliance with the following criteria:

- A. The site can support safe and efficient on-site circulation and has convenient access to surface streets with adequate capacity.

- B. There is sufficient parcel size to ensure adequate buffering and screening where needed to protect residential developments.
- C. The site is physically suitable for the proposed type and density of development and capable of permitting full compliance with the City's development standards and practices.

Setbacks. The following minimum standards shall apply to all new construction in the "C-1" District:

- A. Front: The front yard setback for any building in the "C-1" District shall average twenty (20) feet but in no case shall be less than fifteen (15) feet.
- B. Side and Rear Yard: No setback shall be required from interior lot lines except adjacent to a public right-of-way or a residential use, in which case the minimum setback shall be fifteen (15) feet.
- C. Notwithstanding Subsections 1 and 2, the setback from a public right-of-way to a parking or driveway area may be ten (10) feet.

Building Height. Except as otherwise provided pursuant to "Uses Subject to a Conditional Use Permit" per this District, the maximum building height shall be thirty-five (35) feet.

Landscape Improvements. All area not utilized for structures, parking, or other permitted uses shall be landscaped. In addition, the following minimum standards shall apply:

- A. Adjacent to Streets: A continuous area, a minimum of ten (10) feet in depth, shall be landscaped and maintained between parking area and the public right-of-way. Parking areas should be screened as much as possible utilizing berms, shrubs, and other decorative treatments of sufficient size and height to meet this requirement.
- B. Buffer Landscaping: A continuous landscape buffer, a minimum of fifteen (15) feet in depth, shall be maintained adjacent to all interior property lines which abut residential uses. In addition, a solid block wall, a minimum of six (6) feet in height shall be constructed within this buffer to separate the commercial

uses from the adjacent residential uses. At minimum, said buffer shall contain one (1), fifteen (15) gallon, non-deciduous, umbrella form tree for each thirty (30) lineal feet of boundary length. No structure or use, including parking, drive aisles, or trash enclosures, but excepting said six (6) foot high wall, shall encroach within this area.

C. Generally: All building sites shall have a minimum landscaped coverage equivalent to the ten (10) percent of the total lot area. Such landscaping shall be evenly distributed over the site and consist of an effective combination of trees, ground cover and shrubbery, which may include landscaping required for setbacks or buffers. A reduction in coverage may be sought and approved during the Design Review process in recognition of quality design. For the purpose of this provision, quality considerations include the use of courtyards, atriums, creative use of ground floor public space, creative use of water elements, and the incorporation of sculpture or art work in the landscape proposal.

Parking. The provisions of Chapter 17.66 of the Zoning Ordinance shall be used to determine the parking for development in the "C-1" District.

Signs. The provisions of the "Commercial Signage Program" in this document shall be used to determine permitted signs in the "C-1" District.

Design Review. No building permits shall be issued for the construction of any building or structure in the "C-1" District until the applicant has obtained Design Review approval pursuant to the provisions of Chapter 17.82 of the Zoning Ordinance.

Design Standards. Chapter 17.38 of the Zoning Ordinance contains non-residential development standards applicable to all projects within the City regardless of zoning district. It is therefore important that the provisions of Chapter 17.38 of the Zoning Ordinance be considered together with the regulations contained herein for the "C-1" District.

Floor Area Ratio. The maximum floor area ratio shall be .50.

"CH: HIGHWAY COMMERCIAL DISTRICT"

Purpose. The intent of the "CH" District is to reserve appropriate locations consistent with the General Plan to accommodate a full range of retail stores, offices, personal and business service establishments offering commodities and services scaled to meet the needs of the future residents of Alberhill Ranch and the region as a whole. Because of the intensity of use associated with the "CH" District, properties assigned this designation shall be located adjacent to Interstate 15 and Nichols Road, a Major Highway. "CH" properties will be physically separated from surrounding residential uses by Collier Avenue, a Collector Street.

Permitted Uses. Uses permitted in the "CH" District shall include those businesses listed below which operate in compliance with the intent and standards of this district and area conducted entirely within a completely enclosed building. Each business shall be evaluated in terms of its operational characteristics and specific site location.

Permitted Uses.

- A. Accountants, advertising agencies, appraisers, attorneys, business and management consultants, economists, public relations consultants, and other professional offices.
- B. Administrative or executive offices of any type of business.
- C. Antique shops and auction galleries.
- D. Apparel stores.
- E. Appliance stores.
- F. Architects, landscape architects, planners, engineers and surveyors, geologists, industrial designers, graphic designers, and interior designers not including retail sales on the premises.
- G. Art and craft galleries or studios.
- H. Barber shops and beauty salons.

- I. Bicycle shops.
- J. Bookstores and newsstands.
- K. Bowling alleys; provided they comply with the requirements of Chapter 17.66, Parking Requirements, of the Zoning Ordinance.
- L. Bus depots and transit stations.
- M. Confectionery or candy shops.
- N. Convenience stores and markets.
- O. Delicatessens.
- P. Department stores.
- Q. Drug stores and prescription pharmacies.
- R. Employment agencies, travel agencies, and airline ticket agencies.
- S. Financial institutions, including banks, savings and loan associations, finance companies and credit unions.
- T. Floor covering shops.
- U. Florists.
- V. Food stores; including markets, bakeries, and health food establishments.
- W. Furniture stores.
- X. General merchandise stores.
- Y. Government buildings and service facilities; excluding storage equipment or repair or warehouses.
- Z. Hardware stores and home improvement centers.
- AA. Health and exercise clubs.
- BB. Hobby supply stores.
- CC. Insurance brokers and services, investment brokers, real estate brokers and offices, and title and escrow companies.

- DD. Jewelry stores.
- EE. Liquor stores.
- FF. Media shops and video tape outlets.
- GG. Medical complexes including medical, dental, and health-related services; excluding any housing for persons aged, infirm, or ill.
- HH. Music shops, including sales of instruments, records, and tapes.
- II. Oculists, opticians, and optometrists.
- JJ. Office supply and stationery stores.
- KK. Parking lots and parking structures.
- LL. Personal service establishments; including barber shops, beauty shops, dry cleaning and tailors.
- MM. Pet shops; retail sales and grooming only. No boarding of animals.
- NN. Photography shops and studios and photo engraving.
- OO. Public utility distribution and transmission facilities excluding private radio, television, and paging antenna towers.
- PP. Quick copy and printing establishments.
- QQ. Restaurants and eating places (excluding drive-ins and drive throughs) which are not open between the hours of 10:00 p.m. and 7:00 a.m.; provided they comply with the requirements of Chapter 17.66, Parking Requirements, of the Zoning Ordinance.
- RR. Sale of motor vehicle, motorcycle and recreational vehicle parts and accessories and service incidental to the sale of parts.
- SS. Skating rinks; provided they comply with the requirements of Chapter 17.66, Parking requirements, of the Zoning Ordinance.
- TT. Schools and studios for arts, crafts, photography, music, and dance.

- UU. Second hand and thrift shops.
- VV. Service business similar to retail stores which do not involve warehousing or storage, except accessory storage of commodities sold at retail on the premises.
- WW. Service establishments; such as small appliance repair, watch and jewelry repair, and shoe repair.
- XX. Sporting goods stores.
- YY. Theaters except for drive-ins; provided they comply with the requirements of Chapter 17.66, Parking Requirements, of the Zoning Ordinance.
- ZZ. Toy shops.
- AAA. Vehicle parts sales; (new or rebuilt only) and excluding repair and service.
- BBB. Other uses that the Planning Commission finds by resolution to be in accord with the purpose of this Chapter and having characteristics similar to those uses listed in this Section. A list of these uses shall be maintained in the Planning Department for future reference.

Uses Subject to a Conditional Use Permit. It is recognized that certain uses while similar in characteristics to Permitted Uses in the "C-O" District may have the potential to impact surrounding properties and therefore required additional approval and consideration. Such used to be permitted in this "CH" District shall require a Use Permit pursuant to Chapter 17.74 and shall include the following:

- A. Automatic car washes; provided they shall be located a minimum of two hundred (200) feet from any residential use.
- B. Bars or cocktail lounges; not in conjunction with a restaurant.
- C. Business colleges and professional schools.
- D. Churches including in conjunction with a parochial school.
- E. Commercial day care center.
- F. Conversion of residential structures pursuant to the Site Criteria in the "C-O" District in this document.

- G. Dance halls, discotheques, or any establishment providing live entertainment.
- H. Drive-through or drive-in establishments, excepting drive-in theaters which are strictly prohibited; provided a safe and efficient circulation system can be provided completely on-site.
- I. Game arcades; includes any establishment having five or more mechanical or electronic games of chance, skill or entertainment, whether as the primary use or in conjunction with another business, but excluding vending machines dispensing a product for sale.
- J. Gasoline dispensing establishments, subject to the provisions of Chapter 17.38 of the Zoning Ordinance.
- K. Hotels, motor inns, and motels.
- L. Motor vehicle, motorcycle and recreation vehicle sales; and service incidental to the sale of parts, but excluding major overhauls, painting, and body work.
- M. Mortuaries.
- N. Office condominiums.
- O. Outdoor sales and display incidental and accessory to a permitted use.
- P. Private non-commercial clubs and lodges.
- Q. Restaurants and eating places (excluding drive-ins and drive throughs or walk-ups) with outside eating areas or which operate between the hours of 10:00 p.m. and 7:00 a.m.
- R. Small animal veterinary clinics subject to the following addition to all other conditions of the Use Permit:
 1. Treatment of animals is restrict to dogs, cats and other small domesticated animals and birds.
 2. The operation shall be conduction in a completely enclosed and sound controlled building in such a way as to produce no objectionable noises or odors outside its walls.
 3. There shall be no outdoor runs or animal holding areas.

4. There shall be no boarding of animals other than as necessary for recuperation of patients.
 5. The clinic shall have direct access from the parking area.
- S. Structures exceeding the maximum height pursuant to "Building Height", below.

Prohibited Uses. It is recognized that certain uses are not appropriate in close proximity to residential uses. Therefore, the following uses are strictly prohibited within the "CH" District:

- A. Adult entertainment facilities subject to the provisions of Chapter 17.70 of the Zoning Ordinance.
- B. Escort bureaus
- C. Massage parlors.
- D. Pawn Shops.
- E. Drive-in theaters.
- F. Swap Meets.

Lot Area. The minimum lot area for new lots in the "C-H" District shall be 25,000 square feet net. Within centers which have Design Review approval pursuant to Chapter 17.82 and which share reciprocal facilities such as parking and access, smaller lots in the form of individual pads may be permitted - provided it can be shown that development on those lots can comply, with the exceptions of street frontage width, with all of the standards of this chapter.

Street Frontage Width. The minimum street frontage width of any new lot created in the "C-H" District shall be 100 feet.

Setbacks. The following minimum standards shall apply to all new construction in the "C-H" District:

- A. **Front:** The front yard setback for any building in the "C-2" District shall average twenty (20) feet but in no case shall be less than fifteen (15) feet.
- B. **Side and Rear Yard:** No setback shall be required from interior lot lines except adjacent to a public right-of-way or a residential use, in which case the minimum setback shall be fifteen (15) feet.

- C. Notwithstanding Subsections 1 and 2, the setback from a public right-of-way to a parking or driveway area may be ten (10) feet.

Building Height. Except as otherwise provided pursuant to "Uses Subject to a Conditional Use Permit" above, the maximum building height shall be forty-five (45) feet.

Landscape Improvements. All area not utilized for structures, parking, or other permitted uses shall be landscaped. In addition, the following minimum standards shall apply:

- A. **Adjacent to Streets:** A continuous area, a minimum of ten (10) feet in depth, shall be landscaped and maintained between parking area and the public right-of-way. Parking area should be screened as much as possible utilizing berms, shrubs, and other decorative treatments of sufficient size and height to meet this requirements.
- B. **Buffer Landscaping:** A continuous landscape buffer, a minimum of fifteen (15) feet in depth, shall be maintained adjacent to all interior property lines which abut residential uses. In addition, a solid block wall, a minimum of six (6) feet in height shall be constructed within this buffer to separate the commercial uses from the adjacent residential uses. At minimum, said buffer shall contain one (1), fifteen (15) gallon, non-deciduous, umbrella form tree for each thirty (30) lineal feet of boundary length. No structure or use, including parking, drive aisles, or trash enclosures, but excepting said six (6) foot high wall, shall encroach within this area.
- C. **Generally:** All building sites shall have a minimum landscaped coverage equivalent to the ten percent of the total lot area. Such landscaping shall be evenly distributed over the site and consist of an effective combination of trees, ground cover and shrubbery, which may include landscaping required for setbacks or buffers. A reduction in coverage may be sought and approved during the Design Review

process in recognition of quality design. For the purpose of this provision, quality considerations include the use of courtyards, atri-ums, creative use of ground floor public space, creative use of water elements, and the incorporation of sculpture or art work in the land-scape proposal.

Parking. The provisions of Chapter 17.66 of the Zoning Ordinance shall be used to determine the parking for development in the "C-H" District.

Signs. The provisions of the "Commercial Signage Program" in this document shall be used to determine permitted signs in the "C-H" District.

Design Review. No building permits shall be issued for the construction of any building or structure in the "C-H" District until the applicant has obtained Design Review approval pursuant to the provisions of Chapter 17.82 of the Zoning Ordinance.

Design Standards. Chapter 17.38 of the Zoning Ordinance contains non-residential development standards applicable to all projects within the City regardless of zoning district. It is therefore important that the provisions of Chapter 17.38 of the Zoning Ordinance be considered together with the regulations contained herein for the "C-H" District.

Floor Area Ratio. The maximum floor area ratio shall be .75.

"C-SP: COMMERCIAL - SPECIFIC PLAN DISTRICT"

Purpose. The intent of the "C-SP" District is to reserve appropriate locations consistent with the General Plan for certain categories of office, retail commercial, and light industrial uses that are relatively free of nuisance or hazardous characteristics and to protect these areas from intrusion by residential and other inharmonious uses. The "C-SP" uses will generally be located in the more visible areas of the Alberhill Ranch, such as adjacent to major thoroughfares and freeways. Furthermore, it is anticipated that "C-SP" uses will play an important role in establishing the perceived identity of the Alberhill Ranch from adjacent off-site freeways and major on-site thoroughfares. Accordingly, this Chapter also includes appropriate development criteria to assure a superior appearance of all structures and uses as well as provisions for the proper inclusion of landscaping and buffer features.

Permitted Uses. Uses permitted in the "C-SP" District shall include those businesses listed below which operate in compliance with the purpose, intent and standards of this district, are conducted entirely within a completely enclosed building, and maintain an exterior environment free from odor, dust, smoke, gas, noise, vibration, electromagnetic disturbance, and the storage of hazardous waste. Each business shall be evaluated in terms of its operational characteristics and specific site location.

- A. All permitted uses of the "C-1" Districts as contained within this document.
- B. Antique shops and auction galleries.
- C. Bowling alleys; provided they comply with the requirements of Chapter 17.66, Parking Requirements, in the Zoning Ordinance.
- D. Cabinet shops and furniture manufacture.
- E. Catering services.
- F. Ceramic products manufacture using only previously pulverized clay, and kilns fired by electricity or gas.
- G. Cold storage plants.
- H. Commercial kennels.
- I. Department stores.

- J. Die and pattern making.
- K. Electroplating.
- L. Equipment rental agencies.
- M. Floor covering shops.
- N. Furniture stores.
- O. Gas dispensing establishments subject to the provisions of Chapter 17.38 of the Zoning Ordinance.
- P. Home improvement centers.
- Q. Hotels, motor inns, and motels.
- R. Lawn mower repair shops.
- S. Machine shops.
- T. Manufacture, assembly, and repair of:
 1. Aircraft accessories and parts.
 2. Electronic equipment and components.
 3. Business machines.
 4. Electrical devices generally.
 5. Garments.
 6. Household appliances.
 7. Machine tools.
 8. Motor vehicles, farm equipment, motorcycle, recreational vehicles, boats and trailers and accessories and parts.
 9. Small miscellaneous consumer products.
- U. Manufacture and maintenance of signs and advertising structures.
- V. Offices for on-site management and leasing, provided they shall be directly related to and involved with the property on which they are located.
- W. Sale of motor vehicle, motorcycle and recreational vehicle parts and accessories and service incidental to the sale of parts.
- X. Second hand and thrift shops.
- Y. Service businesses similar to retail store which do not involve warehousing or storage, except accessory storage of commodities sold at retail on the premises.

- Z. Sheet metal shops.
- AA. Skating rinks; provided they comply with the requirements of Chapter 17.66, Parking Requirements, of the Zoning Ordinance.
- BB. Soils engineering and testing firms.
- CC. Theaters; provided they comply with the requirements of Chapter 17.66, Parking Requirements, of the Zoning Ordinance.
- DD. Upholstering shops.
- EE. Veterinary clinics.
- FF. Wholesale distribution.
- GG. Other uses that the Planning Commission finds by resolution to be in accord with the purpose of this Chapter and having characteristics similar to those uses listed in this Section. A list of these uses shall be maintained in the Planning Department for future reference.

For the purpose of clarification, industries which are involved with the following operations or processes and/or require a Use Permit pursuant to Section 17.60.030 in Chapter 17.60 of the Zoning Ordinance are not intended to be deemed as permitted uses in keeping with the purpose of the "C-SP" District:

1. The manufacture of: Acids; ammonia; asbestos; asphalt or products including roofing; babbitt metal; bleaching powder; bronze powder; carbon; dog and cat food; lamp-black or graphite; celluloid; cement; flammable gases; lime; gypsum; creosote or related products; disinfectant; emery cloth or sandpaper; explosives or their storage; fertilizer; gas; glucose; glue or size; lime or related products; linoleum; matches; cloth; paint; poisons; potash; ink; pulp or paper; rubber; starch; tar or related products; turpentine; vinegar; or yeast.
2. Operations which involve or resemble: Large blast, cupola or metal furnaces; coke ovens; dehydrators; distillation of bone; fat rendering; garbage; offal or dead animal disposal or reduction; incineration; reduction or dumping of offal, garbage or refuse; junk yards; refining of petroleum products; earth extraction industries and the processing or storage of the products therefrom; rolling mills; salvage enterprises or vehicle wrecking yards; sand blasting; smelting;

soap works; storage or bailing of junk, old metal, rags, rubber or paper; tannery; and wood distillation.

Uses Subject to a Conditional Use Permit. It is recognized that certain uses while similar in characteristics to "Permitted Uses" per this District may or have the potential to impact surrounding properties and therefore require additional approval and consideration. Such uses to be permitted in the "C-SP" District shall require Planning Commission review and approval of a Use Permit pursuant to Chapter 17.74 of the Zoning Ordinance and shall include the following:

- A. Any "C-SP" use proposed to be located on a parcel which is within 100 feet of the exterior boundaries of a residential district.
- B. Any use listed in "Permitted Uses" per this District which because of operational characteristics specific to the particular business or proposed location is found by the Director of Community Development to have the potential to negatively impact adjoining properties, businesses, or residents and, therefore, requires additional approval and consideration. Said impacts may be related to, but not necessarily limited to, impacts of traffic, hours of operation, assemblages of people, noise, or site location.
- C. Uses permitted subject to a Use Permit in the "C-1" District as contained in this document.
- D. Bus depots and transit stations.
- E. Business colleges and professional schools.
- F. Car washes.
- G. Churches.
- H. Dance halls, discotheques, or any establishment providing live entertainment.
- I. Headquarter and administrative offices with a minimum total floor area of 30,000 square feet for a single user and provided they comply with all development standards of Chapter 17.40, "C-O" District, of the Zoning Ordinance including parking requirements.
- J. Health clubs, racquetball and indoor tennis courts, and similar related facilities where they occupy a minimum of 20,000 square feet of building area.

- K. Heavy equipment sales and rental.
- L. Mini-storage or mini-warehouses.
- M. Motor vehicle, motorcycle and recreational vehicle sales; and service incidental to the sale of parts but excluding major overhauls, painting and body work.
- N. Outdoor sales and display incidental and accessory to a permitted use.
- O. Recreational vehicle storage yards, provided that there shall be a minimum twenty (20) foot landscaped setback from all streets and yards shall be screened from all public thoroughfares by a decorative, solid masonry wall a minimum of six (6) feet in height, as measured from the highest grade elevation from either side of the wall.
- P. Recycling centers, not including automobile salvage or dismantling.
- Q. Research offices and laboratories for the conduct of scientific research involving design, fabrication, and testing of prototypes and the performance of environmental tests.
- R. Structures exceeding the maximum height permitted per this District.
- S. Trade schools and industrial training centers.
- T. Restaurants and eating places.

Accessory Uses. The following accessory buildings and uses may be located on the same lot in conjunction with a permitted use, provided that they remain clearly incidental and secondary to the primary use, are found to be compatible with the character of the business district in which they are located, and that any building or structures are harmonious with the architectural style of the main building(s). No accessory structure shall be located in a front setback area.

- A. Outdoor storage areas subject to the following:
 1. Outdoor storage areas shall be permitted only in conjunction with and as an integral aspect of a permitted use and shall not be the primary use of the property.
 2. All storage yards shall be enclosed on all sides with a screen a minimum of six (6) feet in height as measured from the highest grade elevation either side of the screen. The screen shall be a decorative, solid

masonry wall; except chain link with redwood or cedar slats or wood fencing may be permitted where the storage yard is not visible from a public thoroughfare.

3. No materials shall be stored higher than the screen.
 4. Storage areas shall not encroach upon parking, landscaping, drive aisles, required truck loading areas or required yard areas.
 5. No storage of scrap, waste or other material not utilized in the production process is permitted.
 6. No storage area shall be located within fifty (50) feet of a property upon which there is a residential use.
- B. General offices.
- C. Guard offices; excluding those with living facilities.
- D. Employees' cafeterias.
- E. Retail sales or products produced on the premises and incidental retail sales relevant to businesses permitted in "Permitted Uses" and "Uses Subject to a Conditional Use Permit" per this District.
- F. Showroom for exhibition of products produced on the premises or available for wholesale distribution.

Lot Area. The minimum lot area for new lots in the "C-SP" District shall be 20,000 square feet net. Industrial condominiums or planned unit developments may have smaller lot areas provided they are master planned and share reciprocal facilities such as parking and access and provided it can be shown that development upon those lots can comply, with the exception of street frontage width, with all of the standards of this Chapter.

Street Frontage Width. The minimum street frontage width of any new lot created in the "C-SP" District shall be 100 feet.

Setbacks. The following minimum standards shall apply to all new construction in the "C-SP" District:

- A. **Front:** The front yard setback for any building in the "C-SP" District shall average twenty (20) feet but in no case shall be less than fifteen (15) feet.

- B. Side and Rear Yard: No setback shall be required from interior lot lines except adjacent to a public right-of-way or a residential use, in which case the minimum setback shall be the same as required for the front yard setback.
- C. Notwithstanding Subsections 1 and 2, the setback from a public right-of-way to a parking or driveway area may be ten (10) feet.

Building Height. Except as otherwise provided per "Uses permitted Subject to a Conditional Use Permit" in this District, the maximum building height shall be forty-five (45) feet.

Landscape Improvements. All area not utilized for structures, parking, or other permitted uses shall be landscaped. In addition, the following minimum standards shall apply:

- A. Adjacent to Streets: A continuous area, a minimum of ten (10) feet in depth, shall be landscaped and maintained between parking area and the public right-of-way. Parking areas should be screened as much as possible utilizing berms, shrubs, and other decorative treatments of sufficient size and height to meet this requirement.
- B. Buffer Landscaping: A continuous landscape screen, a minimum of fifteen (15) feet in depth, shall be maintained adjacent to all interior property lines which abut residential uses. In addition, a solid block wall, a minimum of six (6) feet in height shall be constructed within this buffer to separate the commercial uses from any adjacent residential uses. At minimum, said buffer shall contain one (1), twenty-four inch (24") box, non-deciduous, umbrella form tree for each thirty (30) lineal feet of boundary length. No structure or use, including parking, drive aisles, or trash enclosures, but excepting said six (6) foot high wall, shall encroach within this area.
- C. Generally: All building sites shall have a minimum landscaped coverage equivalent to the eight percent (8%) of the total lot area. Such landscaping shall be evenly distributed over the site and consist of an effective combination of trees, ground cover and shrubbery, which may include landscaping required for setbacks or buffers. A reduction in coverage may be sought and approved during the Design Review process in recognition of quality design. For the purpose of this provision, quality considerations include the use of ground floor public space, creative use of water

elements, and the incorporation of sculpture or art work in the landscape proposal.

Lots of Record. Existing lots of record as of the date of adoption of this ordinance (August 26, 1986), which do not comply with the required minimum lot standards contained herein may be used as a building site for a permitted use, provided the development complies with all other development standards and criteria contained herein.

Parking. The provisions of Chapter 17.66 of the Zoning Ordinance shall be used to determine the parking for development in the "C-SP" District.

Signs. The provisions of Chapter 17.94 of the Zoning Ordinance shall be used to determine permitted signs in the "C-SP" District.

Design Review. No building permits shall be issued for the construction of any building or structure in the "C-SP" District until the applicant has obtained Design Review approval pursuant to the provisions of Chapter 17.82 of the Zoning Ordinance.

Design Standards. Chapter 17.38 of the Zoning Ordinance contains non-residential development standards applicable to all projects within the City regardless of zoning district. It is therefore important that the provisions of Chapter 17.38 of the Zoning Ordinance be considered together with the regulations contained herein for the "C-SP" District.

Floor Area Ratio. The maximum floor area ratio shall be 2.0.

"PUBLIC FACILITIES AND OPEN SPACE DISTRICT"
(Includes OS, JHS, ES/P, and P Zoning Designations)

Purpose. The intent of the "Public Facilities and Open Space" District is to reserve land for public park, school, and recreation uses; and to secure natural open space as a permanent public resource, in order to protect the public health, safety, and welfare and preserve environmental and scenic resources.

Establishment. Land placed in the "Public Facilities and Open Space" District shall include land under public or private ownership as follows:

- A. Parks, picnic grounds, and playgrounds, including neighborhood and community parks.
- B. Game courts, including tennis, racketball, and basketball.
- C. Athletic fields.
- D. Parking lots.
- E. Primary and secondary schools, both public and private.
- F. Drainage or flood control channels, creeks, rivers, lakes and floodplains, including riparian habitat areas.
- G. Land which would endanger the health, safety, and public welfare of the residents, to include:
 - 1. Areas where terrain is too steep to build upon or where grading of the land may endanger public health and safety due to erosion by flooding,
 - 2. Areas subject to flooding or inundation from storm water,
 - 3. Geologically unstable areas, and,
 - 4. Greenbelt areas which are formed by land development by preserving the land as a natural area.
- H. Areas of outstanding cultural or historical value or significance.
- I. Areas of outstanding natural, biological, or scenic value or significance.

Permitted Uses.

- A. No building or land shall be used, and no building or structure shall be designed, erected, structurally altered or enlarged except for the following purposes:
1. Drainage channels, bridges or crossings, watercourses, spreading grounds, settling basins, freeways, parkways, public streets, park drives, utility access roads, hiking/riding trails, and fire lanes.
 2. Privately owned or public recreational areas, parks, picnic grounds, playgrounds, wildlife preserve, and such buildings and structures as are related thereto, but permitting no commercial uses.
 3. Game courts, including tennis, racketball, and basketball courts.
 4. Athletic fields.
 5. Parking lots.
 6. Equestrian facilities, including trails, riding stables, showgrounds and competition facilities.
 7. Primary and secondary schools, both public and private.
 8. Utility facilities, such as pump stations, transmission towers, water reservoirs, substations, and similar structures.
 9. Wildlife or wilderness preserves.
 10. Agricultural uses provided an agreement between the City and the land owner can be made which will allow the land owner to operate under the California Land Conservation Act.
 11. Similar uses to those listed in this section, which in the opinion of the Planning Commission, would not be detrimental or incompatible with the intent and purpose of this zone, as set forth herein.
- B. Uses prohibited in the "Public Facilities and Open Space" District:
1. Residential uses.
 2. Commercial uses, other than those incidental to recreational uses permitted in "Permitted Uses", above.

3. Industrial uses.

Lot Area. There is no minimum lot size requirement.

Street Frontage Width. There is no minimum street frontage width, provided that each lot or parcel containing a school building or structure shall have a width of not less than sixty (60) feet at the building setback line. There is no width requirement for open space or park lots or parcels or for those lots or parcels used for drainage or other related uses.

Setbacks. There are no yard requirements for buildings which do not exceed thirty-five (35) feet in height. Any portion of a building which exceeds thirty-five (35) feet in height shall be setback from the front, rear and side lot lines not less than two (2) feet for each foot by which the height exceeds thirty-five (35) feet. The front setback shall be measured from the master plan roadway right-of-way line. The rear setback shall be measured from the existing rear lot line or from any recorded alley or easement; if the rear line adjoins a street, the rear setback requirement shall be the same as required for a front setback. Each side setback shall be measured from the side lot line, or from a master plan roadway right-of-way line.

Building Height. No building shall exceed twenty-five (25) feet in height or more than one-story, except for public and private school buildings and structures which shall not exceed fifty (50) feet in height or four stories.

Lot Coverage. No structure shall be permitted except accessory buildings or those structures related to public park and recreation facilities or utilities. In no case shall buildings or structures exceed thirty (30) percent of the total area in use.

Parking. The provisions of Chapter 17.66, "Parking Requirements", of the Zoning Ordinance shall be used to determine the parking for development in the "Public Facilities and Open Space" District.

Mechanical Equipment. All roof-mounted mechanical equipment, satellite dishes, tanks, ducts, elevator enclosures, cooling towers, or mechanical ventilators shall be screened from the round elevation view by architectural elements such as parapets, etc., to a minimum sight distance of 1,320 feet.

Design Review. All structures, parking facilities, or storage lots and grading operations within this district shall be subject to Planning Commission approval, and shall comply with all provisions of Chapter 15.64, Flood Hazard Areas, and Chapter 15.68, Floodplain Management, of the Zoning Ordinance.

Before any building permit shall be issued or any conditional use permit, or variance, or conditional exception shall be approved, the City Engineer shall first approve any and all permits and uses.

IX. DESIGN GUIDELINES

A. GENERAL GUIDELINES, PURPOSE AND THEME

In the planning of Alberhill Ranch, careful thought has been given to the integration of structural and aesthetic elements of a balanced, active community. To ensure that this carefully considered plan is implemented in a manner that will bring Alberhill Ranch a sense of its own character and ambiance, a central theme has been devised. It is intended that this theme be expressed in coordination with the project setting, which serves as the basis around which key elements of the community can be developed.

The intent in conceiving a theme for Alberhill Ranch is to establish an environment that responds to the rural setting of the outlying Lake Elsinore area. Alberhill Ranch should thus reflect or draw upon a "rural California ranch" theme which allows for a harmonious blend of Mediterranean architecture and the historical landscape elements of Southern California.

This theme can be reflected in the architecture, landscaping, entry treatments, and signage of the project.

Specific project-wide design goals and objectives are as follows:

1. To provide the City of Lake Elsinore with the necessary assurance that the Specific Plan area will develop in accordance with the quality and character proposed herein;
2. To provide guidance to developers, builders, engineers, architects, landscape architects, and other professionals in order to maintain the desired design quality;
3. To provide guidance to City staff, the Planning Commission and the City Council in the review of future development projects in the Specific Plan area;
4. To provide guidance in the formulation of Covenants, Conditions and Restrictions for the use of land in the Specific Plan area; and
5. To provide guidance in the formulation of concise development guidelines for the various planning areas within the Specific Plan boundaries.

The guidelines provided herein are intended to be dynamic, to be flexible and to be illustrative in nature. Over time, they may respond to unanticipated conditions, such as changes in taste, community desires and the marketplace.

B. LANDSCAPING GUIDELINES

1. Landscaping Goals and Objectives:

- a. To reduce emphasis on vehicular impact by careful placement of roads and parking lots, and screening of same from view.
- b. To emphasize pedestrian access and circulation, especially between and around roads and buildings.
- c. To accommodate walkways by such treatments as arcades, trellises, courts, and canopies, accented with street furnishings and pedestrian-scale lighting.
- d. To use repetition of details, with variation, to tie buildings together.

2. Entry Statements:

a. Concept

In designing the land use plan for Alberhill Ranch, it was intended that a sense of arrival be created and that the overall theme of the project be established. The major entry roads to the community (Lake Street, Nichols Road, and Robb Road) will have monumentation signifying entry into the project. The intersections of Lake Street/Robb Road and Coal Road and Nichols Road are then intended to be community arrival points, establishing a thematic stage of grand arrival to the community. Project and neighborhood entries would establish the sense of arrival on a more specific locational basis. As described in the following section, these entries and arrivals will serve as logical statement points for the community's overall theme. The entries, along with the overall landscape concept, are shown in Exhibit 24.

b. Community Entries

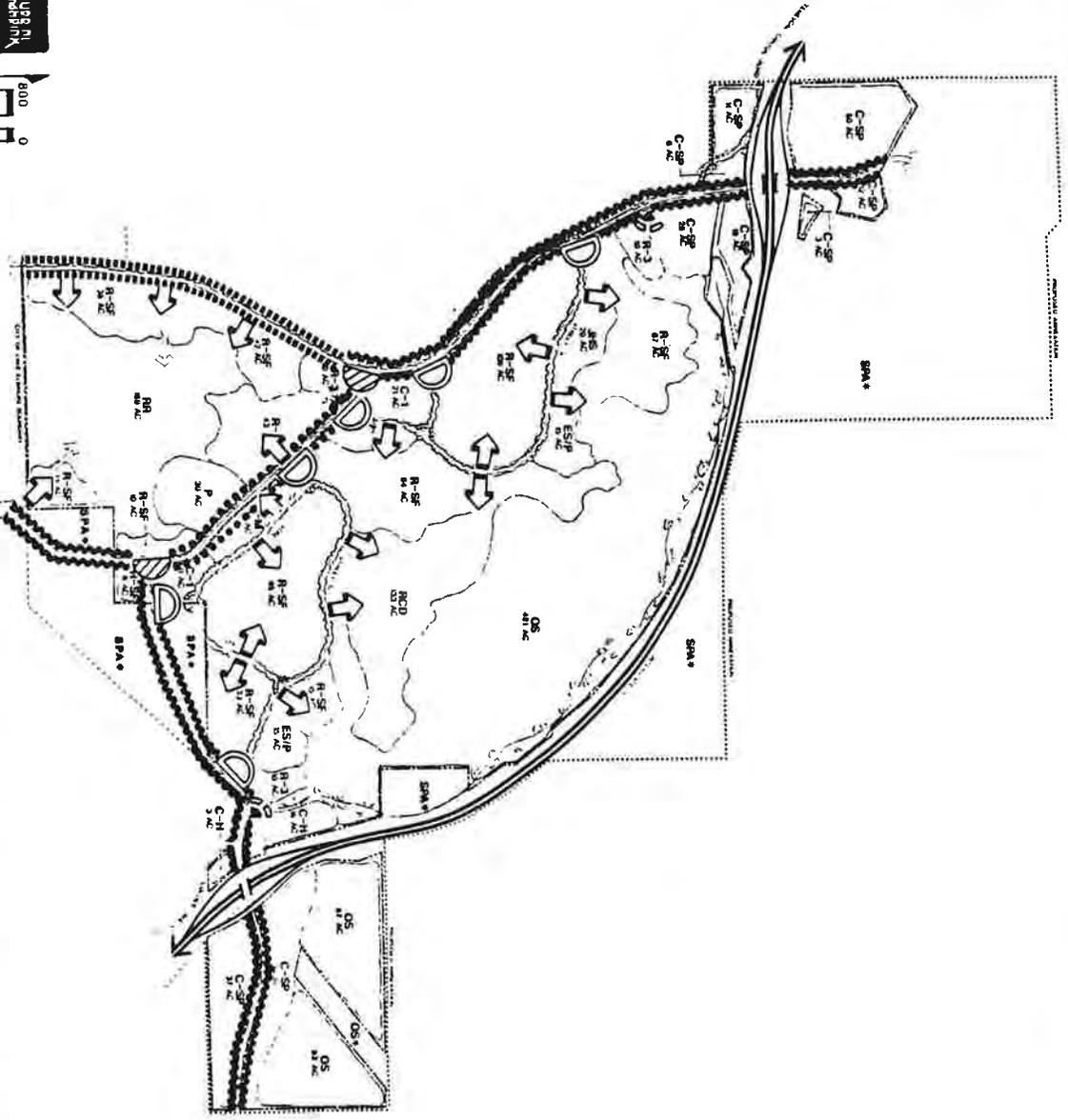
In order to establish a "sense of arrival" to the Alberhill Ranch community, Community Entries would be located at Lake Street, Robb Road, and Nichols Road, as shown in Exhibit 24. A formal arrangement of large theme trees with a theme wall as backdrop is combined with flowering shrubs and community signage. A detail of the Community Entry is shown in Exhibit 25.

c. Community Arrivals

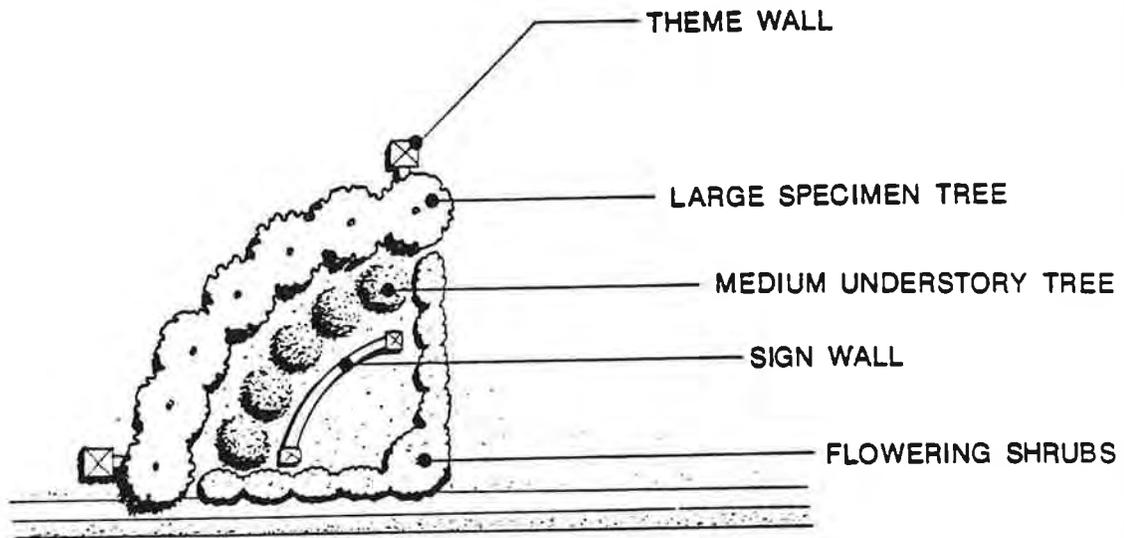
The Community Arrival statements serve as arrival points to the main project community. These formally set the theme for the community and are located at the Lake

EXHIBIT 24
Landscape Concept

- Legend**
-  COMMUNITY ARRIVAL
 -  COMMUNITY ENTRY
 -  PROJECT ENTRY
 -  NEIGHBORHOOD ENTRY
 -  FORMAL LANDSCAPE TREATMENT
 -  INFORMAL LANDSCAPE TREATMENT
 -  SEMI-FORMAL LANDSCAPE TREATMENT



Alberhill Ranch
 LONG BEACH EQUINES, INC.



LAKE STREET OR NICHOLS ROAD

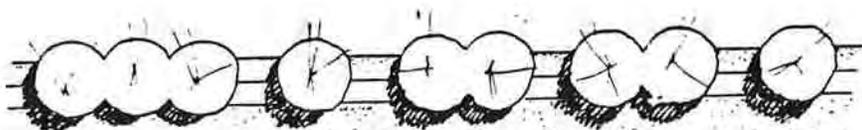


EXHIBIT 25

Community Entry

Alberhill Ranch

LONG BEACH EQUITIES, INC



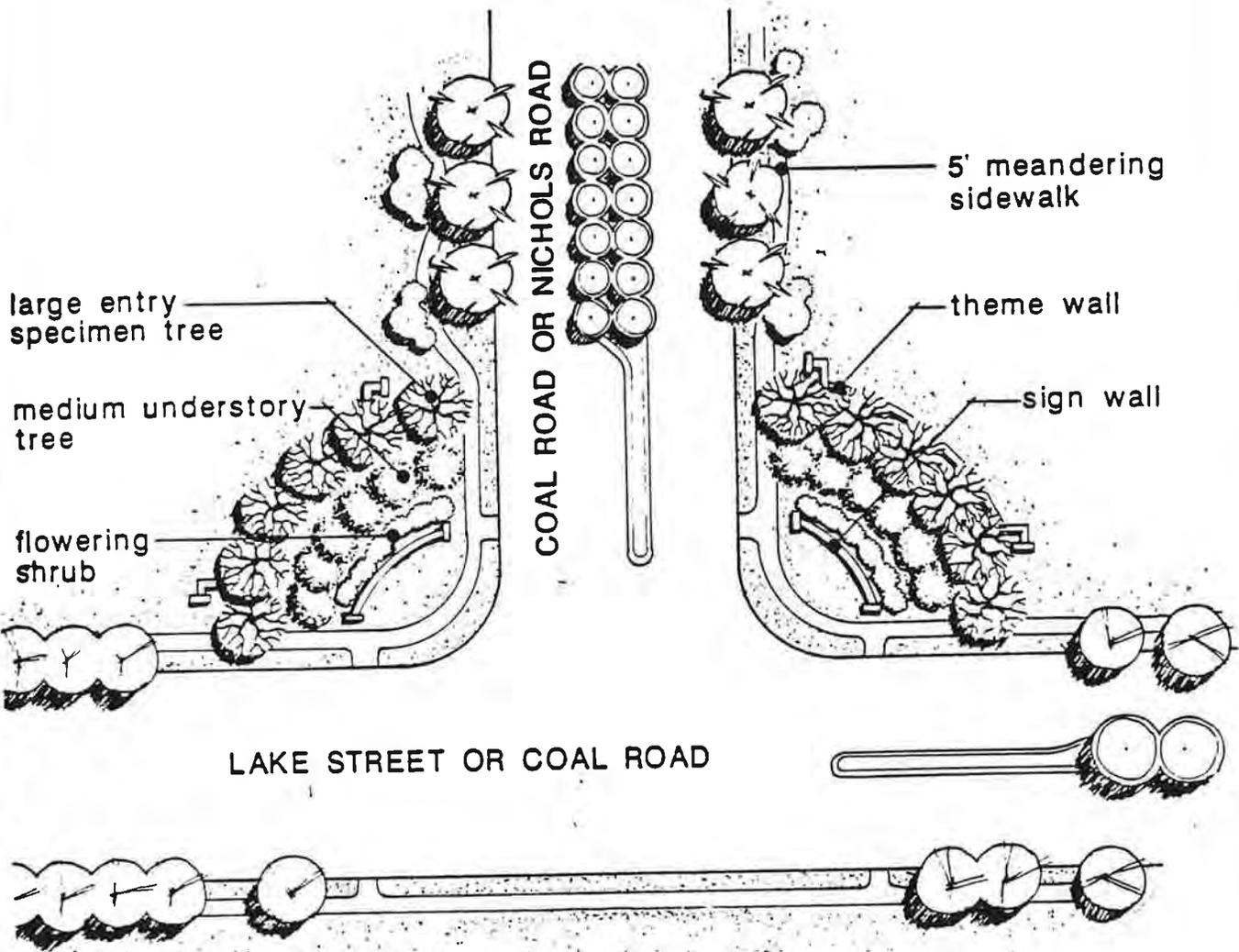


EXHIBIT 26

Community Arrival

Alberhill Ranch

LONG BEACH EQUITIES, INC



Street/Coal Road and Coal Road/Nichols Road intersections, as shown in Exhibit 24. The concept for these arrival areas utilizes a formal arrangement of large specimen theme trees against a theme wall backdrop. A foreground of medium understory trees is combined with flowering shrubs and mounded turf to complete the treatment. Exhibit 26 shows the Community Arrival detail.

d. Project Entries

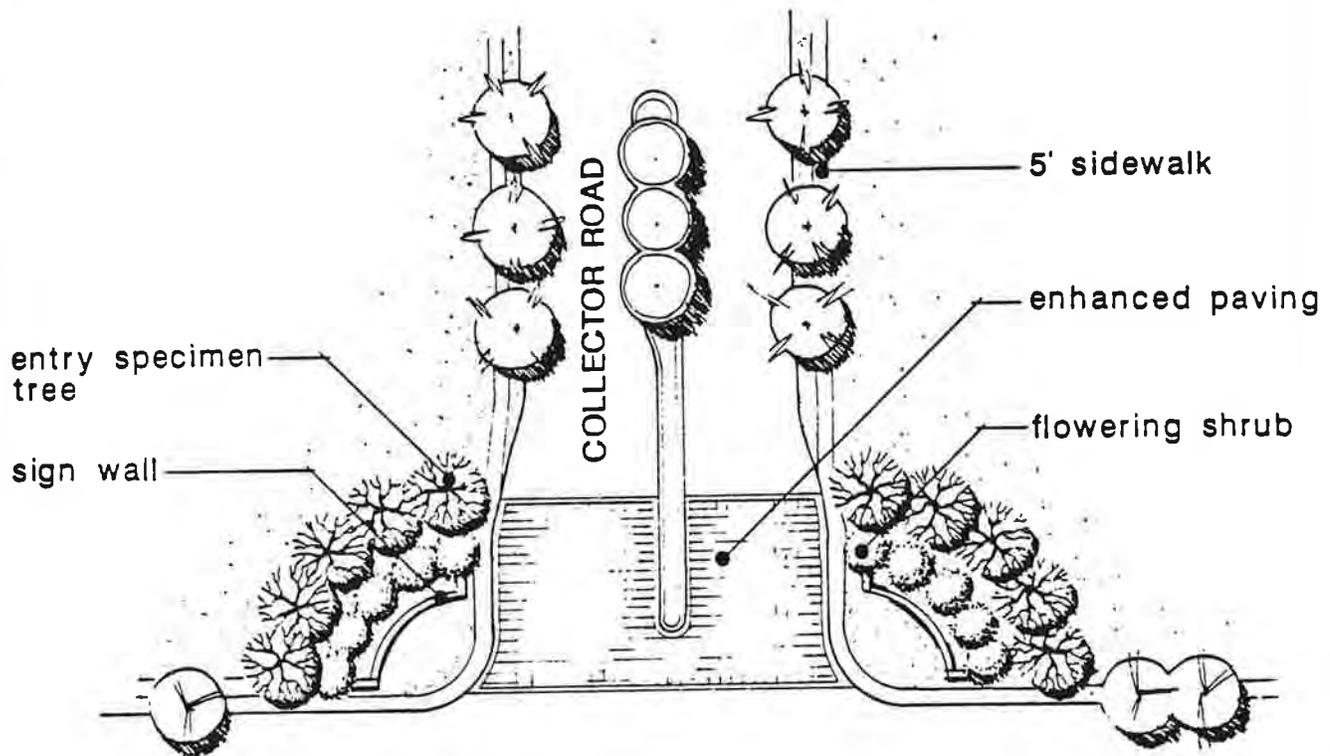
Entry into the actual project areas is signified by the Project Entries. Overall, the project entries shall provide focus for and identification of the individual project it promotes. Relations to pedestrian scale and provisions for plaza spaces designed in concert with building entrances are also important site planning considerations.

The Project Entries are located along Coal Road, Lake Street and Nichols Road, as shown in Exhibit 24. These carry the same theme as the Community Arrivals, with the formal planting of specimen theme trees as a backdrop. Project signage with flowering shrubs for accent color and turf mounding complete the treatment. Exhibit 27 shows typical detail for the Project Entries.

e. Neighborhood Entries

The entries into the various specific residential neighborhoods are signified by the Neighborhood Entries. Locations for these are shown on Exhibit 24.

These entries are similar to the Project and Community Entries for continuity, yet allow for neighborhood and product individuality. Exhibit 28 shows the detail of a typical Neighborhood Entry, the theme of which can be best articulated with the particular plant materials and signage chosen which may vary substantially from neighborhood to neighborhood.



MAJOR HIGHWAY



EXHIBIT 27

Project Entry

Alberhill Ranch

LONG BEACH EQUITIES, INC



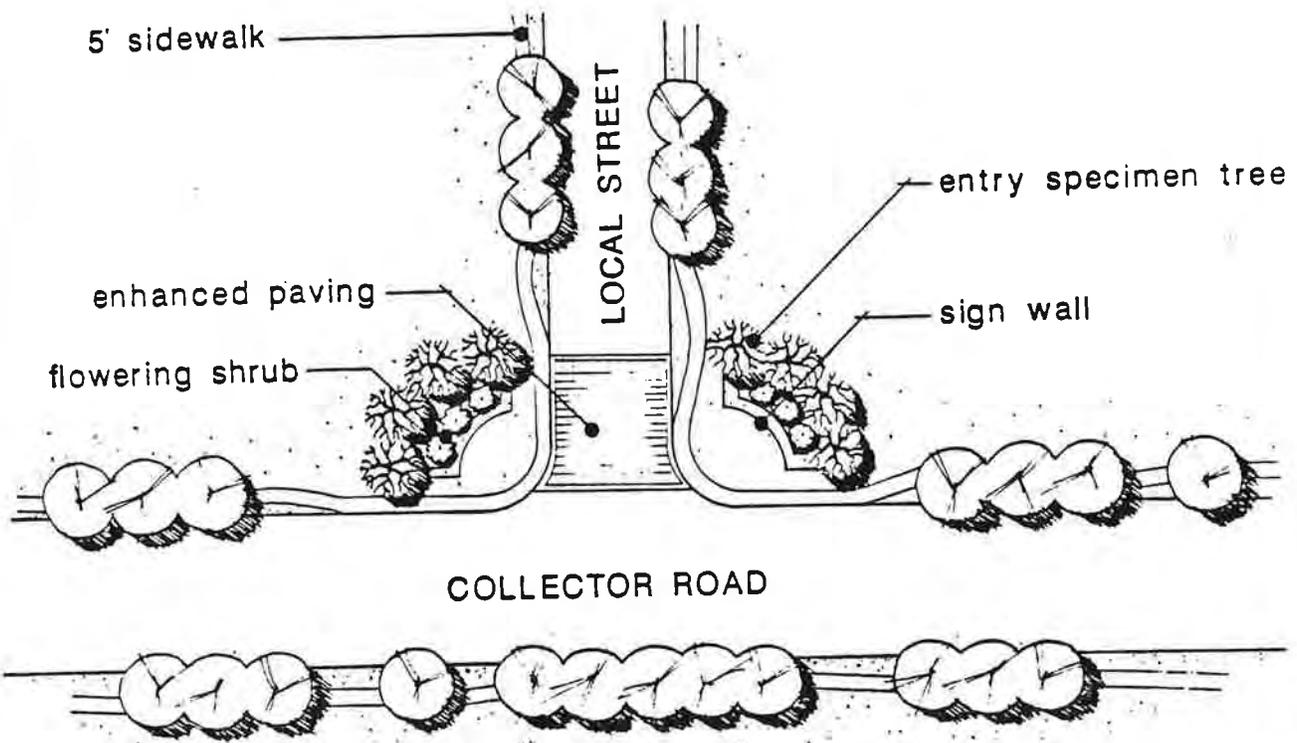


EXHIBIT 28

Neighborhood Entry

Alberhill Ranch

LONG BEACH EQUITIES, INC



3. Streetscapes

a. Concept

A definitive street hierarchy has been established in order to present a clear distinction between the relative level of streets and to emphasize certain key aspects of each corridor in Alberhill Ranch. This recommended hierarchy is depicted in general format terms in the Landscape Concept, Exhibit 24. This hierarchy will, in part, be established by the street landscaping, which has been chosen to reflect the project's overall "rural California ranch" theme. Careful consideration of the relationship between street and plant material characteristics such as size, form, texture and color will help establish a character that will reinforce this theme.

b. Arterial Highway (Robb Road)

A semi-formal landscape concept is proposed for Robb Road and is shown in detail on Exhibit 29. The landscape concept consists of informal groupings of evergreen and deciduous trees in the parkways, along with a formal planting of medium evergreen trees in the median. This will be combined with an understory of ground cover and low shrubs.

c. Major Highway with Expanded Median and Parkways (Coal Road)

The landscape concept for Coal Road is to create a formal landscaped major highway that will function as a central boulevard or "community collector" for the project. Formal groupings of large, conical evergreen trees will be planted in a formal arrangement in the expanded median while formal groupings of large spreading evergreen and deciduous trees are planted in the expanded parkways. An understory of ground cover and low shrubs will complete the treatment. Details of the landscape concept are shown in Exhibit 29.

d. Major Highway (Lake Street, Nichols Road)

The major highways of Lake Street and Nichols Road, function as the entry roads into the community. The landscape concept will be informal which will transition to the formal theme of Coal Road at the intersection arrival points. Informal groupings of medium evergreen canopy trees will be planted in the 12 foot median and deciduous and evergreen trees will be planted in the parkways. Exhibit 29 shows the major highway landscape detail.

- e. Secondary Highways (Temescal Canyon Road, Lake Street North of I-15 and Terra Cotta Road) and Collector Streets (Streets A, B, C, D, E and F).

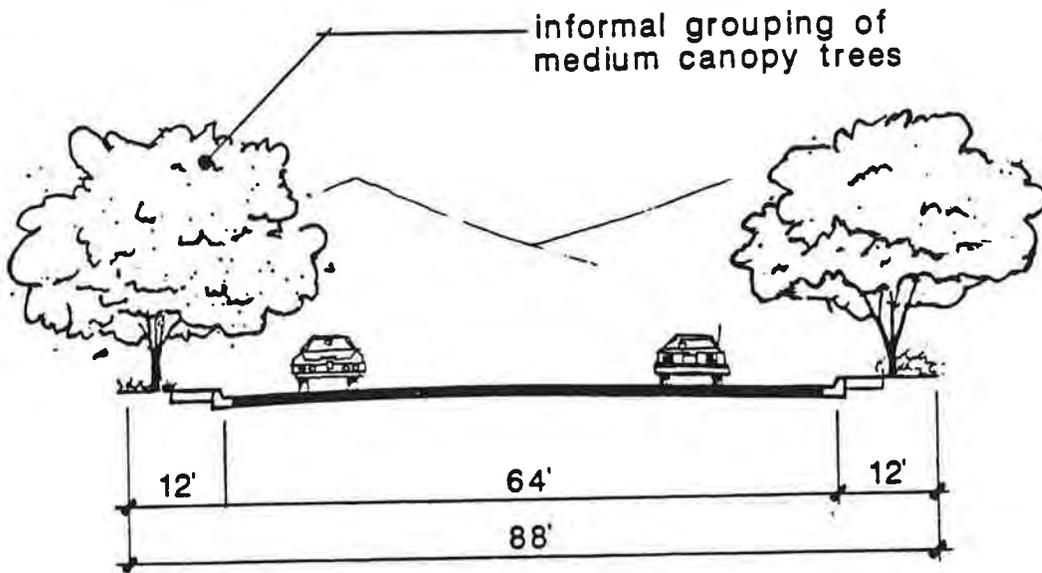
The Secondary Highways and Collector Streets within Alberhill Ranch are informal and pedestrian oriented. Groupings of canopy and conical shade trees are to be regularly spaced within beds of ground cover and will provide a canopy over the sidewalks, creating a pleasant pedestrian environment. The use of different species of trees in each street can also uniquely identify various streets within the project. Landscape details for Secondary Highways and Collector Streets are shown in Exhibit 30.

- f. Major with Adjacent Equestrian Trail (Lake Street)

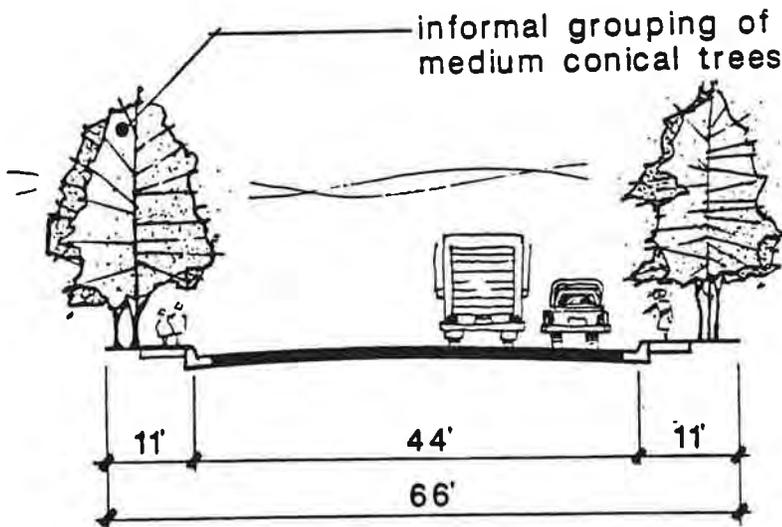
Lake Street, from the point of connection of the Walker Canyon Equestrian Trail north to the Interstate-15 interchange will contain an equestrian trail, within the right-of-way. It has been designed to comply with Riverside County Parks Department standards.

- g. Secondary with Adjacent Equestrian Trail (Lake Street)

North of the Interstate-15 interchange, Lake Street will be designed as a Secondary Roadway with an adjacent equestrian trail. Again, the equestrian trail has been designed in compliance to Riverside County Parks Department standards. In conjunction with the proposed Walker Canyon equestrian trail, this trail will provide a link to the proposed County equestrian/Hinking trail system.



SECONDARY HIGHWAY
 [TEMESCAL CANYON ROAD]
 [TEMESCAL CANYON ROAD AND TERRA COTTA ROAD, SOUTH OF NICHOLS ROAD]



COLLECTOR STREET
 [STREET A, STREET B, STREET C, STREET D, STREET E & STREET F]

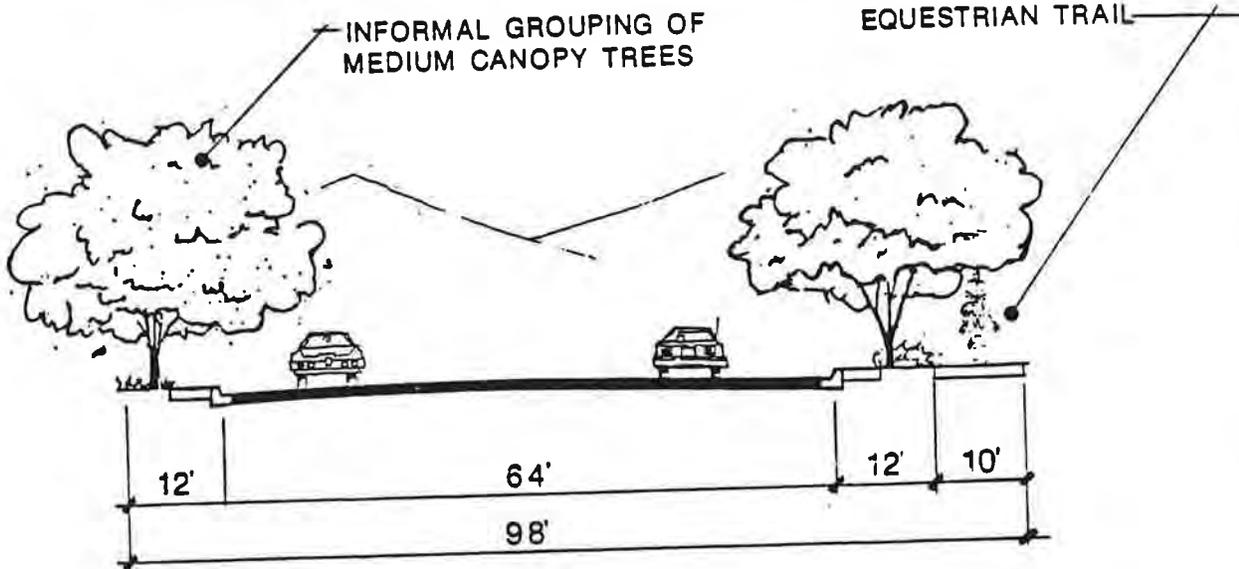
EXHIBIT 30

Landscaped Street Cross Sections

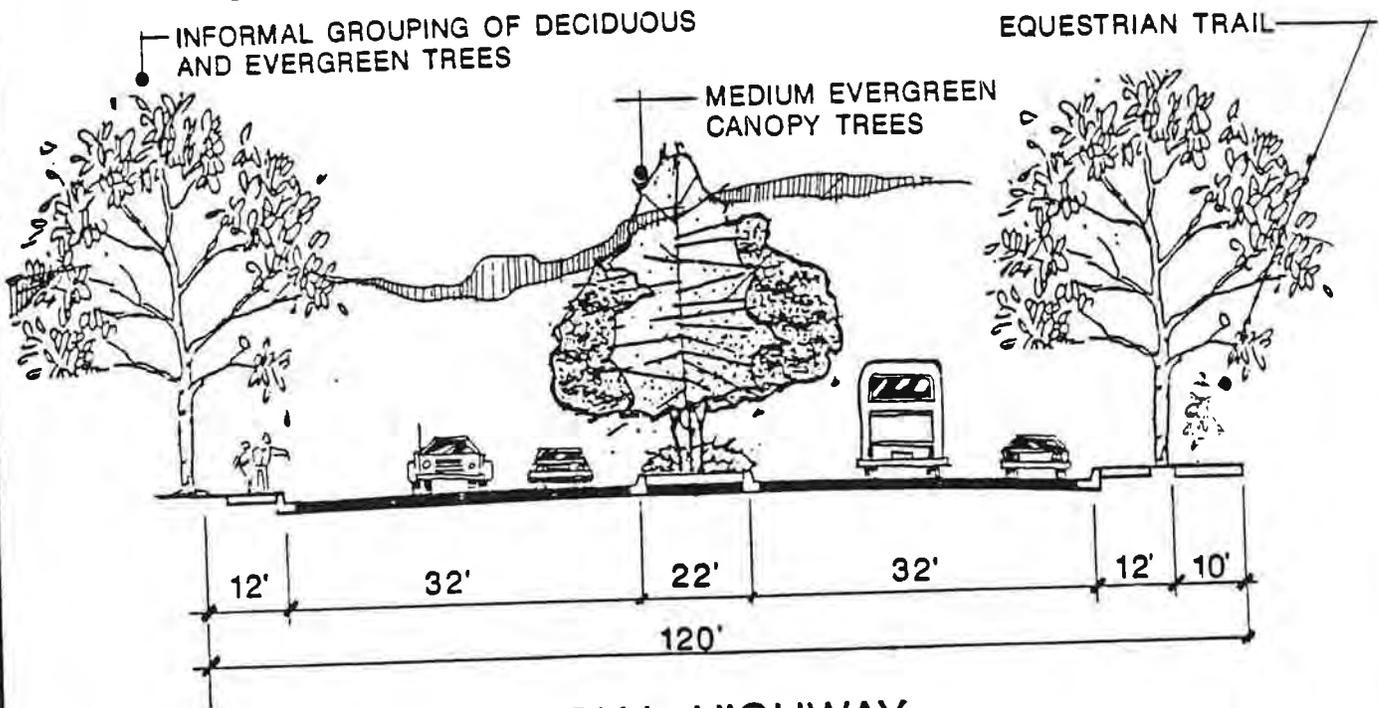
Alberhill Ranch

LONG BEACH EQUITIES, INC





SECONDARY HIGHWAY
WITH ADJACENT EQUESTRIAN TRAIL
[LAKE STREET NORTH OF INTERSTATE 15]



ARTERIAL HIGHWAY
WITH ADJACENT EQUESTRIAN TRAIL
[LAKE STREET IMMEDIATELY SOUTH OF INTERSTATE 15]

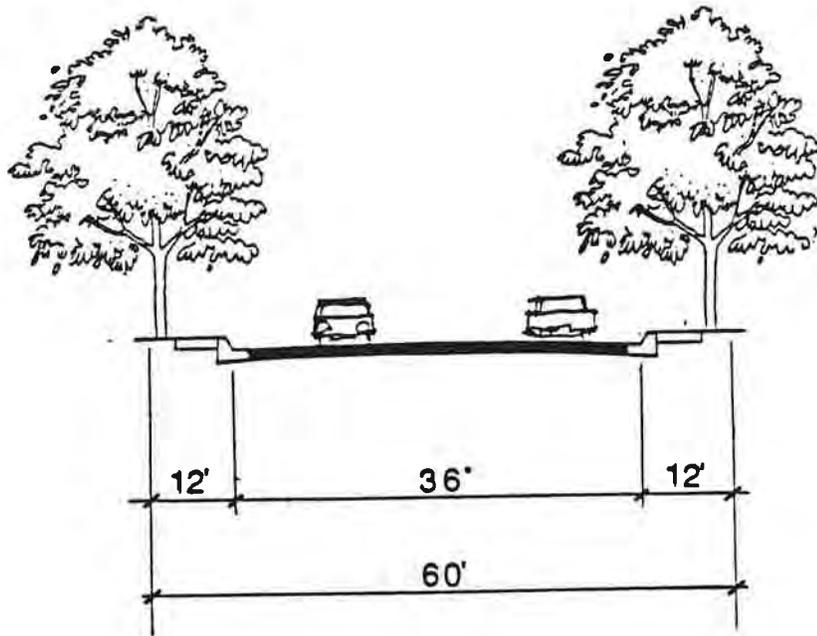
EXHIBIT 30A

Landscaped Street Cross Sections

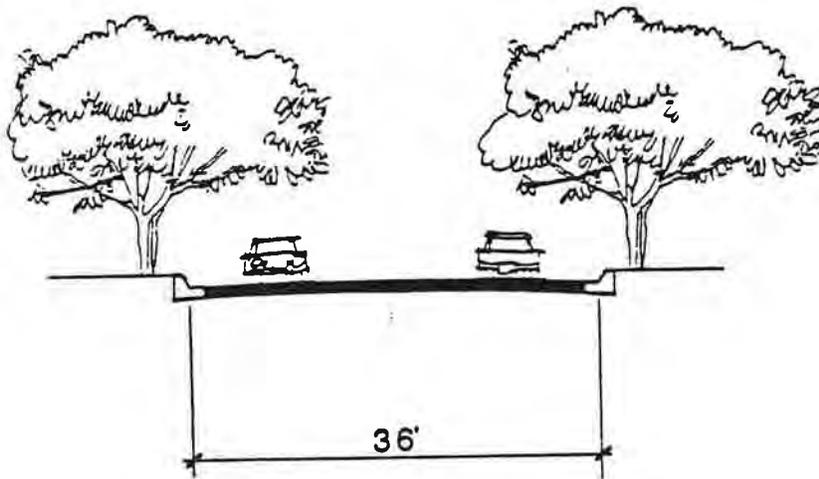
Alberhill Ranch

LONG BEACH EQUITIES, INC





LOCAL STREET



PRIVATE STREET

EXHIBIT 30B

Landscaped Street Cross Sections

Alberhill Ranch

THE LONG BEACH EQUITIES, INC



4. Landscaping Standards & Requirements for Commercial, Industrial and Office Developments

Prior to the issuance of any Building Permits, detailed landscape and irrigation plans shall be reviewed and approved by the City's Design Review criteria as discussed in Chapter 17.82 of the City's Zoning Ordinance. Whenever one of the following standards or regulations conflicts with a standard or regulation per City code, the more stringent shall apply.

- a. There shall be a minimum of 15% of the overall site area landscaped with trees, shrubs and ground covers. Off-site public rights-of-way, provided that they are contiguous with site landscaping, can be counted as a part of the overall required landscape area;
- b. For all landscaped area(s), plus any off-site public rights-of-way required for these developments, there shall be a permanent automatic irrigation system installed. Temporary irrigation systems may be used at the applicant's discretion for temporary landscaping on any undeveloped areas of the project;
- c. Low plantings of ground cover, turf, or annual color shall be used on combination with the foreground. When turf is used with other plantings, it shall be separated with a mow strip of concrete, redwood header, or other substantial material;
- d. All landscaping shall be maintained in a manner which allows the landscaping to improve and mature over the years. Any landscape materials that die due to natural or unnatural causes shall be replaced within thirty (30) days of a written notice from the City of Elsinore to the property/owner and/or lessee;
- f. Trees should be double-staked and maintained until the tree materials are strong enough to withstand the normal area winds. Annual color plantings shall be replaced immediately upon decline; and
- g. Required landscaping shall be maintained in a neat, clean, and healthy condition. This includes pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacement of plant materials where necessary, and the regular watering of all plant material.

5. Suggested Plant Palette

Plants for the Alberhill Ranch Specific Plan environment should be selected for stress durability, drought tolerance, adaptability to soil type, suitability for the climate, speed of growth, and regeneration from damage. The list below includes suggested plants that are suitable for the Lake Elsinore region and may be used throughout Alberhill Ranch. This plant palette is not intended to be comprehensive, but is presented as a guide for developers, builders, and landscape architects within the Alberhill Ranch. Final plant materials are not limited to the list below and will be selected during preparation of working drawings for each individual project.

Trees

Acacia melanozylon - Black Acacia
Albizia julibrissin - Albizia
Arecastrum romanzoffianum - Queen Palm
Cercidium floridum - Paloverde
Cercis occidentalis - Red Bud
Eucalyptus spp. - Eucalyptus
Fraxinus velutina - Arizona Ash
Fraxinus x. 'Modesto' - Modesto Ash
Gleditsia triancanthos - Honey Locust
Jacaranda acutifolia - Jacaranda
Lagerstroemia indica - Crepe Myrtle
Liquidambar styraciflua - Sweet Gum
Phoenix canariensis - Canary Island Date Palm
Pinus canariensis - Canary Island Pine
Pinus pinea - Stone Pine
Pistacia chinensis - Chinese Pistache
Pittosporum phillyraeoides - Willow Pittosporum
Platanus acerifolia - London Plane
Platanus racemosa - California Sycamore
Schinus molle - California Pepper
Ulmus parvifolia - Evergreen Elm
Washingtonia robusta - Mexican Fan Palm

Shrubs

Abelia 'Edward Goucher' - Edward Goucher Abelia
Agapanthus africanus - Lily of the Nile
Baccharis pillularis - Coyote Bush
Euonymus fortunei - N.C.N.
Genista hispanica - Spanish Broom
Heteromeles arbutifolia - Christmas Berry
Ligustrum lucidum - Glossy Privet
Ligustrum japonicum - Japanese Privet
Mahonia aquifolium - Oregon Grape
Myrtus communis - True Myrtle
Nandina domestica - Heavenly Bamboo

Shrubs (continued)

Nerium oleander - Oleander
Photinia fraseria - Photinia
Pittosporum tobira
'Wheeler's Dwarf' - Mock Orange
Rosa Banksiae - Lady Banks' Rose
Veronica spp. - Speedwell
Xylosma congestum - Xylosma

Ground Covers and Vines

Ajuga reptans - Carpet Bugle
Ampelopsis brevipedunculata - Blueberry Climber
Bougainvillea spp. - Bougainvillea
Cerastium tomentosum - Snow-in-Wummer
Festuca ovina glauca - Blue Fescue
Gazania spp. - Gazania
Lobularia maritima - Sweet Alyssum
Lonicera japonica - Japanese Honeysuckle
Oenothera missouriensis - Evening Primrose
Santolina chamaecyparissus - Lavender Cotton
Trachelospermum Jasminoides - Star Jasmine
Vinca major - Periwinkle

6. Landscape Setbacks: Adjacent to Multi-Family and Commercial Areas

a. Adjacent to Multi-Family Projects

The landscaping of the right-of-ways adjacent to multi-family areas will be an extension of the specified streetscape. Typical detail to this interface is shown in Exhibit 31. Buildings should be setback a minimum of 20 feet from the right-of-way and balconies may encroach into this setback. The walls at the rear of the right-of-ways, however, are to be more open to allow visibility into the multi-family project. Exhibit 31 shows alternatives for this wall/fence treatment.

Along the street right-of-way, multi-family structures should vary in setback, spacing between buildings, orientation and architectural facade to minimize the monotonous facade effect along the street. Parking areas should be located internally to the project wherever possible as opposed to adjacent to exterior streets.

The landscaping within the multi-family site is envisioned to be in keeping with the plant materials used along adjacent streets with theme or accent plant materials concentrated at entries or within the recreation areas of the development.

b. Commercial/Office/Business Park Projects

The parking lots and buildings within commercial/office/business park sites are setback from the right-of-way to provide a more interesting streetscape and to allow for screening of parking lots without the use of walls. The landscaped setback, as shown in Exhibit 32 is treated less formally than the adjacent street parkway, allowing for installation of the setback landscaping by the particular developer at the same time or at a later time from the streetscape without having to match trees or shrubs, etc.

Front Perimeter and Major Entries

- * Where any parking area or driveway abuts a street, there shall be a minimum landscape setback of ten (10) feet in width from the public right-of-way, which shall be fully landscaped and irrigated unless a greater setback is required by any other provision herein.
- * Within the front perimeter there shall be a 30-inch high screen adjacent to all parking areas that may

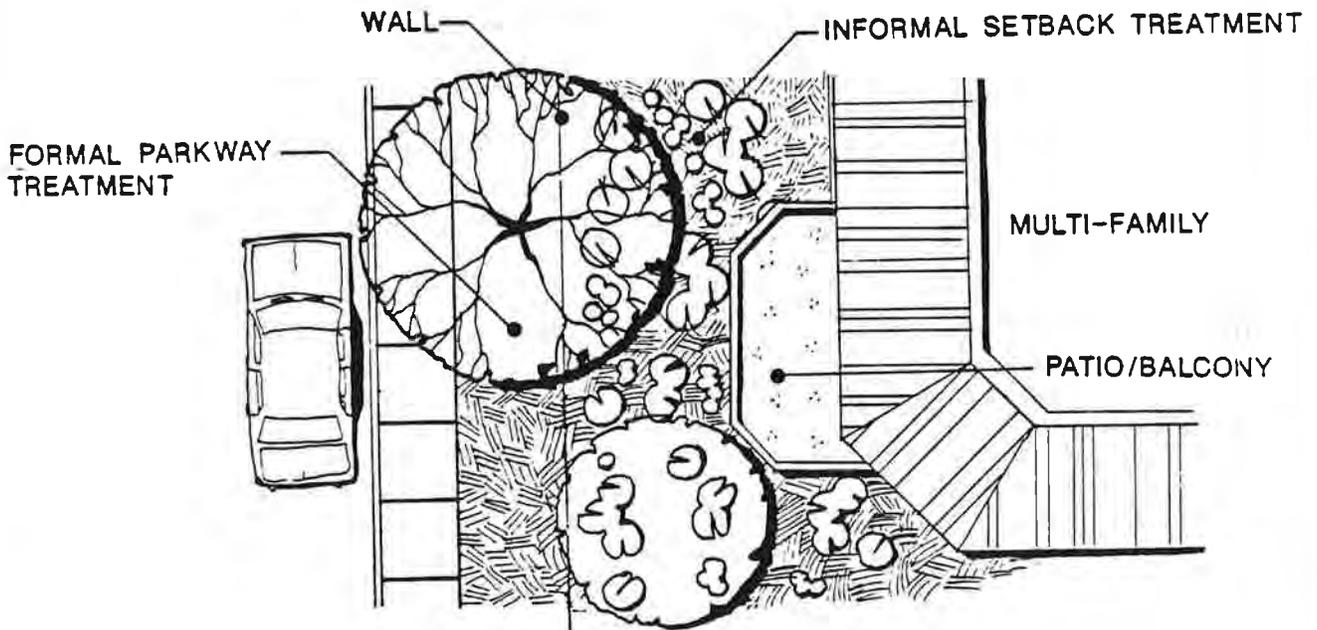
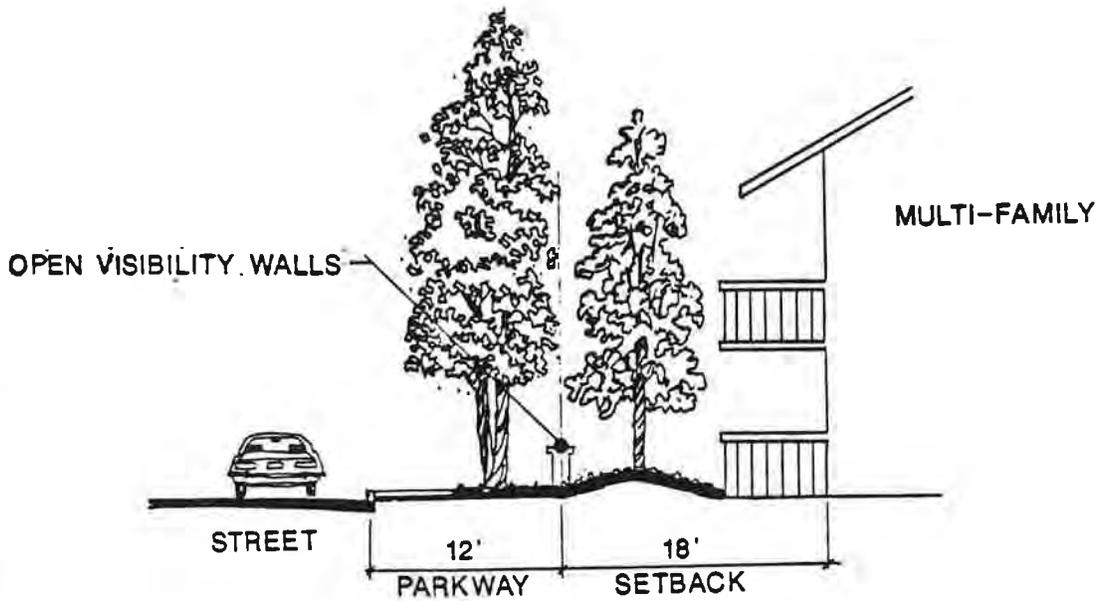


EXHIBIT 31

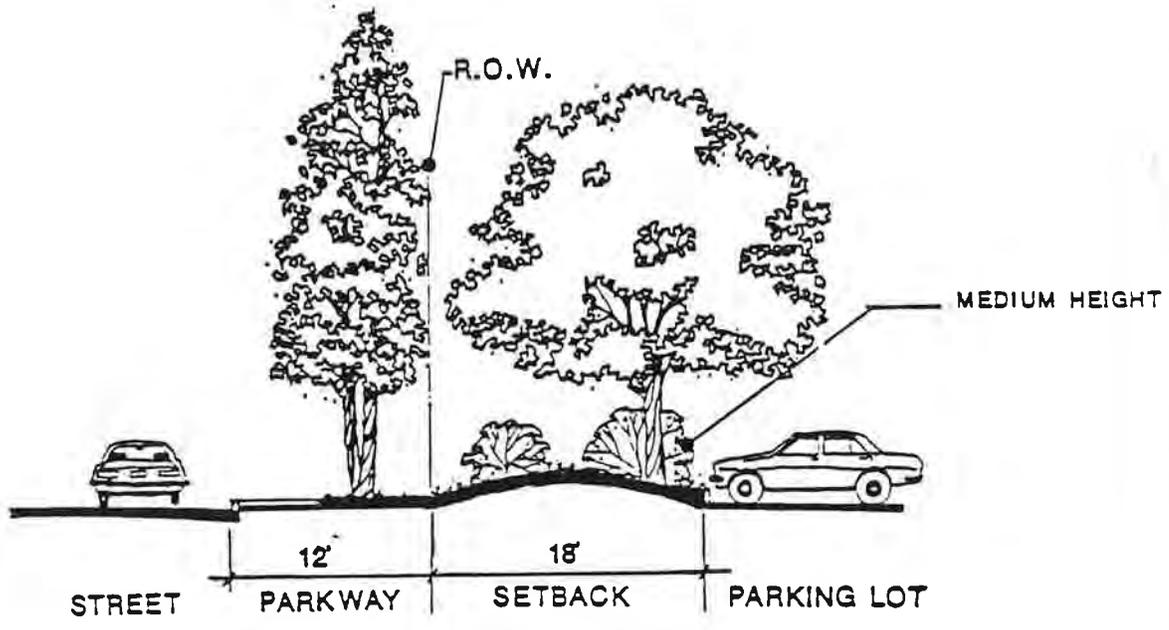
Landscape Buffer

Multi-Family Residential/Street Buffer

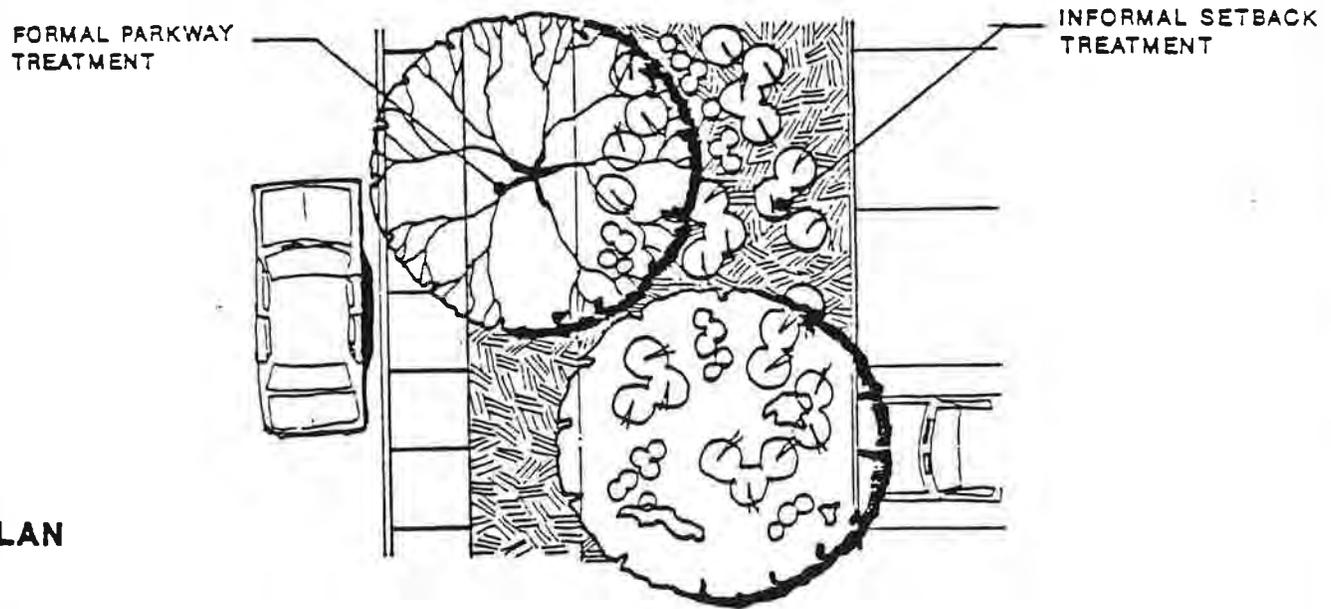
Alberhill Ranch

LONG BEACH EQUITIES, INC





SECTION



PLAN

EXHIBIT 32

Landscape Buffer
Office-Commercial/Street Buffer

Alberhill Ranch

LONG BEACH EQUITIES, INC



consist of landscape, berms, walls or any combination that can satisfactorily screen the parking area within 3 years. If the screen is predominantly provided by using plant material, all shrubs shall be a 5 gallon minimum size. This screening requirement can be accomplished by formal or informal groupings of plant materials, walls and berming. The front perimeter is defined as the landscaped area contiguous with public rights-of-way and bounded by an extension of the major building faces behind.

- * One tree per 30 lineal feet of frontage on any public street shall be installed within the frontage area and shall consist of minimum 15 gallon trees. No more than 70% of the trees shall be deciduous.

Rear and Side Yard Perimeters

- * Rear and side yard perimeters are defined as all other areas not including building store fronts, parking and front perimeter and major entries. These areas shall provide for a continuous 5 foot landscape strip adjacent to property lines and shall be planted with 1 tree per 50 lineal feet of property line. These trees shall be a minimum 15 gallon size.
- * A continuous landscape buffer, a minimum of fifteen (15) feet in depth, shall be maintained adjacent to all interior property lines which abut residential uses. In addition, a solid block wall, a minimum of six (6) feet in height shall be constructed within this buffer to separate the commercial uses from the adjacent residential uses. At minimum, said buffer shall contain one (1), fifteen (15) gallon, non-deciduous, umbrella form tree for each thirty (30) lineal feet of boundary length. No structure or use, including parking, drive aisles, or trash enclosures, but excepting said six (6) foot high wall, shall encroach within this area.

7. Parking

Parking structures, being compact, are highly encouraged where they have been suitably designed to integrate with the site and with other buildings.

Where surface parking lots are used, they shall be designed as described herein. Parking lots generally shall be screened from view from adjacent streets and highways by well-planted berms. They shall not be graded into large pads, but dispersed into more convenient clusters, fitting natural grade as much as possible. Where large expanses of landscaping within parking areas occur, pedestrian access is to be provided as shown below and on the following page. Specific requirements for surface parking are as follows:

- a. At least one tree per ten (10) parking stalls shall be provided. All trees installed to meet this requirement shall be 24" box minimum size in end islands and 15 gallon between end areas. Trees may be placed in regular formalized groupings or irregularly placed providing the overall density of 1 tree per 10 parking stalls is achieved. The final placement shall be reviewed and approved per the City's Design Review Board. Combinations of deciduous or evergreen trees can be used providing no more than 70% of the trees are deciduous.
- b. All landscape planter beds in interior parking areas shall be not less than five (5) feet in width and bordered by a concrete curb not less than six (6) inches nor more than eight (8) inches in height, adjacent to the parking surface.
- c. No tree planting is required within rear and side yard parking areas that are not visible from the front perimeter, parking areas, or other streets, unless said parking area abuts a residentially zoned use, in which case subsection (c) below shall apply. Shrub planting adjacent to the rear of buildings shall be required, where building and service access requirements permit. If visible from the freeway, tree planting shall be provided.

To minimize traffic congestion and noise problems generated by vehicles servicing office/industrial uses, there will be separate roadway systems for the office/industrial and residential areas. In addition to the internal loop road, signage, architectural style, local entry statements, and distinctive landscaping are planned as unifying elements that tie the entire office/industrial area together. Plant material shall be selected from the plant palette provided in the Design Guidelines in Section B.5. See pages 23-34 for entry statements, along with pages 47-52 for signage.

8. Screening

Generally speaking, the use of property line fencing for screening purposes is discouraged and will be approved by the Design Review Committee only in cases where a requirements for complete premises security is demonstrated by the owner.

Whenever possible, screening shall be accomplished by contoured grading or dense evergreen shrub massing or a combination of the two techniques, but must follow the general design theme and characteristics of a "campus-setting".

All loading or storage areas within the rear and side yards shall be continuously screened with walls, fencing, or landscaping or a combination thereof. Shrub materials utilized exclusively for screening shall be minimum 5 gallons in size. Trees used for screening purposes shall be minimum 15 gallons in size.

C. SITE PLANNING GUIDELINES

1. Concept

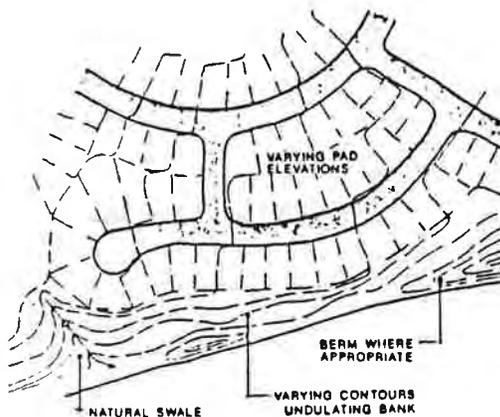
Hillside area predominates much of the Alberhill Ranch site. Much of this hillside is in excess of 25% slope. The land use concept allows for clustering of the majority of residential units along the natural valley corridors proposed for Lake Street/Robb Road and Coal Road. The proposed residential densities then progressively decrease as elevation increases, allowing for very low estate-type densities of 2.0-0.5 d.u./ac in the highest foothill areas. This will result in preservation of the significant hillside areas south of the primary ridgeline, and in the southern portion of the property.

2. Single Family Detached Design Criteria

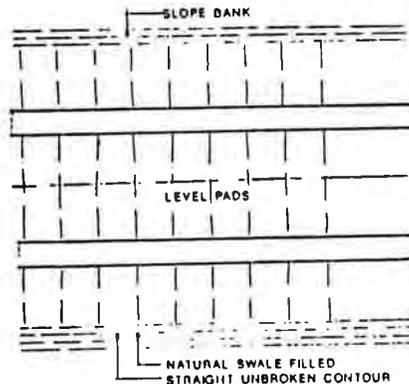
Alberhill Ranch has been carefully planned to preserve on-site natural open space areas. The single family residential development is intended not only to preserve open space areas, but to complement existing topography so hillside grading is kept to a minimum. These areas are intended to be high quality, well designed environments with high appeal to the homeowners.

Guidelines for all Single Family Developments:

- o Curvilinear street layouts shall be encouraged to enhance streetscape. Long runs of straight local streets and 90° bends should be avoided.
- o The use of geometric "grid" layouts should be discouraged.

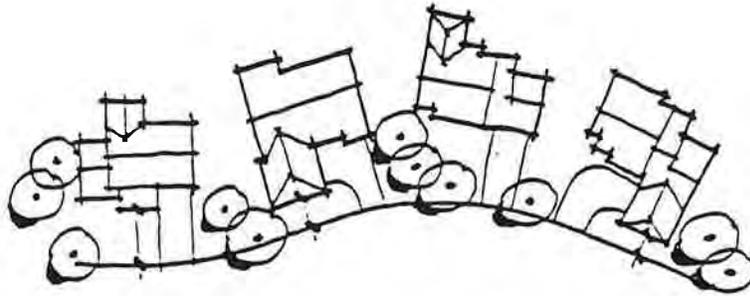


APPROPRIATE

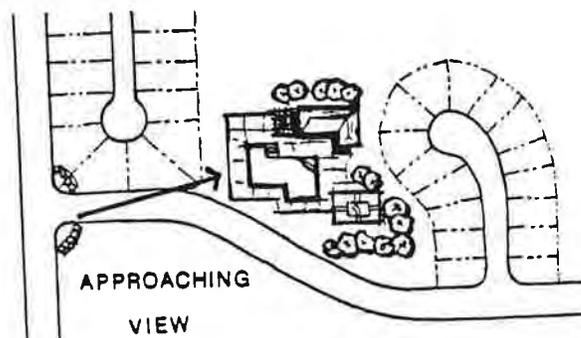


INAPPROPRIATE

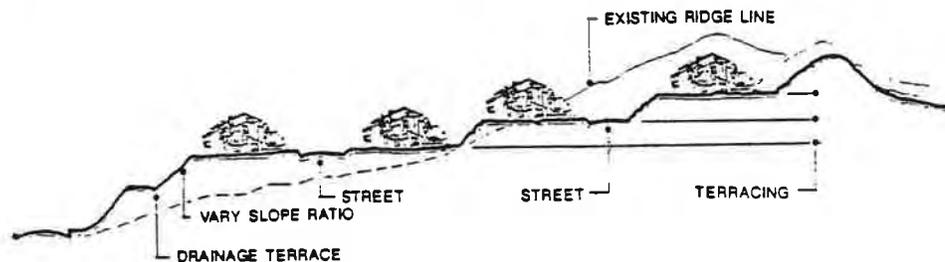
- o Variable dimensions from the street should be utilized to create a more interesting streetscape.



- o When possible, structures should be sited to take full advantage of natural and man-made amenities, breezes, sun and wind orientation, and views. Shading through the appropriate use of landscaping should be used to protect structures from solar heat gain during the summer months. If desired, buildings may be oriented to facilitate the application of solar heating systems.
- o Where possible in hillside areas, units should be clustered to preserve rock outcroppings and views and to minimize hillside grading.
- o Smaller building units may be clustered into interesting groupings to allow greater flexibility in site layout and preserve valuable open space for use by project residents.
- o A variety of lot configurations and sizes (i.e., narrow lot, wide-shallow lot, "Z" lot) should be utilized to accommodate various product types and create project interest.
- o The orientation of garages and entries should be varied to create unit individuality.
- o Views to open space areas and project amenities should be created by utilizing curving roads and orienting street sight lines.



- o All common boundaries between single family lots should maintain visual continuity. Designs should emphasize the idea of a cohesive community, and therefore, abrupt transitions shall be avoided.
- o Articulation of the streetscape theme should be encouraged through:
 - Variations in unit footprint, massing, roof forms and architectural detail.
 - Variation in orientation of garages and entries to create unit individuality.
- o Hillside grading design should provide for contour grading of terraced slopes up hillsides, wherever possible. Terracing of hillsides will minimize slope bank heights and permit most lots to have panoramic views.



3. Multi-Family Attached

The Multi-Family residential dwellings for the Alberhill Ranch community are intended as an alternative living environment to detached housing styles.

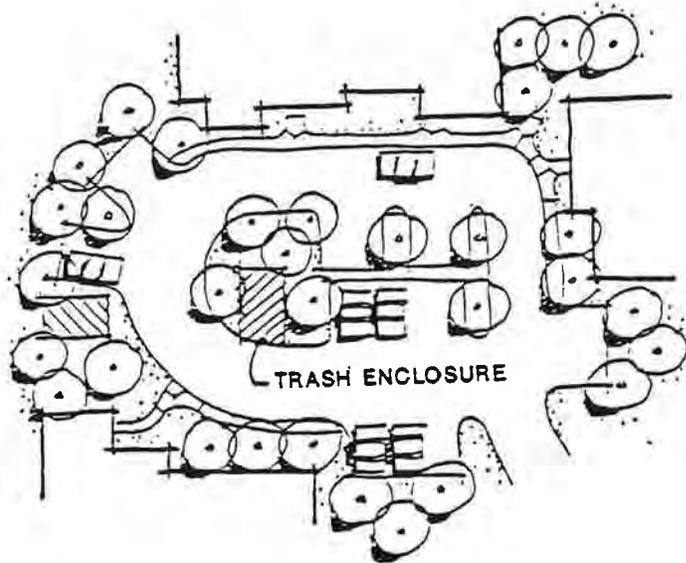
Attached residences will exhibit the same high quality in construction and design as other housing types. Buildings shall be composed of a series of simple, yet varied plans to assure compatibility and variety in overall building form.

Guidelines for Multi-Family Developments:

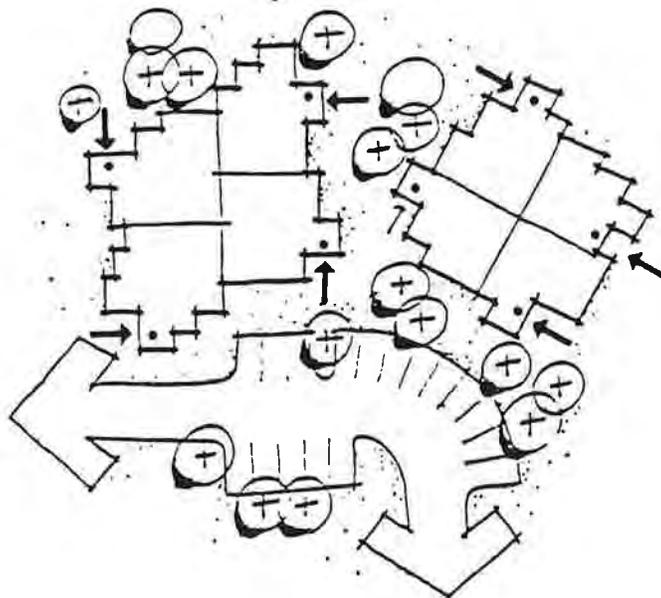
- o Individual buildings should be turned and oriented in a variety of ways to avoid the monotony of garage door corridors. Buildings shall be articulated in a configuration that adds interest, allows for quality private outdoor areas and reduces the length of street and utility runs.
- o Open parking and carports should be clustered in parking courts and along internal private drives to enhance security. Pedestrian and automobile circulation shall be clearly defined. Special paving at parking court

entries and landscape nodes between parking stalls are encouraged to soften the streetscape.

- o Trash collection stations for multi-family complexes should be located in areas that are convenient, inconspicuous and serviceable. Preferred locations are at the end run of a parking bay or the mid-point of a parking area. The trash area should be enclosed and softened with landscaping, trellis work or other screening techniques.



- o In multi-family housing, it is important to provide each unit with its own entry and identity. This can be accomplished by offsetting and staggering separate units. This also will provide variety to the streetscape.



D. ARCHITECTURAL GUIDELINES

1. Architectural Concept and Theme

The guidelines and standards contained in this portion of the Specific Plan set forth the basic architectural character and design theme of each type of land use within the Alberhill Ranch Specific Plan community. Development within all areas of Alberhill Ranch should comply with the following guidelines.

It is the intent of these guidelines to comply with the City of Lake Elsinore zoning regulations as well as to provide a flexible framework within which to design this project. The major objective is to encourage good architectural design, while also permitting the builder or developer flexibility to design a residential neighborhood, commercial center or public facility with its own unique identity and design integrity.

The architectural theme for the Alberhill Ranch community will have a distinctive identity, expressing a thoughtful integration of building structures and the natural environment. The theme will be based on a distinctive Southern California vernacular, having its roots in the Mediterranean style and evolving over time, being shaped by the cultural and climatic influences of the region.

2. Residential Architecture

Each village and/or neighborhood in Alberhill Ranch should have distinctive architectural product type and/or style associated with it while keeping with the rural California ranch community theme. This will ensure that each residential development within Alberhill Ranch will have a strong, coherent image and result in aesthetically pleasing communities. Possible architectural product types and/or styles are illustrated in Exhibits 33 through 37. It is important to note that the architectural graphics included herein are merely artists' conceptions of possible architectural designs and are meant to act as architectural guidelines only. These graphics are not intended as definitive building product types or styles.



NOTE: THE ABOVE RENDERINGS ARE CONCEPTUAL IN NATURE AND ARE NOT INTENDED TO REPRESENT ACTUAL ARCHITECTURAL PRODUCT TYPES.

EXHIBIT 33

TYPICAL FRONT ELEVATION

Rural Residential (RR) - Estate Homes

Alberhill Ranch

LONG BEACH EQUITIES, INC





NOTE: THE ABOVE RENDERINGS ARE CONCEPTUAL IN NATURE AND ARE NOT INTENDED TO REPRESENT ACTUAL ARCHITECTURAL PRODUCT TYPES.

EXHIBIT 34

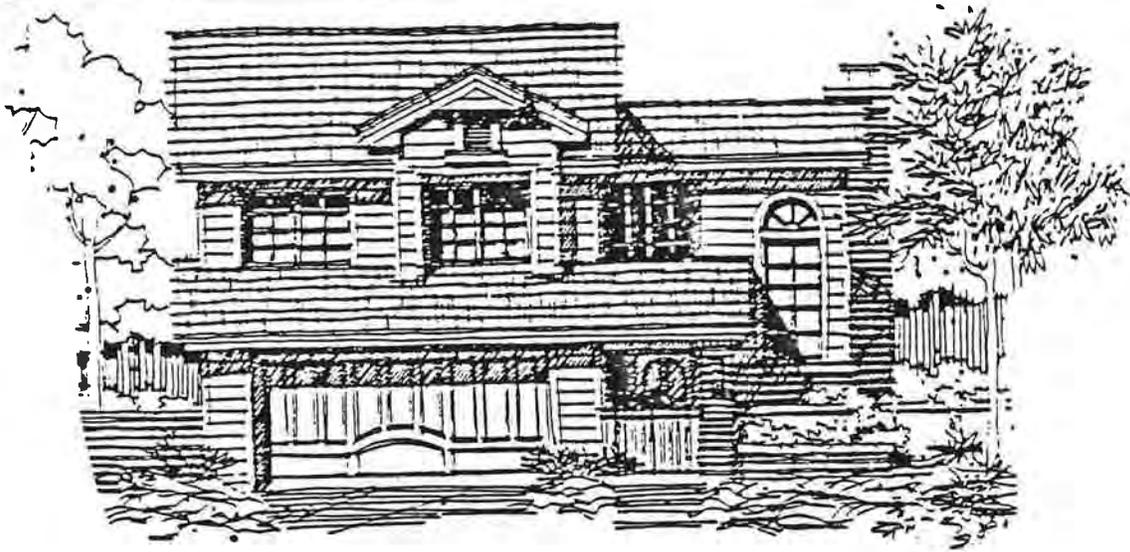
TYPICAL FRONT ELEVATION

Single-Family Residential (RCD) – Ranch Homes

Alberhill Ranch

LONG BEACH EQUITIES, INC





NOTE : THE ABOVE RENDERINGS ARE CONCEPTUAL IN NATURE AND ARE NOT INTENDED TO REPRESENT ACTUAL ARCHITECTURAL PRODUCT TYPES.

EXHIBIT 35

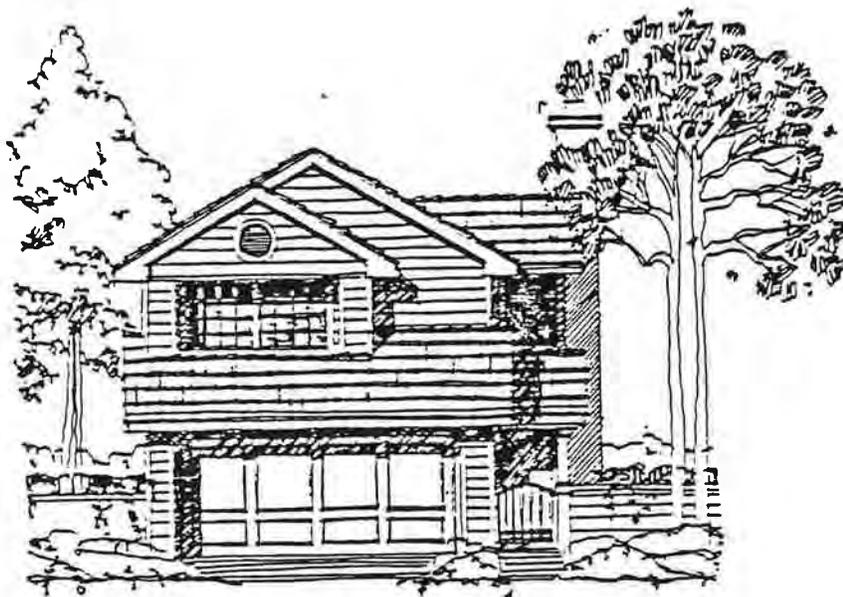
TYPICAL FRONT ELEVATION

Single Family Residential (R-SF)- Cottage Homes

Alberhill Ranch

LONG BEACH EQUITIES, INC





NOTE: THE ABOVE RENDERINGS ARE CONCEPTUAL IN NATURE AND ARE NOT INTENDED TO REPRESENT ACTUAL ARCHITECTURAL PRODUCT TYPES.

EXHIBIT 36

TYPICAL FRONT ELEVATION

Single Family Residential (R-M) - Patio Homes

Alberhill Ranch

LONG BEACH EQUITIES, INC





NOTE : THE ABOVE RENDERINGS ARE CONCEPTUAL IN NATURE AND ARE NOT INTENDED TO REPRESENT ACTUAL ARCHITECTURAL PRODUCT TYPES.

EXHIBIT 37

TYPICAL FRONT ELEVATION

Multi-Family Residential (R-3) - Apartments

Alberhill Ranch

LONG BEACH EQUITIES, INC



a. Building Massing and Scale

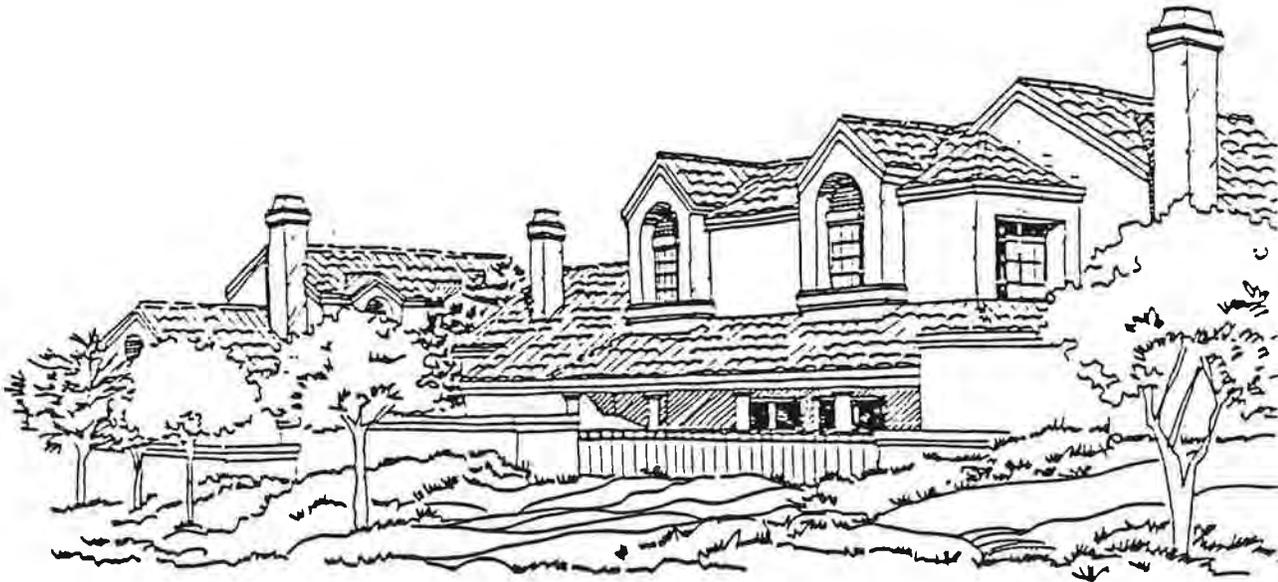
The architectural image of Alberhill Ranch will be perceived primarily from public spaces such as streets, open spaces and parks. Therefore, building massing, scale and roof forms, as the primary design components, require careful articulation in their architectural expression to these public spaces.

Appropriate:

- Articulation of wall planes (required).
- Projections and recesses to provide shadow and depth (required).
- Simple, bold forms (encouraged).
- Combinations of one and two story forms conveying sense of human scale (encouraged).

Inappropriate:

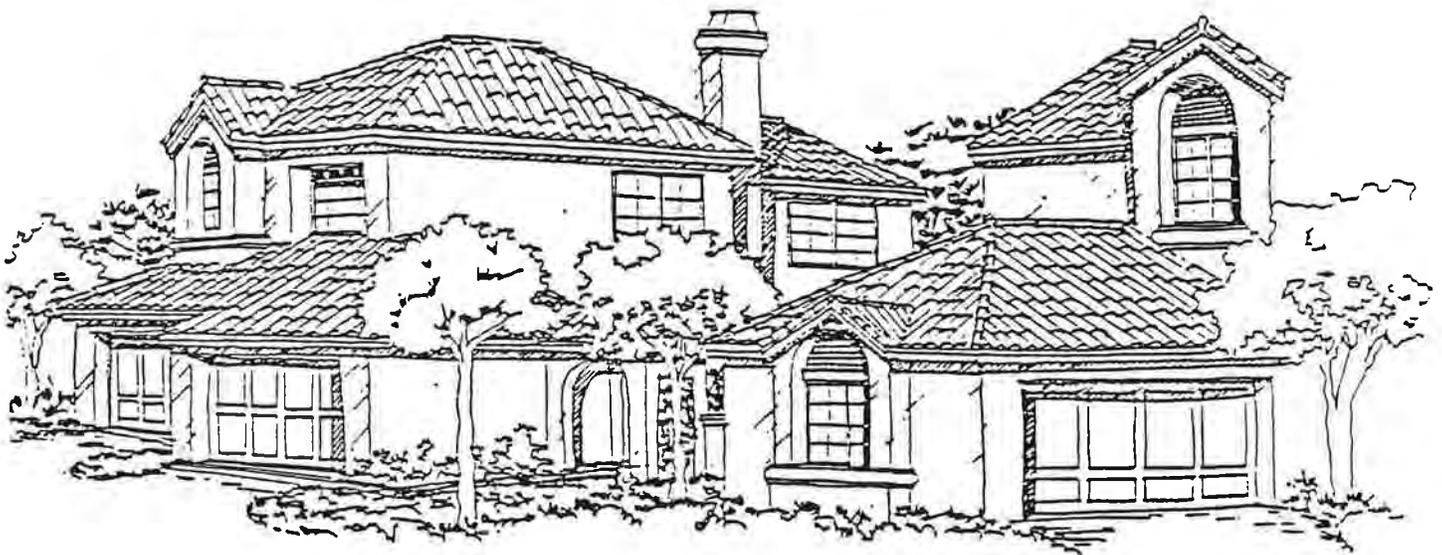
- Large expanses of flat wall planes vertically or horizontally (prohibited).



b. Building Heights and Setbacks

Identity is a major goal for the residential units of Alberhill Ranch. The design of front elevations for attached housing should express the building as a cluster of individual homes rather than one single building. Consideration should be given to the articulation of rear elevations viewed from public spaces by providing variations in plan and/or roof forms. To avoid a monotonous streetscene in both single family and multi-family villages repetitive floor plans shall be alternately reversed and their roof expressions varied.

Single family detached residences should maintain low plate lines and profiles at street fronts and boundary edges. Garages should be one story when set in front of the main building. Two story residences at internal street fronts should provide second story setbacks to create a human scale at pedestrian walks. To soften the architectural edge at area boundaries, building heights shall maintain a low profile through a combination of one and two story elements and varied floor setbacks at the second story. To lower the apparent height, second story rooms may be tucked into roof planes and roofs may be clipped at the sides and corners of the buildings.



c. Roof Pitches and Materials

Simple pitched gable, hip or shed roof forms with slopes from 4:12 to 7:12 shall be the predominant roof elements in Alberhill Ranch. All pitched roof materials shall be clay or concrete tile, terne metal or copper, as approved by the City to ensure a continuity of textures and colors. Wood shake roofs are discouraged, but permitted when in compliance with the applicable City fire codes. Flat roof areas shall have a gravel surface or other approved roof material. Roof projections and overhangs are encouraged as a response to energy and climate concerns. Low maintenance details, limiting the amount of exposed wood, are encouraged.

Appropriate:

- Simple pitched gable, hip or shed roof forms (encouraged).
- Cornice banding for detail (encouraged).
- Combining one and two story elements (encouraged).
- Creating jogs in ridge line (encouraged).
- Varying plate heights and ridge heights (encouraged).

Discretionary:

- Small areas of flat roofs with parapet walls (limited).

Inappropriate:

- Gambrel, mansard and "period" style roofs (prohibited).
- Non-continuous roof parapet (prohibited).

d. Materials and Colors

Exterior building materials shall be of natural materials which are compatible with and reflect the elements of the surrounding natural environment. This includes wood, masonry, adobe, concrete and plaster or stucco. Exposed wood should have a minimum 2-inch dimension and be protected from excessive moisture and sun exposure. Exposed wood sheathing shall be limited to the underside of roof or patio decks. Exterior plaster or stucco will have a smooth, sand, or other light finish texture.

Complementary accent materials and colors are allowed and encouraged. Wood trim shall be stained with semi-transparent stain or painted as accents. The crisp, clean and simple use of tile, brick, stone, masonry or pre-cast concrete are permitted as design accents and trim.

Color is intended as a primary theme element reflecting the nuances of the indigenous elements of the natural environment. The values should generally be light, with darker or lighter accents encouraged to highlight the character of the structure, particularly in respect to balcony rails, awnings, inlaid tile bands, and cornice bands. All accents must relate to the architectural form and character of the building.

Prohibited materials include vinyl or aluminum siding, masonite siding, rustic materials uses as primary wall surfaces, and dark earthtone colors.

e. Windows and Doors

Recessed door, window and wall openings are characteristic elements of the intended architectural style of Alberhill Ranch, and convey the appearance of thick protective exterior walls. Fully recessed openings are encouraged, although plaster projections and projecting windows may be used to add articulation to wall surfaces.

Appropriate:

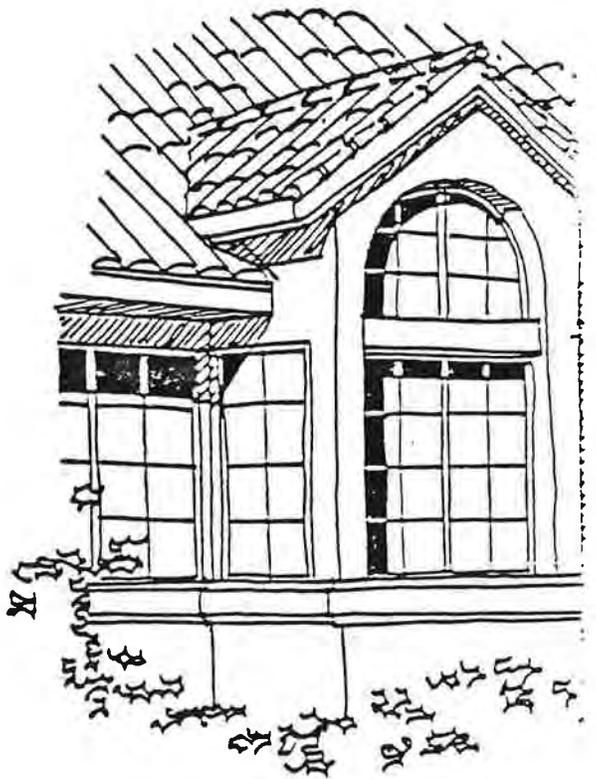
- Accent trim of tile (encouraged).
- Divided window lights (encouraged).
- Rectangular and arched openings (permitted).

Discretionary:

- Use of canvas awnings (limited).
- Use of wood lattice (limited).
- Mill finish window or door frames (limited).

Inappropriate:

- Gold window or door frames (prohibited).
- Reflective glass (prohibited).
- Metal awnings (prohibited).



f. Garage Doors

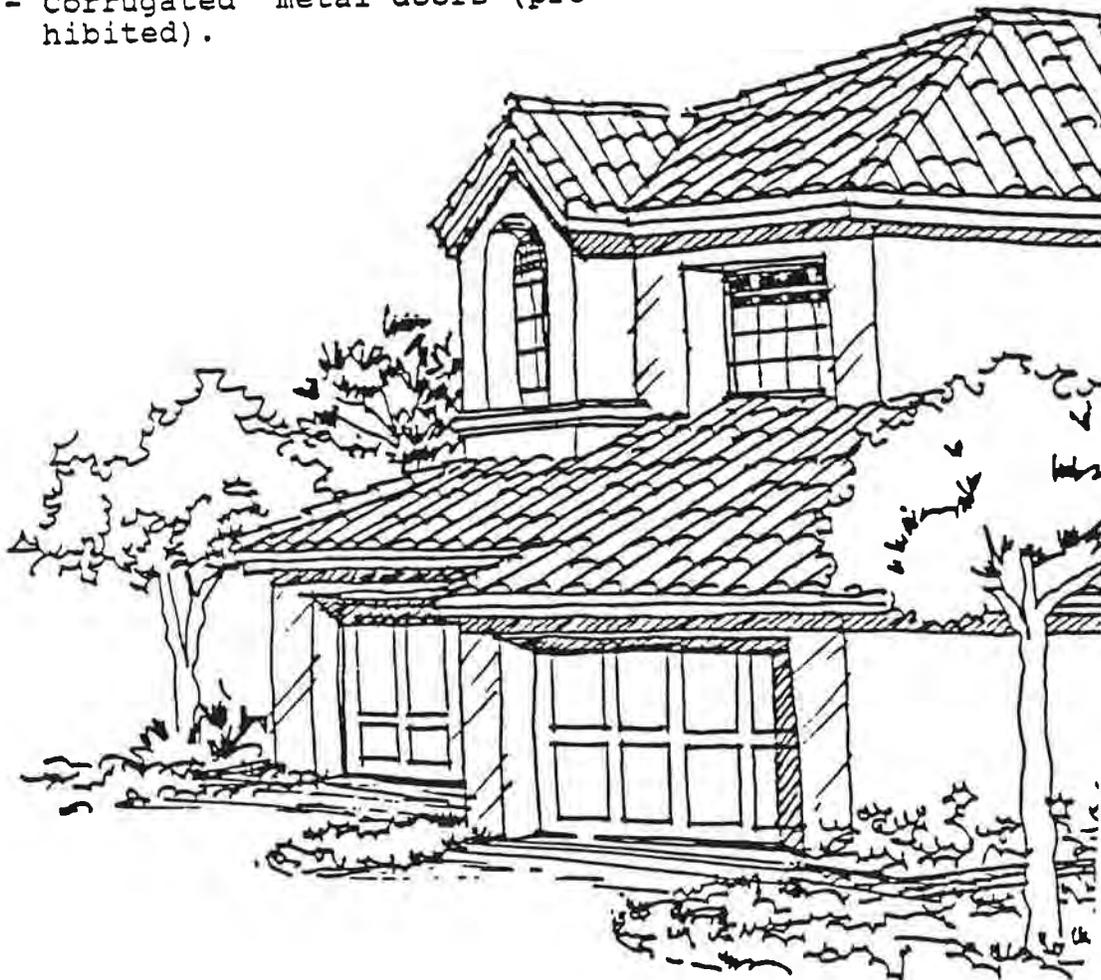
Garages are a major visual element in single family attached and detached housing. Ornamentation is encouraged as it relates to the architecture and provides visual variety along the streetscape. The design treatments include color accents and architectural features such as pediments, moldings, small roofs, overhangs and projections to recess the garage door. Automatic door openers shall not be required except as made necessary by minimal setbacks.

Appropriate:

- Staggered setbacks to adjacent doors in multi-family (required).
- Recesses from adjacent walls a minimum of 12" (encouraged).

Inappropriate:

- Corrugated metal doors (prohibited).



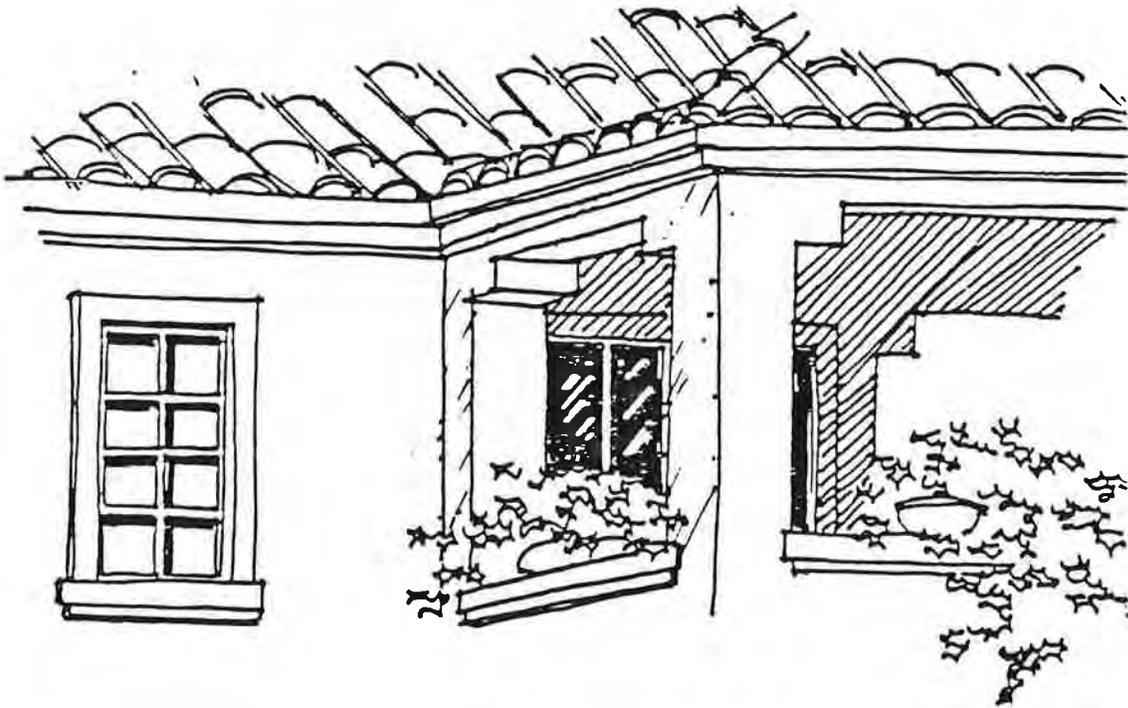
g. Architectural Forms and Details

Balconies

The use of balconies or porches is encouraged. Balconies should be incorporated into the building form to articulate and break up large wall masses. The shade producing qualities of balconies and porches is an important element of the intended style.

Appropriate:

- Simple, clean, bold projections (encouraged).
- Balconies which articulate wall surfaces (encouraged).
- Ceramic tile accent trim (encouraged).
- Painted wood trim (permitted).
- Wood or wrought iron ballustrade (permitted).



Exterior Stairs

Simple, clean bold projections of stairways are encouraged to complement the architectural massing and form of a building. Stairways shall have a wall the same texture and material as the adjacent building, with a railing height that steps with the stairs.

Appropriate:

- Accent trim cap or banding of tile or brick (encouraged).
- Stairway design and location to complement building form (encouraged).

Discretionary:

- Prefabricated metal stairs (limited).



Columns and Archways

Columns incorporated as a structural or aesthetic design element shall convey a solid, durable image as expressed through bold forms. Columns may be used as a freestanding form or as support for porch roofs and balconies.

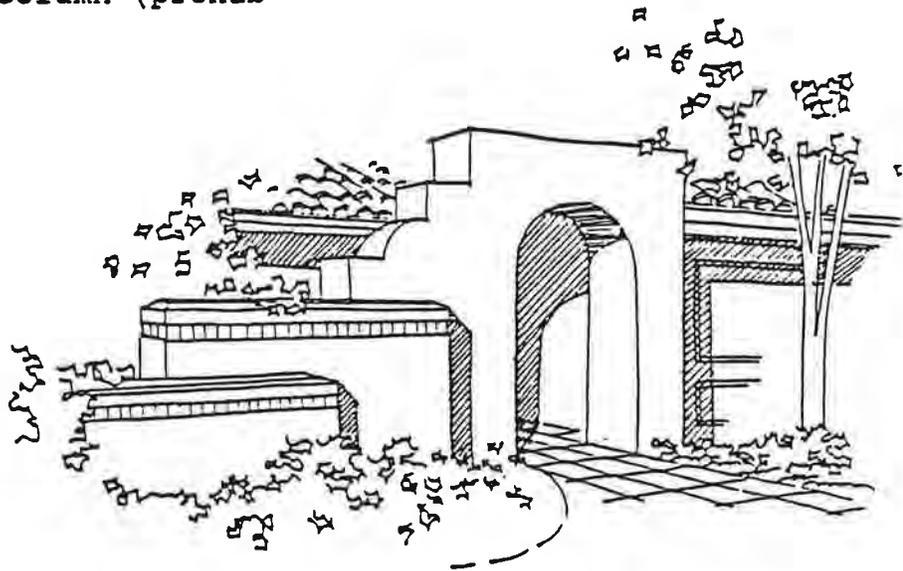
Appropriate:

- Base incorporated at bottom of columns (encouraged).
- Square or cylindrical columns of plaster or pre-cast concrete (encouraged).
- Tile accent bands on plaster columns (encouraged).
- Capital and column bands (encouraged).
- Freestanding plaster archways at entrance gates (encouraged).



Inappropriate:

- Exposed pipe columns (prohibited).
- Applied rustic veneers on columns (prohibited).
- Thin posts, such as 4x4 wood or metal pipe column (prohibited).



Chimneys

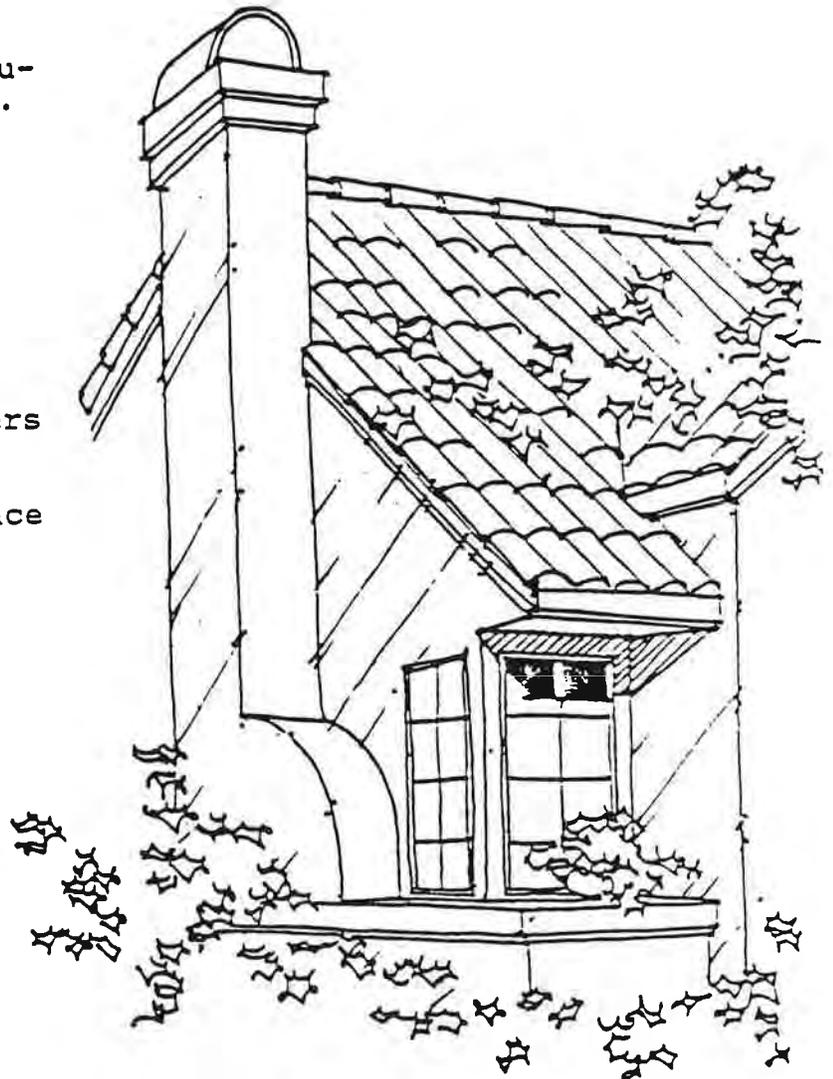
As an architectural form, chimneys shall be simple in design, having the same material and texture as the building to ensure the consistency of character and style. Chimney caps should repeat the fascia cornice band treatment integrating the trim colors.

Appropriate:

- Tile caps, brick or tile banding (encouraged).
- Boldly projected from wall surfaces (encouraged).
- Design feature adding articulation to walls (permitted).
- Decorative metal caps that match trim colors (permitted).

Inappropriate:

- Exposed flues (prohibited).
- Rustic material veneers (prohibited).
- Extravagant metal fireplace caps (prohibited).



h. Private Walls and Fences

Private fences and walls are encouraged to provide security, privacy and landscape definition in both commercial and residential areas. Fencing between homes is encouraged to be of concrete block construction or other similar desirable material. Wooden fences will be permitted when not visible from public spaces or streets. Wall treatments viewed from public spaces shall be consistent in treatment with the adjacent buildings. Plant materials, particularly vines and espaliered trees, should be used to visually soften garden walls. Refer to landscape section for additional design criteria.

Appropriate:

- Accent trim repeating cornice band or band of tile (encouraged).
- Adequate planting pockets between walls and walkways (encouraged).
- Semi-transparent walls, such as wrought-iron grilles between plaster pilasters (permitted).
- Jogging or off-setting of walls and fencing is desirable to relieve long, unbroken lines. Long walls and fences may also be interrupted with planting such as shrubs and vines.
- Permitted wall and fencing materials such as, but not limited to, stone veneer, stucco, masonry brick, slump block, split-face block, and used brick. Two or more materials may be combined when appropriate.
- Walls and fences may be left natural or covered with paints. However, plain concrete block walls that must be painted or covered with stucco.

Discretionary:

- Wooden fencing, provided that it has been treated with a stain or painted (limited).

Prohibited:

- Unpainted, plain concrete block walls.
- Chain-link, wire or steel fencing.
- Unfinished, wooden fences (an opaque or transparent stain or paint must be applied to all wooden fences to help prevent rotting & weathering).



i. Building Details

o **Mechanical Equipment:**

All air conditioning/heating equipment, soft water tanks, water meters, gas meters, and electric meters must be screened from public view. Sound attenuation is encouraged. Roof mounted cooling and heating units and related duct work are unacceptable on pitched roofs. On flat roofs, HVAC equipment and duct work is prohibited unless screened by parapet walls as high or higher than units and duct work.

o **Antennas:**

All antennas are restricted to the attic or interior of the residences.

o **Carport Structures:**

Carports shall be of wood or stucco, with finishes complying with the approved material and color palette. Carports integrated with patio walls and private fences are encouraged. Simple forms are encouraged.

o **Accessory Structures:**

Patio trellises, pergolas and other exterior structures shall be constructed as permitted by governing codes, with finishes complying with the approved material and color palette. Trellises and patio covers of bold, clean forms are encouraged.

o **Flashing, Sheet Metal and Vents:**

All exposed metals (flashing, sheet metal, vent stacks and pipes) shall be painted to match adjacent building surface. Painted metals shall be properly prepared and primed to ensure a durable finish.

o **Skylights:**

Skylights are to be designed as an integral part of the roof. Their form, location, and color should relate to the building. Skylight glazing should be clear or solar bronze. White glazing is discretionary.

o **Solar Panels:**

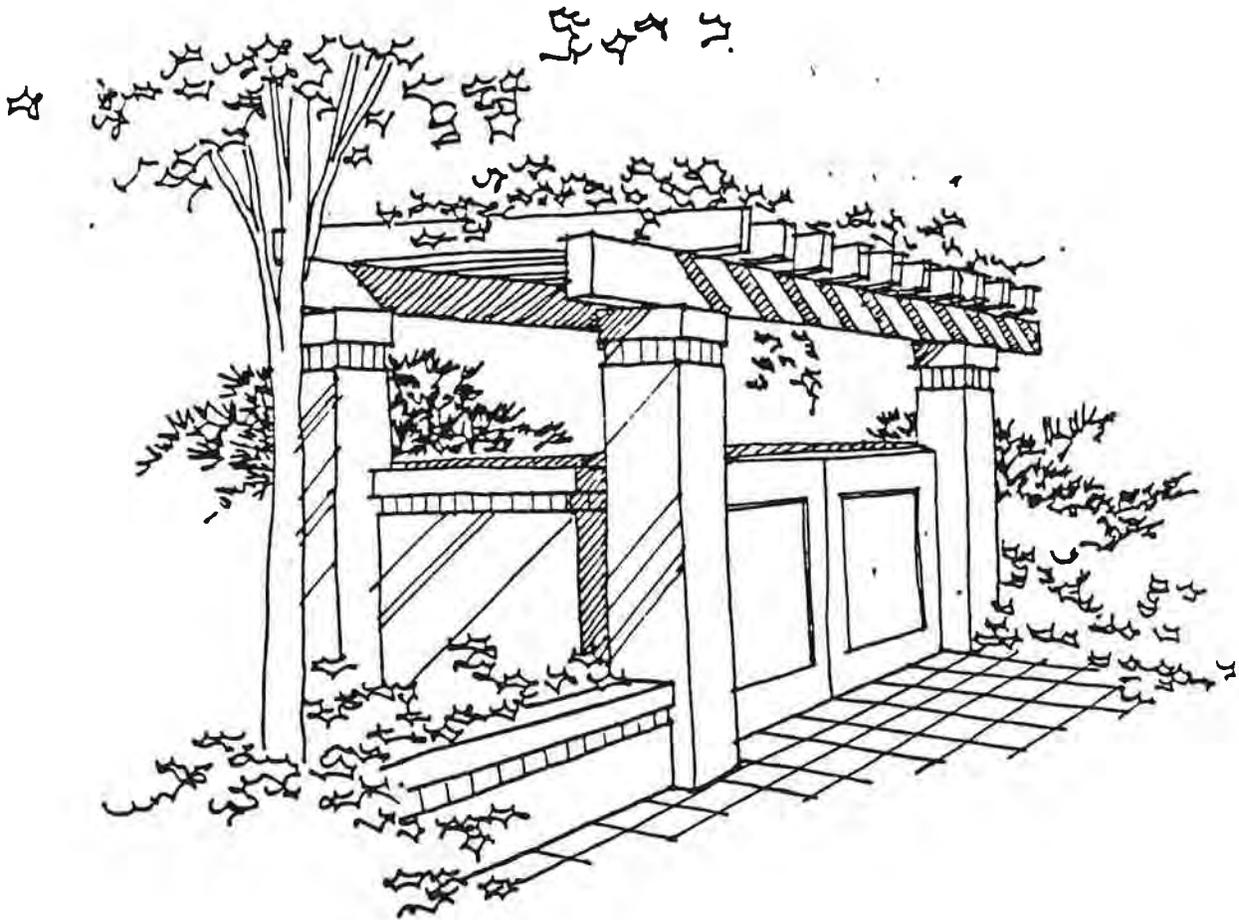
Solar panels are to be integrated into the roof design, flush with the roof slope. Frames must be colored to complement the roof. Mill finish aluminum frames are prohibited. Support solar equipment shall be enclosed and screened from view.

j. Common Space Elements

o Trash Enclosures

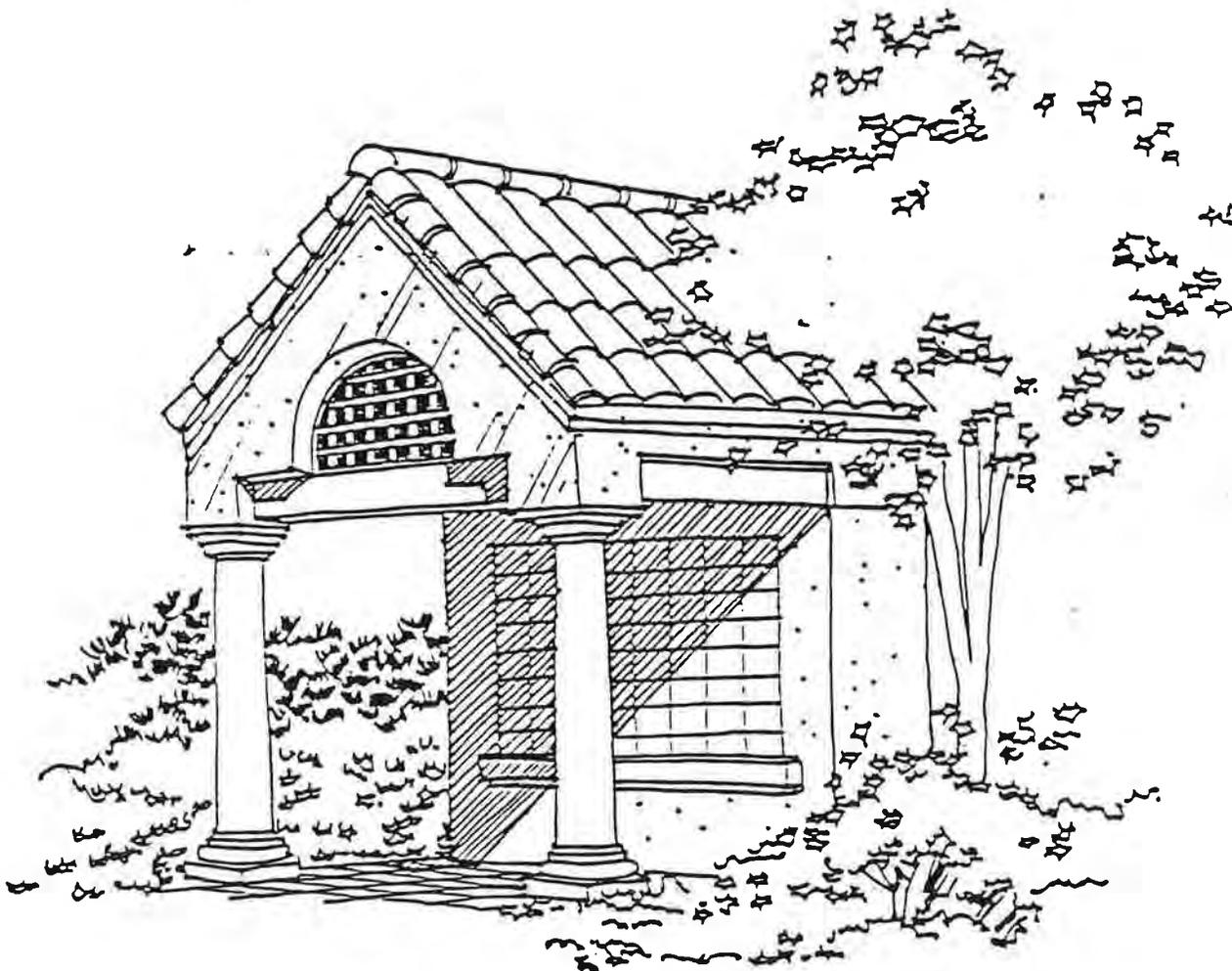
Single family attached and multi-family neighborhoods may have common elements for the use of all residents such as trash enclosures, mailboxes and recreational areas. The following pages provide guidelines for the location and design of such elements.

Trash bins shall be fully enclosed by a 6' stucco or masonry wall. Doors shall be solid and adequately detailed and finished. Recommended locations include inside parking courts, at the end of parking bays, and preferably integrated into the end of a garage or carport. An overhead structure may be included to support vines. Vines attached to the sides and adjacent planting areas are encouraged to soften appearance.



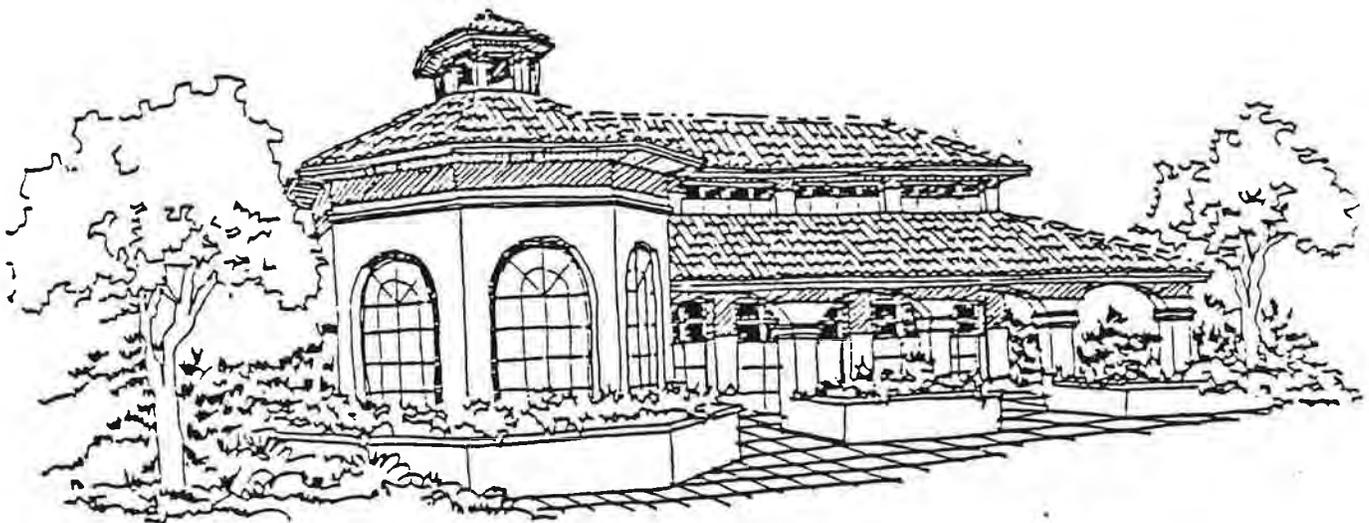
o Mailboxes

Mailboxes in single family neighborhoods should be placed in groups no larger than four, set into a plaster or masonry pilaster, and detailed to contribute to the overall community theme. Alternative mailbox designs will be considered by the City. Where a common mailbox location is provided in multi-family neighborhoods, it shall be located to relate to the project entry or recreational facilities. The mailboxes shall be housed in a structure similar in architectural style, character, form, material and colors as the surrounding buildings. In all cases, mailbox locations must be approved by the U.S. Postal Service.



o **Support Facilities**

Support facilities within residential areas such as recreation buildings, laundry facilities and sales/lease offices shall be consistent in architectural design and form as previously illustrated for the residences. Recreation areas are to be placed in highly visible locations such as project entries or adjacent to a model complex. A strong vertical design element incorporated into the recreation building is strongly encouraged.



3. Commercial Design Criteria

a. Retail Uses

Retail structures in Alberhill Ranch are intended to be complementary to the residential development in the community. A sense of excitement is encouraged.

The design should relate to the historical roots of Southern California as expressed in older business districts from the early 20th century. Elements of this approach include: formal order (base, midsection, cap); symmetry; classical vocabulary (domes, arches, cupola); towers; integration of the automobile; direct relationship to the sidewalk. A contemporary expression within this framework is encouraged.

Good pedestrian circulation networks, connected to public streets and major theme intersections, should be provided.

Adequate landscaping to soften building masses and parking areas should also be provided. Typical layout of commercial facilities is shown in Exhibit 38. Typical commercial elevations are shown in Exhibit 39.

Appropriate Appearance:

o Walls

- Smooth stucco, plaster, or masonry.
- Regular, even panels of smooth stone veneer of a light color.
- Pre-cast concrete panels are permitted, if scored to create a finer scale, with warm colored aggregate.
- Glass planes inset from the structural frame.
- Glass planes projecting from structural frame, if designed as framed openings, as a display window.

o Accents

- Ceramic tile, terra cotta, stone, bronze, brass, copper, anodized aluminum. Wood, if used in limited quantities and of a light color.

o Windows

- Projecting from wall.
- Recessed (punched) in wall.

- Glass plane inset from structural frames.
- Glass plane extending from structural frame, if designed as framed opening, as a display window.
- o **Roofs**
 - Combination of flat and sloped surfaces.
 - Exposed roof materials: Clay or concrete tile, slate, copper, painted metal. Wood shake roofs are discouraged, but permitted when in compliance with applicable City fire codes.
- o **Color**
 - Light colors as illustrated on the material and color palette.

Inappropriate Appearance:

- o **Walls**
 - Porcelain enamel, metal panel, wood siding, dark brick.
- o **Accents**
 - Dark wood trim, river rock, rustic stone.
- o **Windows**
 - Reflective, mirrored glass.
- o **Roofs**
 - Asphalt shingle.
- o **Color**
 - Dark colors.

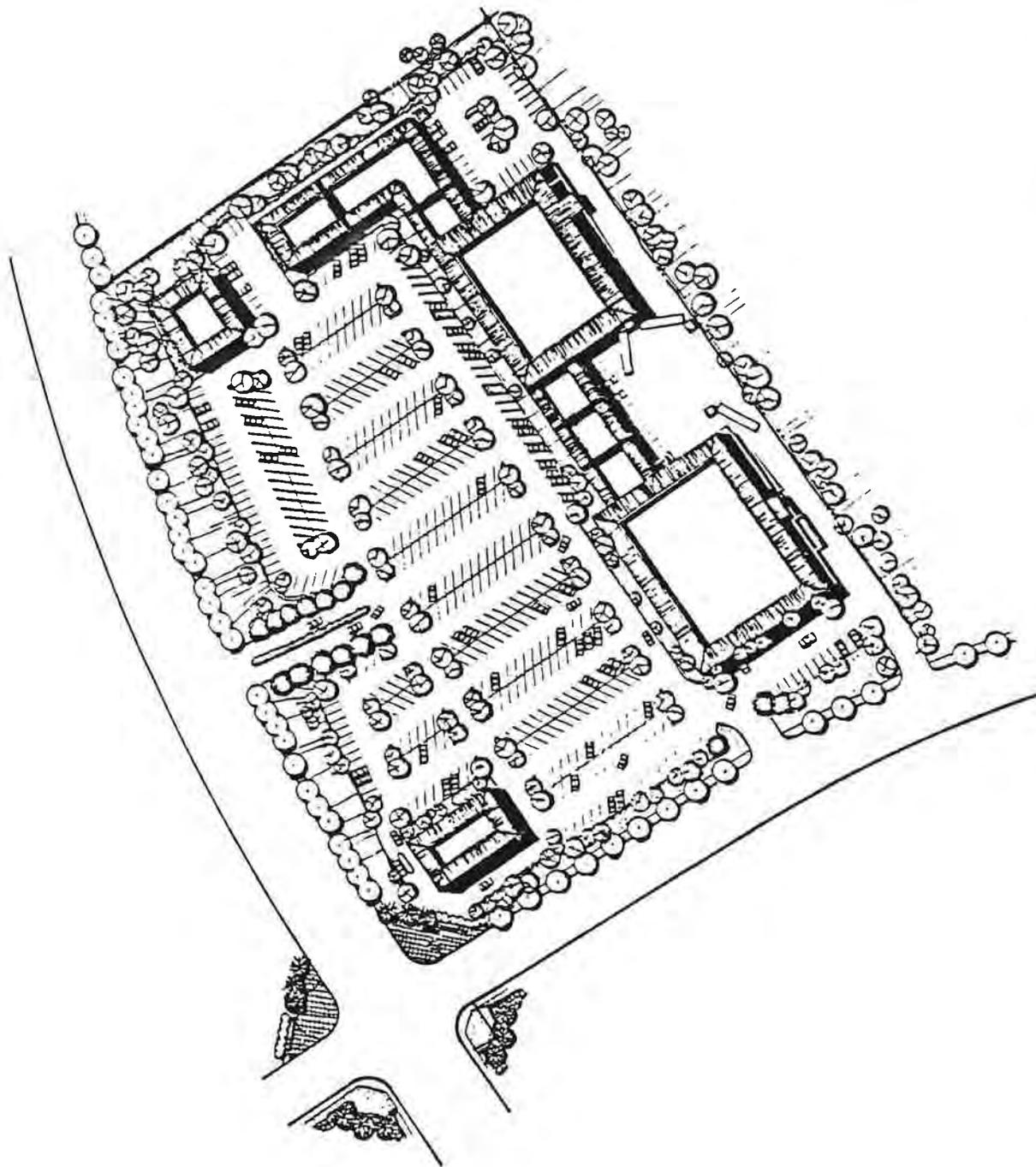


EXHIBIT 38

Typical Commercial Area Site Plan

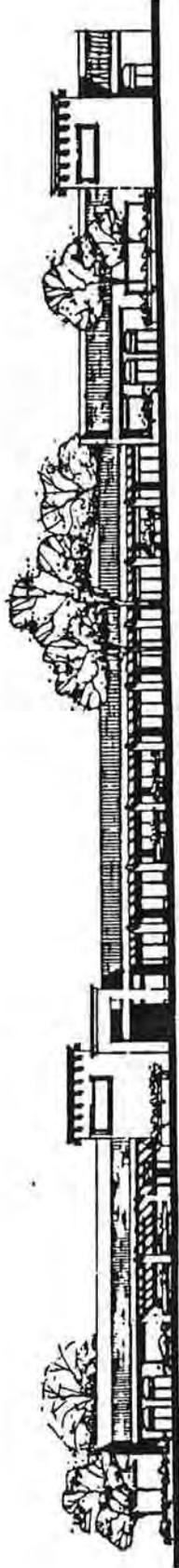
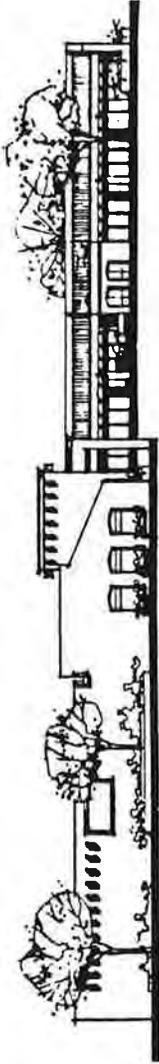
Alberhill Ranch

LONG BEACH EQUITIES, INC



EXHIBIT 30

Typical Commercial Buildings



ELEVATIONS



Alberhill Ranch

LONG BEACH EQUIPMENT, INC.

b. Office Uses

Office structures in Alberhill Ranch are intended to be complementary to the residential development in the community. A sense of elegance, created by the use of high quality materials, is encouraged.

The design should relate to the historical roots of Southern California public architecture. Design elements include: formal order (base, mid-section, cap); symmetry; repetitive details (openings, friezes, decorative elements); classical vocabulary (arches, columns, cornices); defined outdoor spaces (courtyards, arcades). A contemporary expression is encouraged within the historical framework of Southern California and the natural environment.

Multiple buildings with good pedestrian circulation networks are encouraged.

Adequate landscaping to soften building masses and parking areas should also be provided.

Typical details for office facilities are shown in Exhibit 40. Suggested and encouraged treatments are as follows:

o Walls

- Wood, smooth stucco, plaster, or masonry. Regular, even panels of smooth stone veneer of a light color. Pre-cast concrete panels are permitted, if scored to create a finer scale, with warm colored aggregate. Glass planes inset from the structural frame (glass curtain walls and flush glazing prohibited).

o Accents

- Ceramic tile, terra cotta, stone, bronze, brass, copper, anodized aluminum.

o Windows

- Recessed (punched) in wall. Glass plane inset from structural frame.

o Roofs

- Combination of flat and sloped surfaces. Exposed roof materials: clay or concrete tile, slate, copper, painted metal, or wood shake shingle.

- o Color

- Light material colors as illustrated on the material and color palette.

Inappropriate Appearance:

- o Walls

- Porcelain enamel, metal panel, dark brick, glass curtain and flush glazing, the latter two of which are prohibited.

- o Accents

- Dark wood trim, river rock, rustic stone.

- o Windows

- Reflective, mirrored glass.

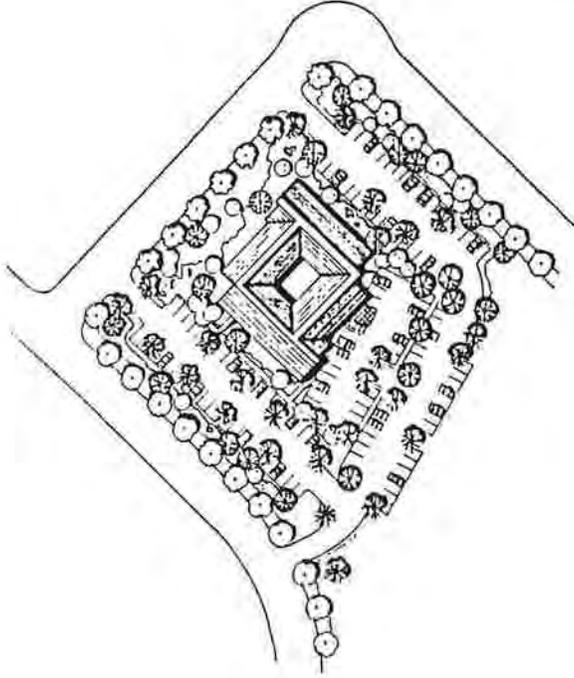
- o Roofs

- Asphalt shingle.

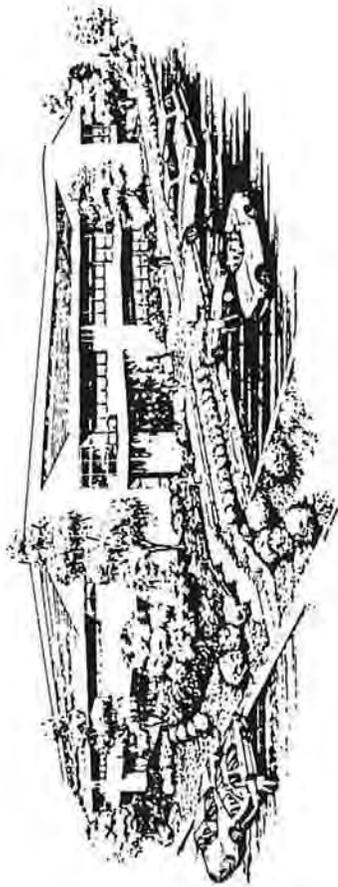
- o Color

- Dark colors.

EXHIBIT 40
Typical Office Buildings



SITE PLAN



ELEVATION

Alberhill Ranch
LONG BEACH EQUITIES, INC.



E. LAND USE TRANSITIONS

In order to create a high quality, environmentally sensitive and aesthetically pleasing community, Alberhill Ranch proposes different types of land use buffers that will:

- o Use existing or man-made conditions to separate and buffer dissimilar land uses; and
- o Establish techniques for linking natural and man-made conditions such as residential use and open space.

1. Single Family Residential/Multi-Family Residential

This treatment proposes to buffer Single Family residential (R-1) from the Multi-Family residential (R-3) uses and is depicted in Exhibit 41. The transition would utilize an elevation change and vertical trees with a solid wall.

2. Commercial/Residential

As shown in Exhibit 42, the commercial/residential landscape buffer will be used to screen commercial uses from adjacent residential uses. An elevation change along with vertical trees and a solid wall will provide screening and result in an attractive transition.

3. Residential/School-Park

This treatment buffers residential uses from school-park sites. Because of the hillside nature of the site, two different edge conditions are present at each school-park site; an uphill condition and a downhill condition. The uphill condition is shown in Exhibit 43, and the downhill condition is shown in Exhibit 44.

The uphill treatment is where the residential area is higher than the school-park site while the downhill treatment is the reverse condition. Trees provide erosion control along with shrub planting and ground cover. A combination stucco and wrought iron wall complete the treatment.

4. Open Space/Slope Transition

In those areas where grading will be required between residential or commercial pads and uphill natural slopes, an Open Space/Slope Transition area, such as that shown in Exhibit 45, is proposed. This treatment will ensure proper revegetated edge conditions, provide for an aesthetic transition between natural and man-made conditions and, if and when necessary, reduce fire hazards by creating a fuel modification zone.

TREES TO PROVIDE SCREENING EFFECT

ONE-STORY
MULTI-FAMILY

NO VIEW OF
MULTI-FAMILY

SINGLE-FAMILY

SECTION

10' MIN

5' MIN

WALL

SINGLE-FAMILY

MULTI-FAMILY

15 MIN. 25 MAX.
PER TREE SPECIES

PLAN

EXHIBIT 41

Landscape Buffer

Single Family/Multi-Family Residential

Alberhill Ranch

LONG BEACH EQUITIES, INC



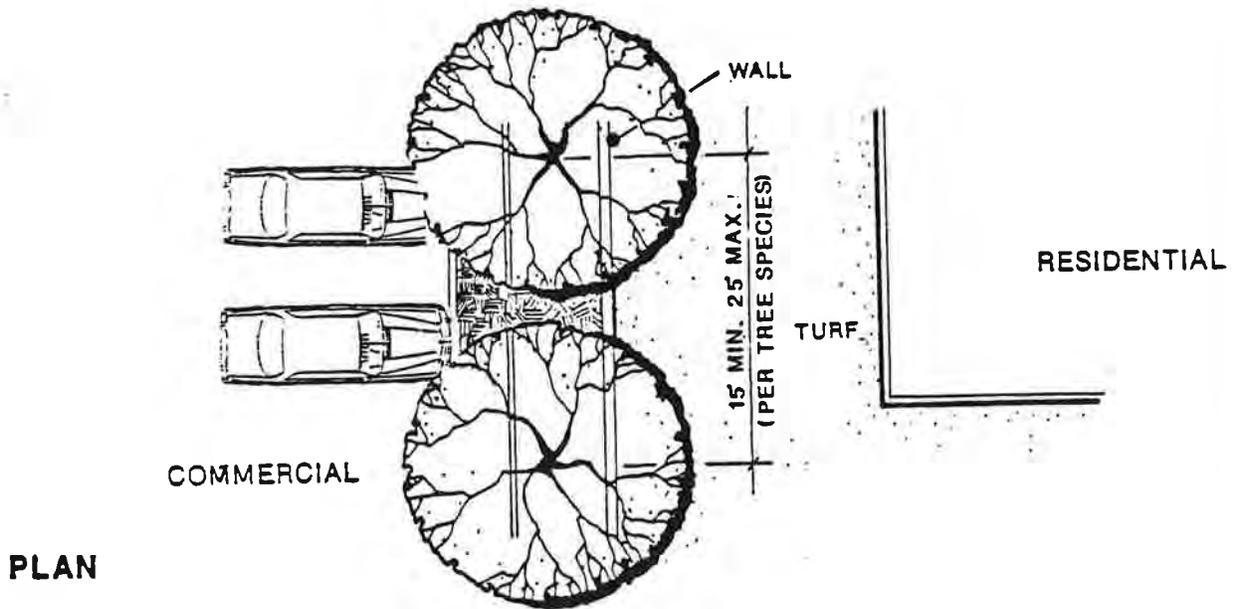
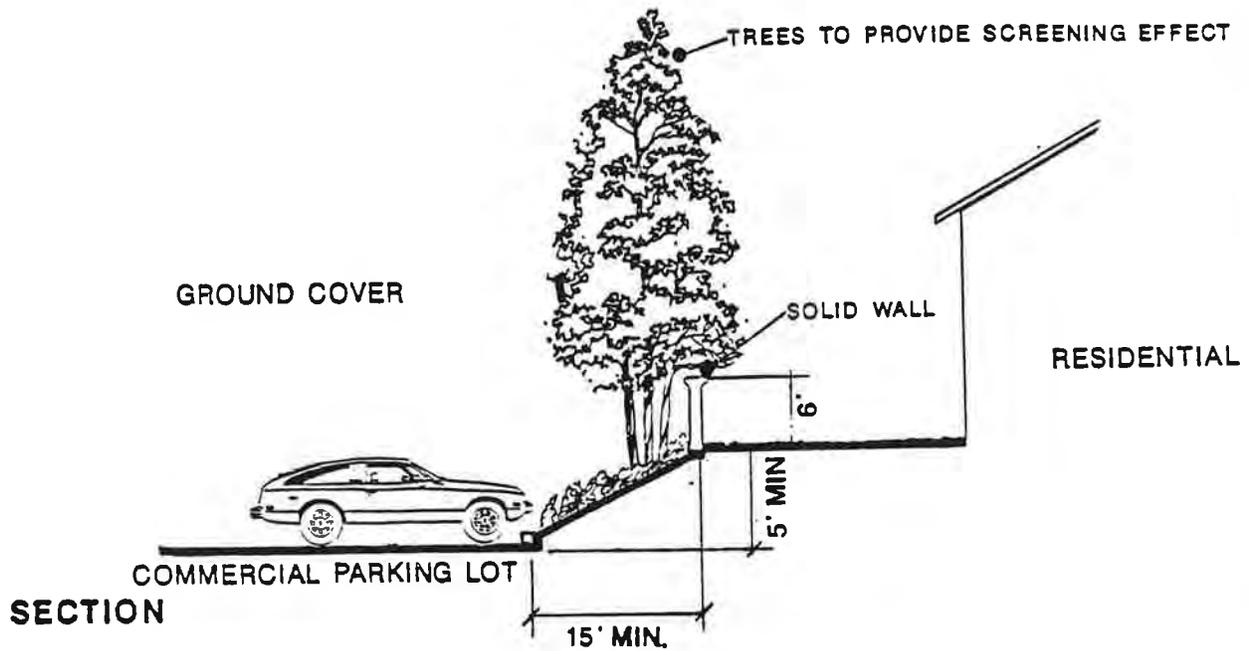


EXHIBIT 42

Landscape Buffer

Commercial/Residential

Alberhill Ranch

LONG BEACH EQUITIES, INC



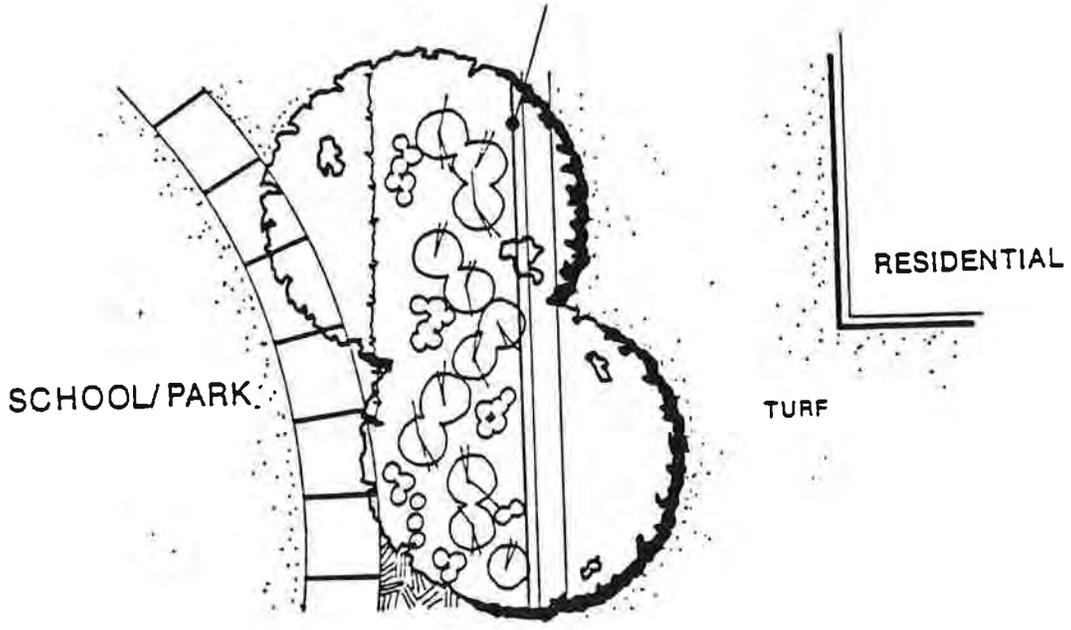
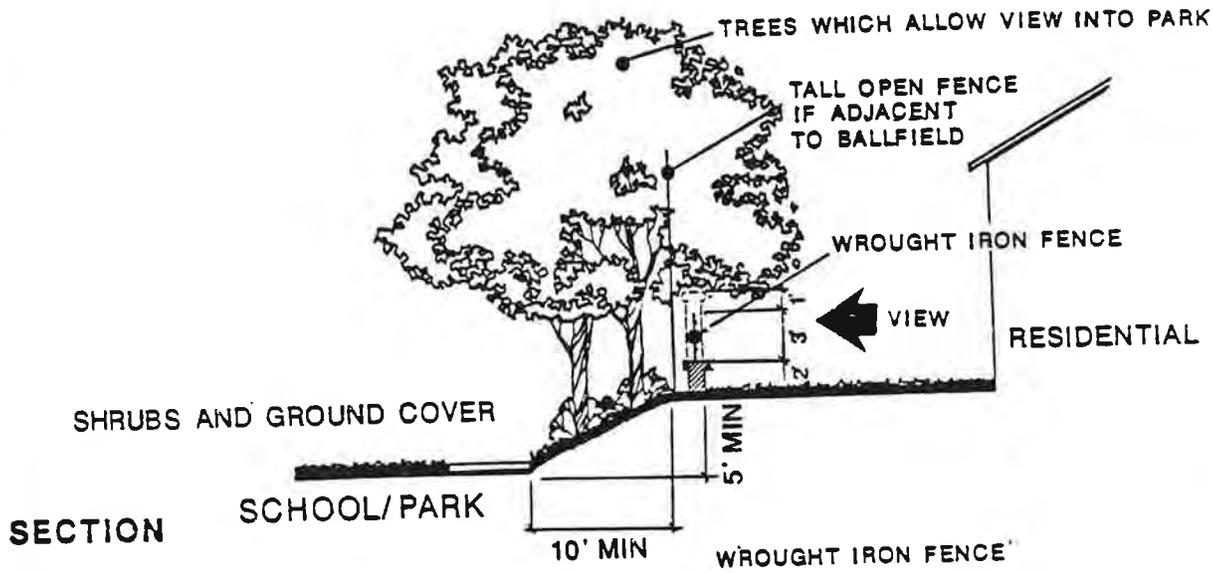


EXHIBIT 43

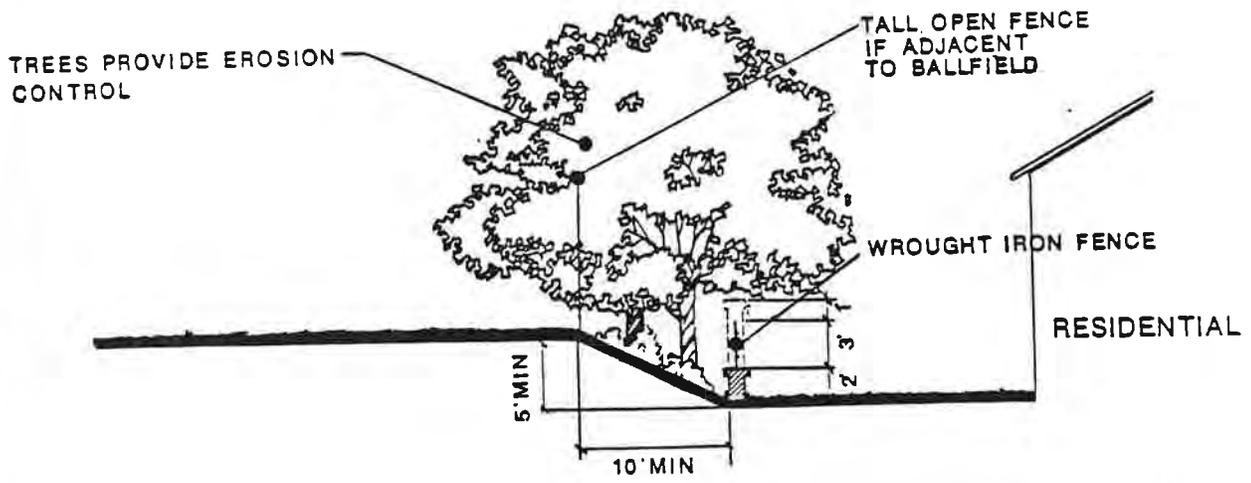
Landscape Buffer—Uphill Condition

Residential/ School/ Park

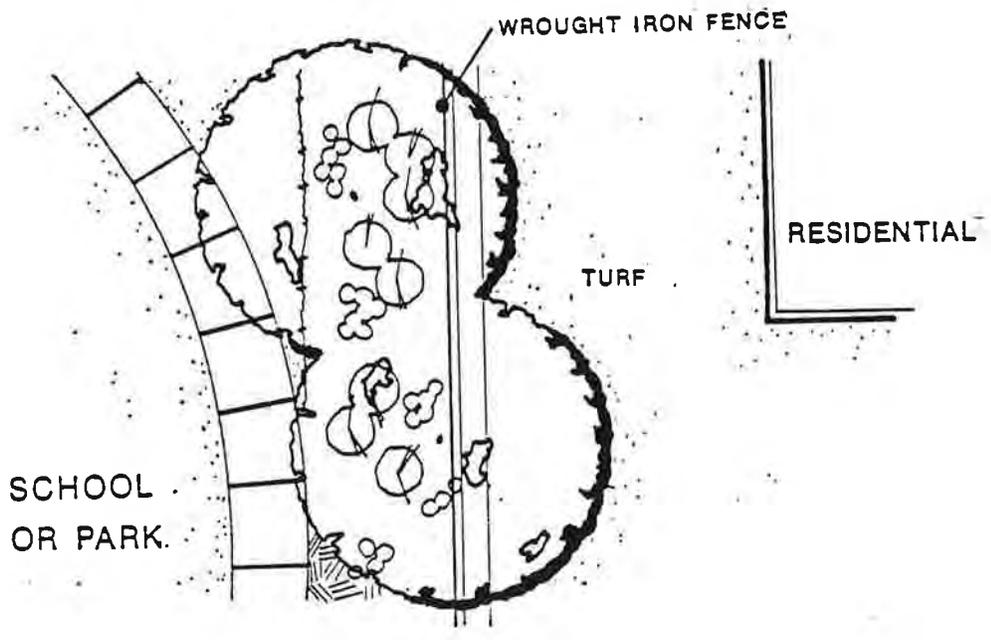
Alberhill Ranch

LONG BEACH EQUITIES, INC





SECTION



PLAN

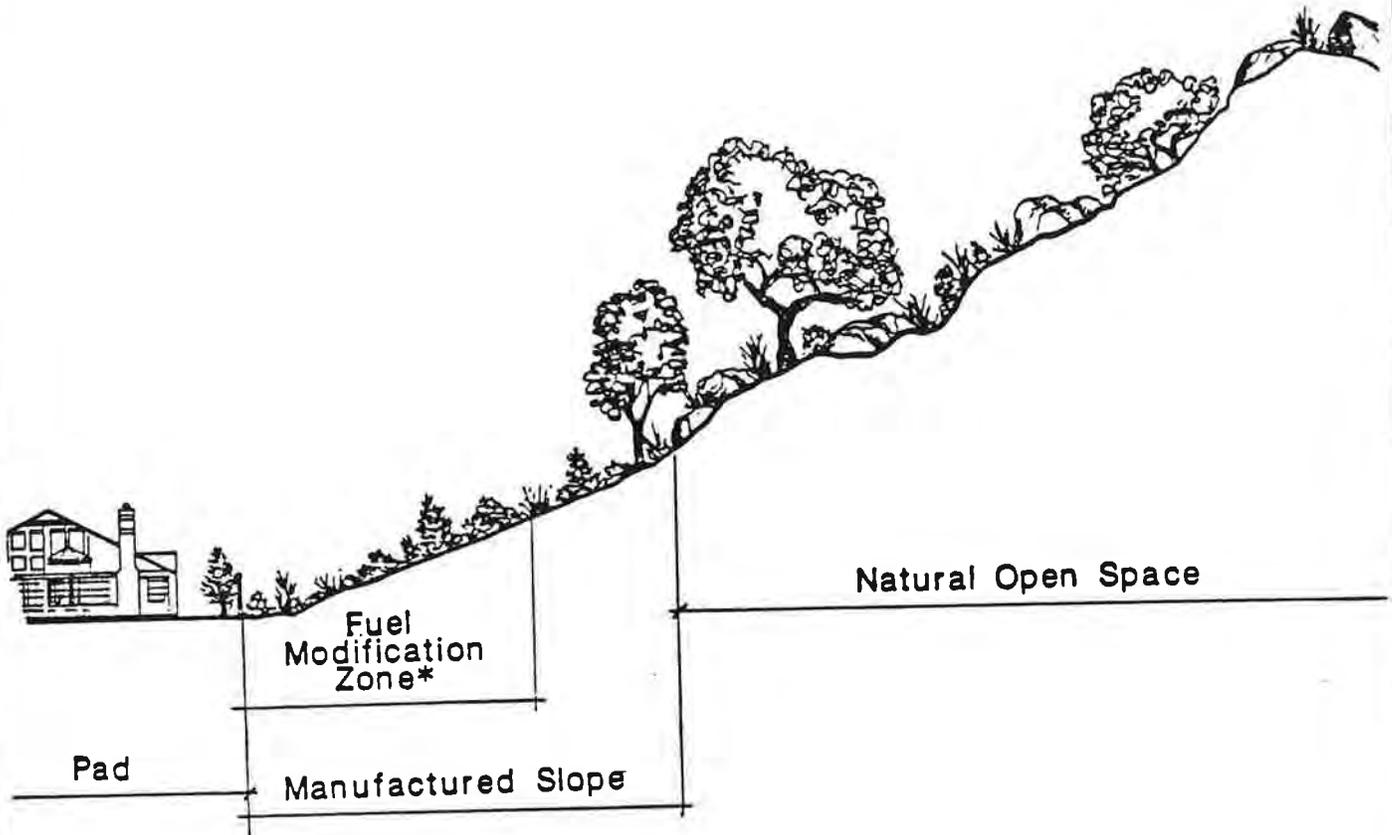
EXHIBIT 44

Landscape Buffer—Downhill Condition
Residential/School Or Park

Alberhill Ranch

LONG BEACH EQUITIES, INC





*Nothing in this zone should be over 18" high, and a regular program of watering and weed control is necessary.

EXHIBIT 45

Open Space/
Slope Transition Area

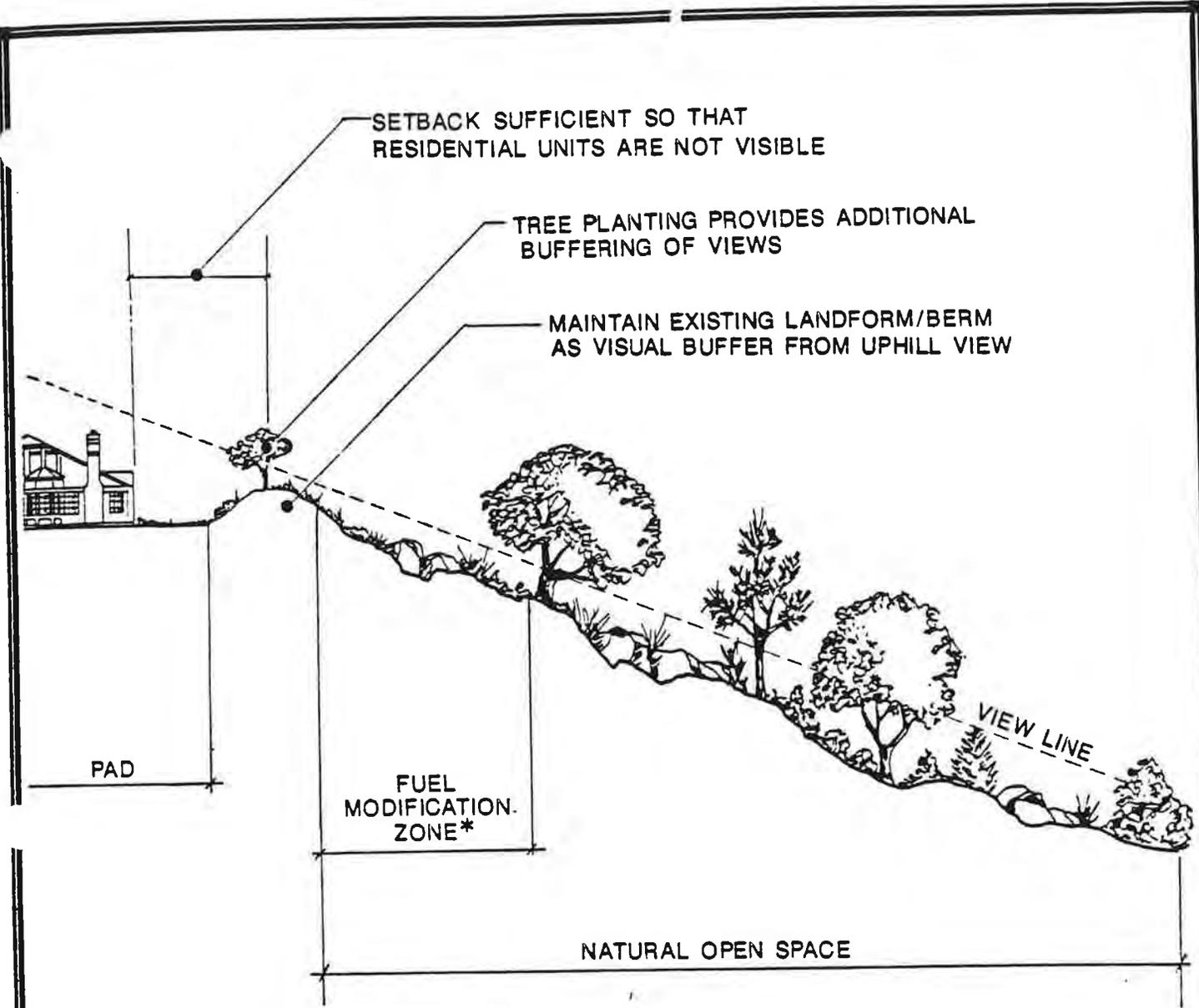
Alberhill Ranch

LONG BEACH EQUITIES, INC



5. Open Space/Pad Transition

This treatment, as depicted in Exhibit 46, will arise when residential pads transition to natural downhill slopes. This condition would occur in the Single Family residential - RCD area where it is adjacent to the natural open space along Walker Canyon; and in the Single Family residential - RR area in the southern area of the project. The existing landform is maintained and acts as a visual buffer from uphill views. Residential units will utilize a generous setback so that they cannot be visible by uphill views. Tree planting on the residential side of the landform will augment the natural vegetation on the open space side and further buffer uphill views.



SETBACK SUFFICIENT SO THAT
RESIDENTIAL UNITS ARE NOT VISIBLE

TREE PLANTING PROVIDES ADDITIONAL
BUFFERING OF VIEWS

MAINTAIN EXISTING LANDFORM/BERM
AS VISUAL BUFFER FROM UPHILL VIEW

PAD

FUEL
MODIFICATION
ZONE*

VIEW LINE

NATURAL OPEN SPACE

*Nothing in this zone should be over 18' high,
and a regular program of watering and weed
control is necessary.

EXHIBIT 46

Open Space/
Pad Transition Area

Alberhill Ranch

LONG BEACH EQUITIES, INC



F. COMMUNITY PARKS, OPEN SPACE AND TRAILS

Recreation plays an important role in the overall attempt to blend a natural environment with a rural ranch-type lifestyle thus emphasizing the rural "California ranch" theme for Alberhill Ranch.

The interrelationship of the recreational opportunities, open space and bike/pedestrian links is depicted in general terms on the Parks, Open Space and Trails Plan, Exhibit 47. Each element is discussed in greater detail below.

1. Community Park

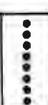
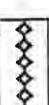
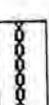
The southerly community park within Alberhill Ranch will feature both passive and active facilities.

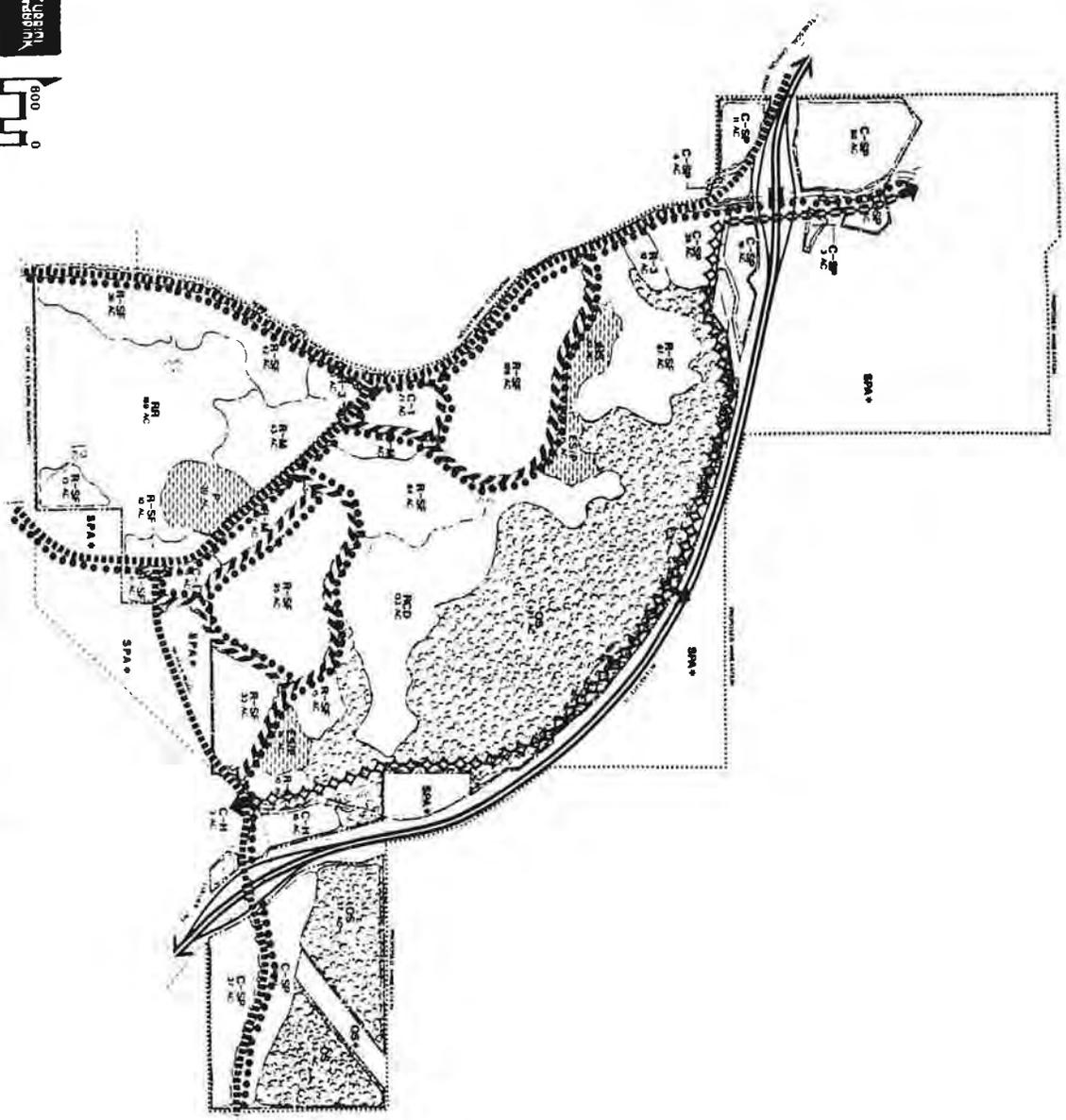
The northern area of the park, along Coal Road, will primarily be active, with potential uses including softball/soccer/football field(s), tennis courts, volleyball courts, tot lot, picnic facilities, and restrooms. This active area would transition to passive uses as the topography increases to the south and west areas of the park. Uses in this area would emphasize recreational opportunities afforded by the natural topography such as hiking and rock climbing. This concept would also create a natural buffer and transition between the park and the Single Family Rural (RR) planning area. Typical detail for the park is shown in Exhibit 48.

2. Joint School/Parks

Two joint school/park sites are proposed for the Alberhill Ranch community. These will be developed to the specifications of the Lake Elsinore School District. Pursuant to existing requirements the park will include a soccer/football/softball field, tennis courts, volleyball courts, racquetball courts, restrooms and parking facilities. The land-

EXHIBIT 47
**Schools/Parks,
 Open Space & Trails**

- Legend**
-  SCHOOLS/PARKS
 -  OPEN SPACE
 -  PEDESTRIAN WALKWAY
 -  BIKE PATH (SECOND CLASS)
 -  BIKE PATH (THIRD CLASS)
 -  EQUESTRIAN AND HIKING TRAIL
 -  EQUESTRIAN TRAIL ADJACENT TO PUBLIC STREET



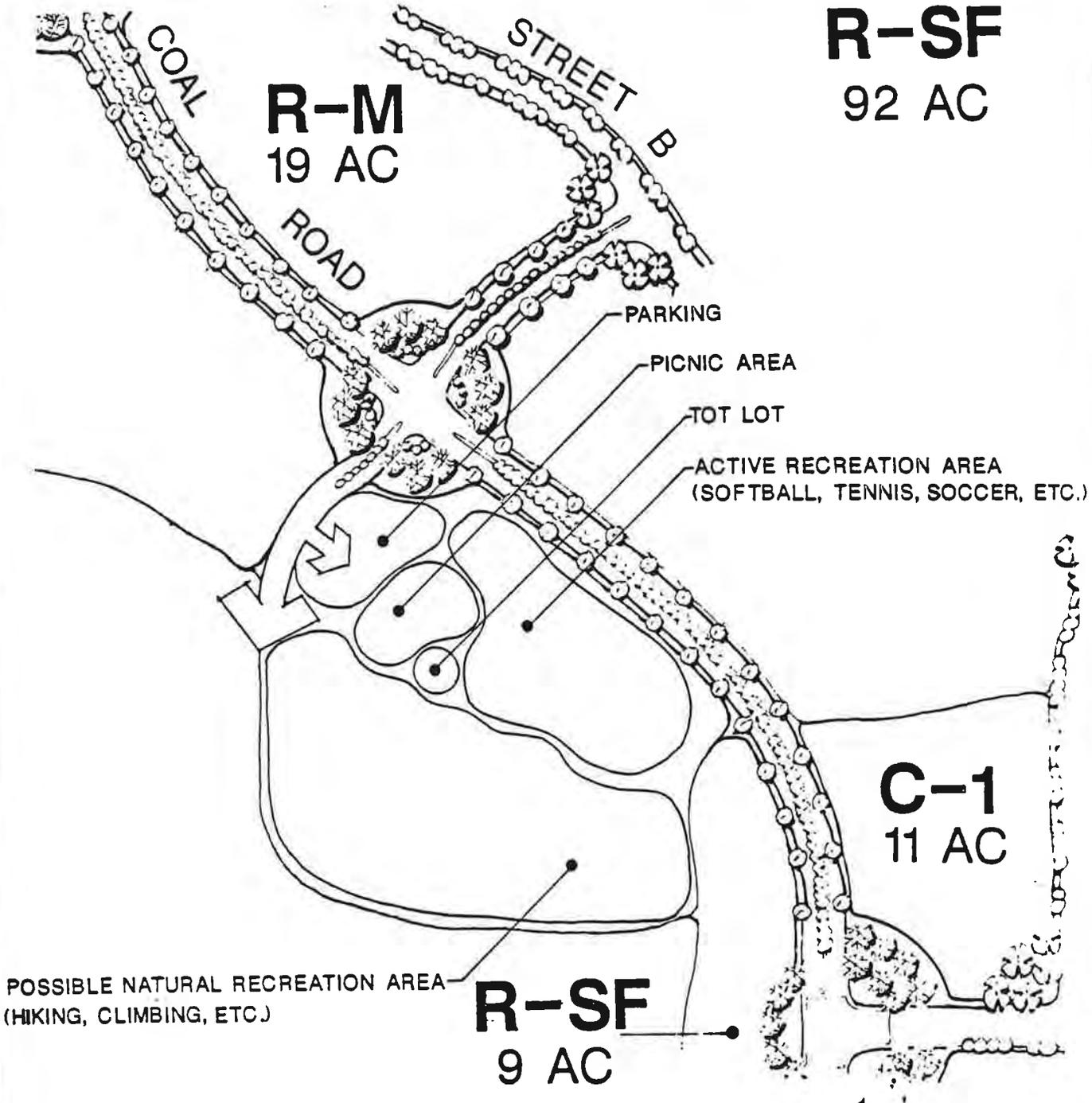


EXHIBIT 48

Community Park Alberhill Ranch

LONG BEACH EQUITIES, INC



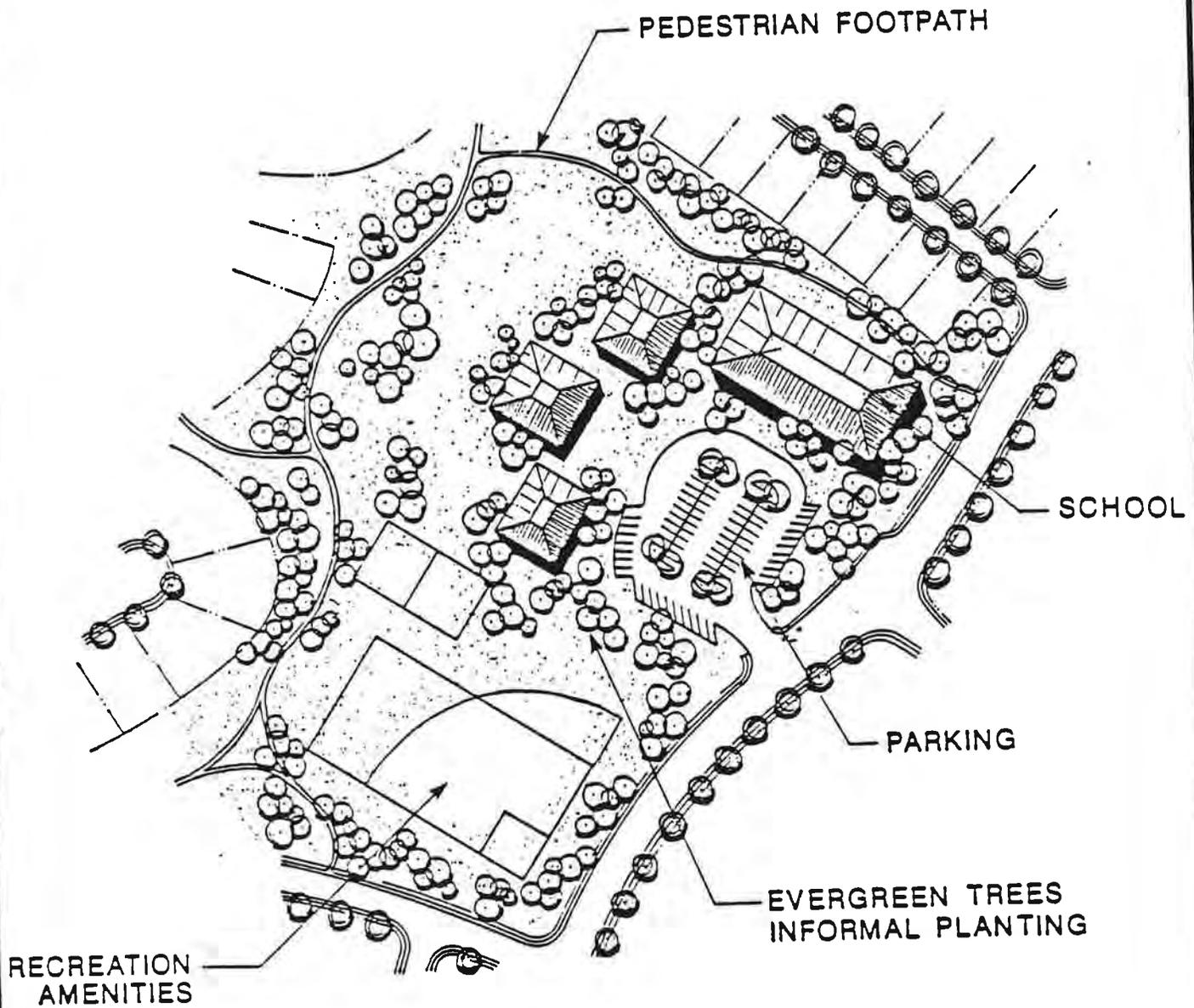


EXHIBIT 49

Joint School/Park Concept

Alberhill Ranch

LONG BEACH EQUITIES, INC



scaping theme will be established through the use of tall evergreens, such as eucalyptus. A conceptual site plan is shown in Exhibit 49.

3. Trail System

An extensive pedestrian walkway and bike lane system is proposed for Alberhill Ranch, as shown in Exhibit 47. This system links the residential areas with the school/park sites, commercial areas, and the community park. It also provides a practical recreational amenity that serves to tie the various residential planning areas together. Section views of the proposed system are shown on the streetscape sections, Exhibits 29 & 30.

An equestrian/hiking trail has been provided in the Walker Canyon open space area adjacent to Temescal Creek. That trail will connect to the trail system that is being proposed by the County Parks Department. This trail will provide the community with a logical means of access to enjoy the natural beauty of the Temescal Creek area.

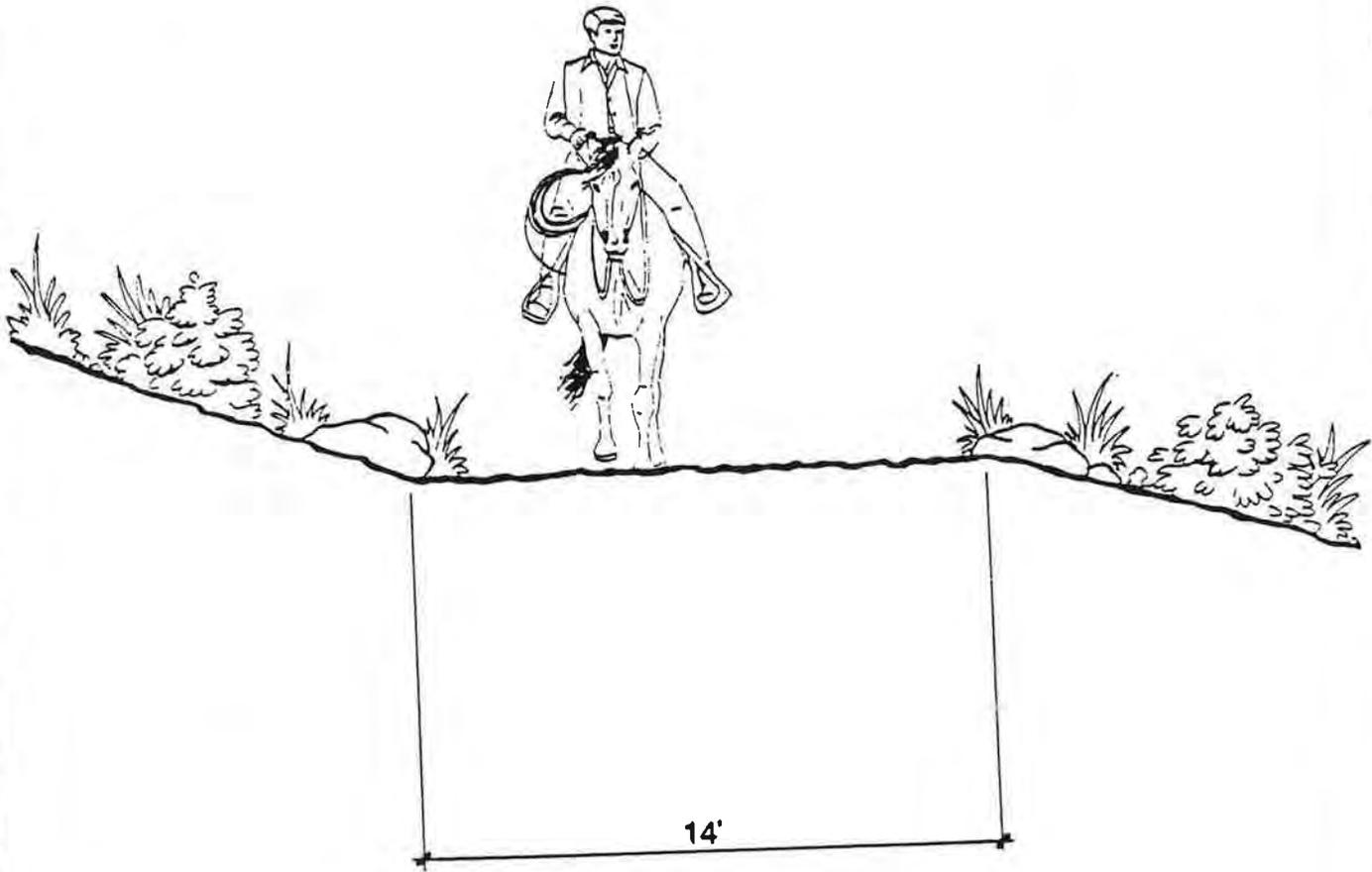


EXHIBIT 49A

Equestrian & Hiking Trail

Alberhill Ranch

LONG BEACH EQUITIES, INC



G. COMMUNITY WALLS AND FENCING

Community walls and fences consist of such elements that will face public streets or view corridors or that will be constructed in relation to public facilities or uses.

Community walls and fences serve as a unifying element along street corridors and link community, project and neighborhood arrival and entry features at major intersections throughout the project. The community wall and fencing program is intended to allow flexibility in the use of such elements along major street corridors while ensuring consistency in the type of materials utilized.

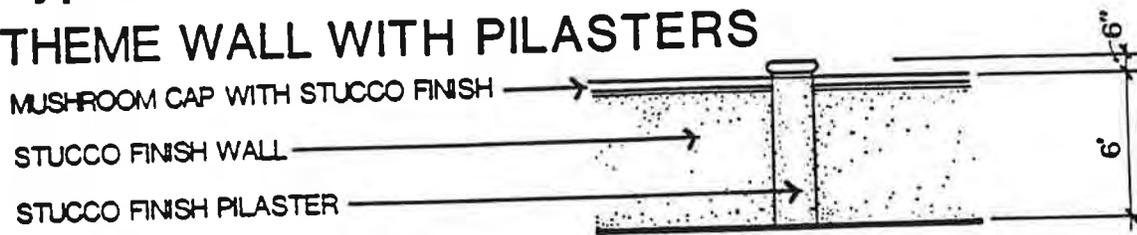
Four types of walls/fences are illustrated in Exhibit 50. Within the formal, semi-formal and informal landscape treatment areas adjacent to the Arterial, Major and Secondary Highways, Type A and Type C elements may be constructed adjacent to residential uses. Type B elements are appropriate in conjunction with commercial uses. Type B elements are appropriate as well along Collector Streets to link neighborhood entries.

Within view corridor areas, Type D elements are to be utilized. These areas occur where residential development abuts open space areas, park sites and/or Rural Residential development areas.

These wall and fencing elements are recommended to enhance the landscape corridors to view corridors within the project. To ensure maximum flexibility, the City may consider these or other walls, fencing or screening treatments (such as berms and increased planting) in areas of high visibility during the Site Plan and Subdivision Map Review stage of development.

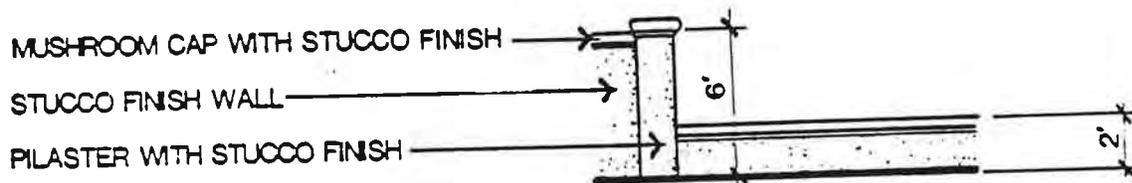
Type A

THEME WALL WITH PILASTERS



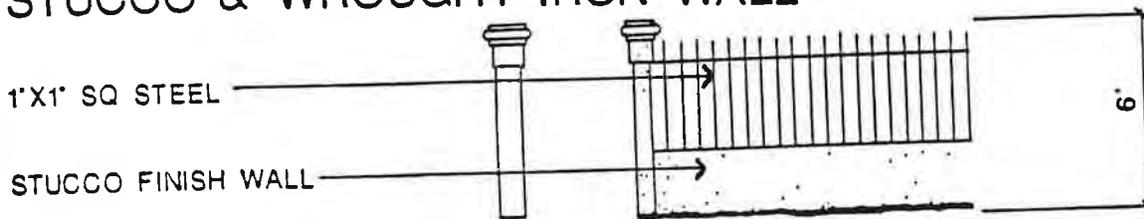
Type B

LOW STUCCO THEME WALL WITH PILASTERS



Type C

STUCCO & WROUGHT IRON WALL



Type D

WOOD SPLIT RAIL FENCE

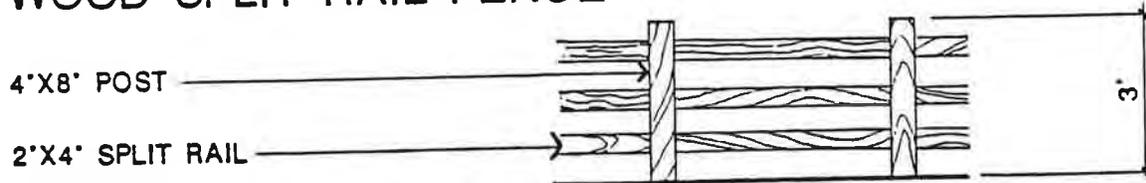


EXHIBIT 50

Community Wall And Fence Detail

Alberhill Ranch

LONG BEACH EQUITIES, INC

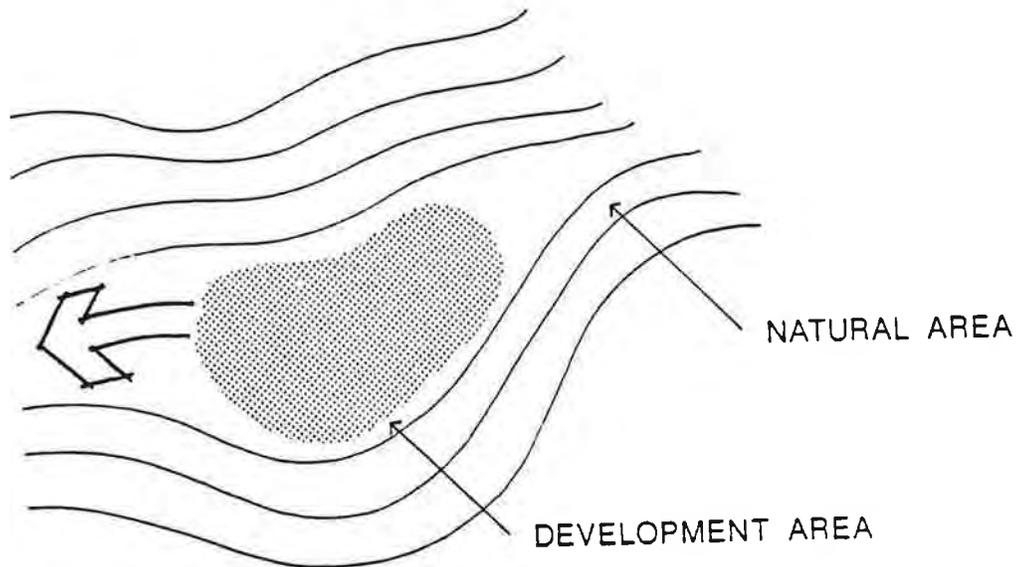


H. GRADING DESIGN

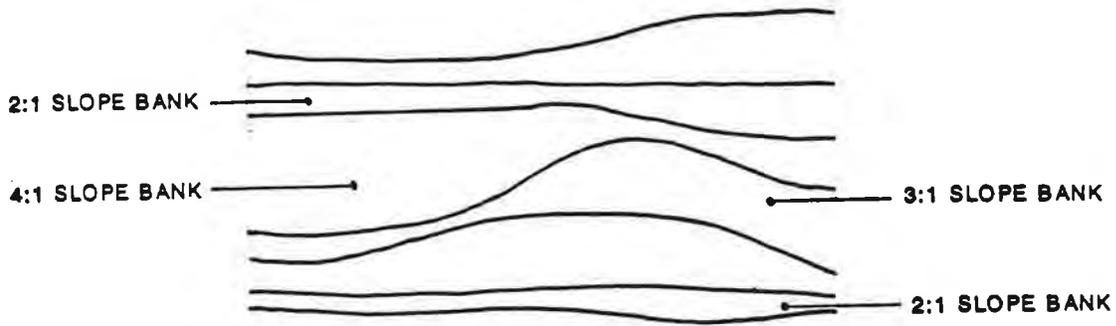
A significant portion of the Alberhill Ranch site consists of hillside topography, much of which is greater than 25%. This constitutes a significant natural feature of the site and should be retained in its natural state as much as possible. Where development is to occur, grading should be done in a way that minimizes disturbance of the natural topography, blends in with the natural topography, and produces an aesthetically pleasing development.

The following design guidelines will ensure these objectives are met:

- a. Cluster development whenever possible to preserve natural areas.

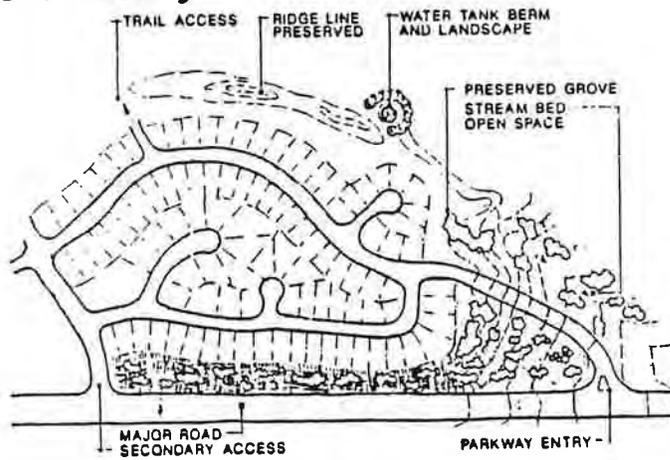


b. Utilize varying gradients in manufactured slopes.

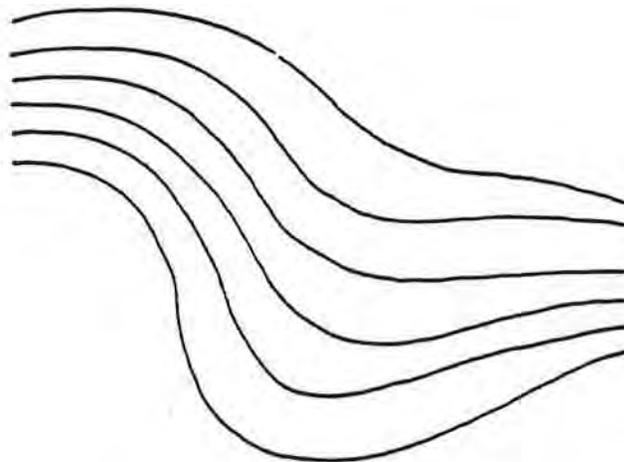


VARIETY IN SLOPE BANK GRADIENTS CREATES A MORE NATURAL APPEARANCE

c. Emulate existing surrounding topography.



d. Utilize curvilinear contour lines.



I. COMMUNITY SIGNAGE PROGRAM

A. GENERAL SIGNAGE PROGRAM

The provisions, standards, and requirements of Chapter 17.94, Signs - Advertising Structures, of the Zoning Ordinance shall apply in full to all development within the Alberhill Ranch Specific Plan project. In addition, the following standards and requirements shall also apply to all development with the Alberhill Ranch Specific Plan project. Should a conflict arise between the signage provisions, standards, and requirements in the Zoning Ordinance and those contained herein, the following provisions, standards, and requirements shall take precedence.

1. On-Site Informational and Directional Signage

These signs inform, identify and direct vehicular and pedestrian traffic to various on-site destinations. They may be used on community trails or display a destination, direction or location.

The standards listed below may apply to all Informational and Directional Signs in the Alberhill Ranch Specific Plan:

- a. Information on directional signs should be kept to a minimum (i.e. visitor parking, employee parking).
- b. All information portrayed on informational signs should be limited to the minimum verbiage required.
- c. Directional signs should use arrows where appropriate.
- d. All directional signs should be the same throughout the project area.
- e. Directional signs may or may not be illuminated.

2. Standard Traffic Signage

All standard traffic signage such as stop signs, traffic control signs, yield signs, etc. will conform to the international sign system, the California Motor Vehicle code, and the standards of the City of Lake Elsinore

B. COMMERCIAL SIGNAGE PROGRAM

The provisions, standards, and requirements of Chapter 17.94, Signs - Advertising Structures, of the Zoning Ordinance shall apply in full, except that, for the purposes of all uses and development within the Alberhill Ranch Specific Plan project,

the standards as set forth in Section 17.94.180, Chapter 17.94 of the Zoning Ordinance, shall be deleted and replaced with the following commercial and industrial signage standards:

1. General Signage Regulations

The following general signage regulations are encouraged in the Alberhill Ranch Specific Plan.

- a. No sign shall be permitted that does not pertain directly to an approved business conducted on the premises, except as provided pursuant to Section 17.94.060, Exemptions, in Chapter 17.94 of the Zoning Ordinance.
- b. All signs, except those provided for in Section 17.94.160, Temporary Advertising Devices, in Chapter 17.94 of the Zoning Ordinance, shall be permanent in nature and shall be consistent with and reflect the architectural design of the building with which they are associated, and shall incorporate unifying features such as materials.
- c. All light sources, either internal or external, provided to illuminate signage should be placed or directed away from public streets, highways, sidewalks or adjacent premises to not cause glare or reflection that may constitute a traffic hazard or nuisance.
- d. All signage shall be designed free of bracing, angle-iron, guy wires, cables or similar devices.
- e. The exposed backs of all signs visible to the public shall be suitably covered, finished and properly maintained.
- f. All signs should be maintained in good repair, including display surface, which shall be kept neatly painted or posted.

2. Prohibited Signage

The following signs are prohibited in the Alberhill Ranch Specific Plan:

- a. Inflatable signs, balloons, animals or symbols.
- b. Rooftop signs.
- c. Portable signs.

- d. Signs on trailers or painted on the sides displaying any unlawful act, business or purpose.
- e. Rotating, revolving or flashing signs.
- f. Project advertising signs are discouraged.
- g. Signs advertising or displaying any unlawful act, business or purpose.
- h. Any strings or pennants, banners or streamers, clusters of flags, strings or twirlers or propellers, flares, balloons and similar attention-getting devices, including noise-emitting devices, with the exception of the following:
 - 1) National, state, local governmental, institutional or corporate flags, properly displayed.
 - 2) Holiday decoration, in season, used for an aggregate period of sixty (60) days in any one calendar year.

3. Materials/Color Scheme

An effort should be made to achieve consistency between building style and sign design. Signage generally should be compatible with the exterior treatment of the building or location identified. The message a sign conveys is affected by the materials and colors used in combination.

Color schemes for signage should relate to other signs, graphics, and color schemes in the vicinity, to achieve an overall sense of identity.

4. Lighting

The quality of sign lighting should relate to the character that is intended for the area. No sign illumination should cause a glare or illuminate adjacent sites. Signs may be illuminated by continuous and uniform interval lighting or external lighting sources. Signage that is either internally or externally illuminated shall follow these guidelines:

- a. All external light sources should be adequately shielded to guide or direct the light toward the sign face and prevent glare or illumination of adjacent properties and structures.

- b. Light fixtures should be well integrated with the design and color scheme of the sign using appropriate design, color and lighting hardware.
- c. Creative uses of internal lighting are encouraged when the color and intensity of the light is well blended into the sign design.
- d. Artistic applications of lighting in signs are acceptable when used for uses conducted after dark, such as restaurants.
- e. All sign light shall comply with any and all applicable requirements and policies of the City of Lake Elsinore.

5. Monument Signage

Monument signs typically display messages at or below eye level and have direct relationship to pedestrians and vehicles. Monument signs project a feeling of permanency and may be made of a variety of materials that are consistent with the structures they are identifying.

These standards apply to all Commercial and Industrial Monument Signs in the Alberhill Ranch Specific Plan.

- a. All monument signs should be set back a minimum of twenty (20) feet from the street curb and shall be set back a minimum of fifteen (15) feet from adjacent lots and five (5) feet from any driveway. Only one (1) sign per lot is permitted.
- b. Monument signs should be limited to identifying the project, building, complex or company occupying the site.
- c. Signs should not exceed four (4) feet, six (6) inches in height, including base.
- d. Monument signs should not exceed forty-eight (48) square feet in area.
- e. All monument signs should have a minimum side dimension of six (6) inches.
- f. Monument signs should have a masonry or concrete base and shall be compatible with building architecture.
- g. Monument signs may be double sided.

6. Wall Mounted Building Signs

Wall signs may be used where other types of signage are not appropriate or to complement a building design. Wall signs can add visual interest to expanses of wall. Wall signs employing individual letters mounted to the wall are encouraged. Support structures for attaching other wall signs should be made inconspicuous. Wall signs typically require more maintenance than other types of signage, so an effort should be made to keep their appearance attractive.

The standards listed below generally apply to Wall Mounted Building Signs in the Alberhill Ranch Specific Plan.

- a. Wall mounted building signs are reserved for office buildings that require special ground floor recognition and individual industrial buildings with only one tenant.
- b. Wall mounted building signs should be located only within the limits of the ground floor wall area.
- c. Wall mounted building signs should be located two (2) feet below the top of the parapet wall and two (2) feet from the edge of the building.
- d. The maximum area of a wall mounted building sign should not exceed sixty (60) square feet.
- e. All wall mounted signs are encouraged to be horizontal.
- f. No wall sign should exceed four (4) feet in height.
- g. No wall sign should be painted on building surface.
- h. Wall mounted sign words, figures, symbols, or designs should be dimensioned having an edge thickness of three (3) inches minimum, eight (8) inches maximum.
- i. Wall mounted signs should be flush mounted to building surface.

7. Multi-Tenant Building Signs

Fascia signs may be used in addition to other types of signage. When several businesses are located within one building or when a certain theme is established for multi-tenants, the framing, lighting and positioning should be the same. Grouping such signs into a directory is encouraged.

These standards generally apply to all Multi-Tenant Building Signs:

- a. No sign should exceed twelve (12) square feet.
- b. All multi-tenant signs should be similar in design, having the same size, shape and color as its neighbor.
- c. All multi-tenant signs should be mounted at the same height and should be in close proximity to the entry of tenant's space.
- d. Multi-tenant signs should be mounted flush with the building wall.
- e. Multi-tenant signs should not exceed five (5) feet six (6) inches mounting height, and be not more than three (3) feet wide, four (4) feet high.

8. Projecting Signs

Projecting signs should be used when there is limited visibility or to add interest to a building. The support structure for such signage should complement the architectural style of the building.

These standards generally apply to all Projecting Signs:

- a. Projecting signs should only be used in areas of limited visibility.
- b. Sign dimensions and configurations shall be submitted to the City of Lake Elsinore Community Development Director for approval.
- c. Any projecting sign should use materials complementary to the building architecture.
- d. Only one sign per building should be allowed, with the exception of corner lots where two signs per building are acceptable.

9. Pole Mounted Signs

Pole mounted signs shall be permitted within those C-SP and the C-H commercial zones adjacent to the freeway. Said signs may only be located adjacent to the freeway either where visibility may be obscured by vegetation (e.g., trees) or where long distance visibility is needed to enable motorists time to safely exit the freeway.

The following standards apply to all pole mounted signs in the Alberhill Ranch Specific Plan:

- a. Pole mounted signs shall be limited to identifying the company/business occupying the site.
- b. Signs shall not exceed twenty-five (25) feet in height.
- c. Signs shall not exceed thirty-six (36) square feet in area.
- d. Pole mounted signs may be double sided.

X. IMPLEMENTATION

Several processes and procedures must be accomplished in order to implement the development proposals contained within this Specific Plan. It must be established that the Specific Plan is consistent with all State and local requirements before it may be approved by City Council. Following its approval, several steps must be completed at the regional and state levels before actual development may commence. These steps and procedures are described in detail below.

A. CONSISTENCY

1. State Planning and Zoning Law

Section 65450 of the Government Code of the State of California (known as the State Planning and Zoning Act) gives authority for the preparation of specific plans. Section 65450 states: "The planning agency may, or if so directed by the legislative body, shall prepare specific plans based on the general plan and drafts of such regulations, programs, and legislation as may in its judgement be required for the systematic execution of the general plan and the planning agency may recommend such plans and measures to the legislative body for adoption." Articles 8 through 10 of Chapter 3 of this law defines the Scope, Procedures for Adoption and Administration of Specific Plans and Regulations. This Specific Plan has been prepared in accordance with these provisions of the State Planning and Zoning Act.

2. California Environmental Quality Act

The California Environmental Quality Act of 1970 (CEQA) was enacted in response to increasing public concern over the environment. In a 1972 landmark case, Friends of Mammoth et al. vs Board of Supervisors Mono County et al., the California Supreme Court ruled that Environmental Impact Reports must be prepared for both public and private projects having a significant effect on the environment. Environmental Impact Reports must be prepared for all specific plans. Focused EIRs or Negative Declarations may be adequate for lesser projects or for component projects which are part of a Master EIR.

The EIR which accompanies this Specific Plan has been prepared in accordance with the provisions of CEQA, addressing potential impacts and mitigation measures that may result as part of the Alberhill Ranch project.

3. City of Lake Elsinore General Plan

Section 65300 requires cities to adopt a comprehensive long-term general plan for the physical development of the City, and any land outside of its boundaries which in the planning agency's

judgement bears relation to its planning. The City of Lake Elsinore adopted its General Plan in December, 1982 (Resolution No. 82-83). The plan projects the development of the community to the year 1992. The plan delineates the southerly portion of the project site, which at the time, was within the City's Sphere of Influence. The City has since extended its Sphere boundary further north and east to encompass the entire project site. The General Plan, however, has not been updated to show land use designations within its new Sphere.

The General Plan Land Use Map designates several different land uses on and adjacent to the project site. The majority of the land outside of the City limits is designated (1) Very Low Density (1 du/2ac). Much of the residential area south of the project site is designated (2) Low Density (0-6.0 du/ac) and (17) Planned District.

It may be assumed that land outside of the City is intended to remain Very Low Density and that Low Density designations are appropriate along the perimeter of the City's boundaries. This would be true of the Ramsgate, Missing Link, Daon, and Canyon Lake Specific Plan areas in the eastern portion of the City. The Alberhill Specific Plan area would be consistent with this intent of the General Plan upon annexation of the area into the City, at an overall density of 2.0 du/ac.

An analysis of the City's adopted General Plan Goals and the conformance of this Specific Plan program with the Goals is summarized in Table 8.

4. City Council Policies

In 1987, the City Council initiated a process of updating its General Plan. In the process, the Council identified several land use policies that would help guide the review of General Plan Amendments and Rezoning applications. An analysis of the consistency of this Specific Plan with these policies is provided in Table 9.

B. PROCEDURES

1. General Plan Amendment

A primary process involved in this Specific Plan/EIR application is the filing of a General Plan Amendment to include the project area. Section 65350, et. sec. of the State Planning and Zoning Act describes the procedures by which General Plans shall be prepared, adopted and amended. State law requires that:

- o Prior to an action by the City Council to adopt or substantially amend the General Plan, the proposal shall be referred to the County the project is within, or which

abuts the area covered by the proposal; any special district which may be significantly affected by the proposed action, the Local Agency Formation Commission; and any area-wide planning agency whose operations may be significantly affected by the proposed action.

- o Each entity receiving the proposed amendment shall have 45 days from the date the Planning Department mails it or delivers it in which to comment, unless a longer period is specified by the Planning Department.
- o The City Planning Commission shall hold at least one public hearing before approving a recommendation on the amendment to the General Plan and notice of the hearing shall be given pursuant to Section 65090.
- o Prior to adopting the General Plan Amendment the City Council shall hold at least one duly noticed public hearing.

2. Pre-Zoning

In conjunction with the General Plan Amendment to establish the appropriate land use designation on the site, a City zoning classification must also be determined. Pre-zoning is the process by which the City assigns a zoning classification to land before it is annexed into the City. This process would occur concurrently with the proposed General Plan Amendment and Request for Annexation.

3. Annexation

Prior to its submittal to LAFCO, the Request for Annexation will be processed by the City together with the General Plan Amendment and Pre-Zoning applications. The City, as the Conducting Authority in the LAFCO process, reviews the proposal and completes the Certificate of Filing once the application is accepted. Prior to City Council action, the Planning Commission conducts a duly noticed public hearing and forwards its recommendation. Following its public hearing, the City Council then renders its decision. When approved, the Council adopts a resolution requesting annexation which is transmitted to LAFCO.

Within 30 days of receipt of the application, a determination of completeness or incompleteness is made by the LAFCO Executive Officer. Provided the application is complete, the LAFCO hearing on the request is scheduled to be held within 90 days of issuing the Certificate of Filing.

State law requires LAFCO to consider several factors when reviewing proposals. According to Commission policy, it is the applicant's responsibility to demonstrate that the proposal is

justified in accordance with these criteria. Factors to be considered by LAFCO include the following:

Factors to be Considered by LAFCO
(Calif. Government Code Sec. 54796)

- o Population, density, land area and land use, per capita assessed valuation, topography, natural boundaries, drainage basins, proximity to populated areas, likelihood of significant growth during next ten years.
- o Need for organized community services, present cost and adequacy of government services and controls, probable future needs, probable effect of change of organization and of alternative courses of action on the cost and adequacy of services and controls in the area and adjacent areas.
- o The effect of the proposed action and of alternative actions on adjacent areas, on mutual social and economic interests and on the local governmental structure of the county.
- o Conformity of the proposal and its effects with commission policies on providing planned, orderly, efficient patterns of urban development and with state policies and priorities on conversion of open-space lands to other uses.
- o Effect of the proposal on maintaining the physical and economic integrity of lands in an agricultural preserve in open-space uses.
- o Definiteness and certainty of the boundaries of the territory, the nonconformance of proposed boundaries with lines of assessment or ownership, the creation of islands or corridors of unincorporated territory, and other similar matters affecting the proposed boundaries.
- o Conformity with appropriate City or county general and specific plans.
- o The "Sphere of Influence" of any agency which may be applicable to the proposal being reviewed.

Following its public hearing, LAFCO transmits its resolution to the Conducting Authority (the City) for its proceedings to be completed. Following the City public hearing, the Council adopts an ordering resolution which is then transmitted to LAFCO. Once LAFCO has filed all necessary documents with State and County agencies, it transmits the Notice of Completion to the City.

4. State Mineral Lands Classification

As part of the review of the Draft EIR and General Plan Amendment through the State Clearinghouse process, the State Division of Mines and Geology will participate as a responsible agency. However, the State's role in the process is to review and comment only. It has no power to supercede any local agency decision to convert mineral land to an alternative land use.

It should be noted that the Surface Mining and Reclamation Act (SMARA) requires that a lead agency's land use decisions involving designated areas are made in accordance with its mineral resource management policies. A lead agency, in determining land use in designated areas, must balance mineral value against alternative land uses and consider the importance of the designated mineral resources to their market region as a whole, and not just their importance to the lead agency's area of jurisdiction. State Board staff observed that if Pacific Clay is stopping its mining operation on the site, then it may not be economical for Pacific Clay to continue. If the City, as Lead Agency, supports an urban land use on the site, and the State feels that a "good faith" effort has been made to protect the resource up to this point, Board staff would expect no opposition from the State in reviewing a potential land use change from the existing classification.

5. Specific Plan

a. Processing

This Specific Plan shall be processed in accordance with the provisions of Chapter 17.99, (SPD) Specific Plan District, of the City of Lake Elsinore Zoning Code. This chapter provides for the processing of Nonconditional Specific Plans which allows for the approval of the Specific Plan document and zoning on the project site concurrently. As part of the process, the City Council establishes the development intensity for land uses within the project. Prior to submitting a final Specific Plan, a draft Specific Plan shall be reviewed by staff. Before recommending approval of the final Specific Plan, the Planning Commission and City Council shall find that the proposed development conforms to the following criteria:

- 1) The location and design of the proposed development shall be consistent with the goals and policies of the City's General Plan and with any other applicable plan or policies adopted by the City, or in the process of being prepared and adopted.

- 2) The proposed location shall allow the development to be well-integrated with or adequately buffered from its surroundings, whichever may be the case.
- 3) All vehicular traffic generated by the development, either in phased increments or at full build-out, is to be accommodated safely and without causing undue congestion upon adjoining streets.
- 4) The Final Specific Plan shall identify a methodology(ies) to allow land uses to be adequately serviced by existing or proposed public facilities and services. In appropriate circumstances, and as provided elsewhere by City Code, the City may require that suitable areas be reserved for schools, parks and pedestrian ways; or public open spaces shall be dedicated or reserved by private covenant for the common use of residents, establishments or operations in the development.
- 5) The overall design of the Specific Plan will produce an attractive, efficient and stable development.
- 6) In accordance with the requirements of the California Environmental Quality Act (CEQA), impacts have been reduced to a level of nonsignificance, or in the case where impacts remain, a statement of overriding considerations must be adopted to justify the merits of project implementation.

b. Specific Plan Modifications

Minor modification to the approved Alberhill Ranch Specific Plan will be allowed, however only at the discretion of the Community Development Director. Any modifications to the Specific Plan must be consistent with the purpose and intent of the originally approved Specific Plan document. All modifications or amendments to the approved Specific Plan, other than such minor changes, shall be processed as a Specific Plan Amendment and are subject to all specific plan procedures.

The following modifications constitute minor changes to the approved Specific Plan:

- 1) Transfer of Units: The maximum number of dwelling units in a residential area may be exceeded by up to 15% of the maximum, as long as an equal number or greater of excess units is available from a previously approved residential area which did not accomplish the maximum number expressed in that area.
- 2) Planning Unit Size: The gross acreage of a residential or commercial area (including manufactured slopes, and collector, local and private streets as applicable) may

vary up to and including a maximum of 5% in size from the acreage specified in the Specific Plan.

- 3) Alternative Uses: Alternative uses for school sites will be permitted, if the School District declines to use the specified sites. Alternatives uses will be subject to the approval of the Planning Commission and City Council.
- 4) Roadways: Minor changes in roadway alignments and street sections are allowed, provided such changes are consistent with the streetscape concept for roads, and are subject to approval of the City Engineer, and Community Development Director.
- 5) Phasing Program: The phasing program may be modified, provided the objectives of the program continue to be met, and provided that all infrastructure including, but not limited to roads, sewer facilities, water supply, and drainage facilities is available to serve proposed development. Any deviations from the Phasing Plan shall be subject to the approval of the Community Development Director, and if deemed to be a significant change, the Planning Commission.

c. Future Development Proposals

The following are administrative standards that apply to the implementation of future development applications (i.e. plot plans, tract maps, or parcel maps) for the Alberhill Ranch Specific Plan project.

- 1) Future tentative, or parcel maps and site plan review package must be in substantial conformance with the standards and guidelines of the Alberhill Ranch Specific Plan.
- 2) Final subdivision or parcel maps shall be in substantial conformance with the approved tentative or parcel map as well as the approved site plan package.
- 3) Building Permits for dwelling units shall be issued when a final subdivision map has been recorded. Permits may be issued for model units prior to the final map recordation subject to the requirements of the City.
- 4) Mitigation measures for environmental impacts shall be reviewed during the tentative map/site plan review stage. The tentative map shall be conditioned as necessary to mitigate any remaining impacts at the construction stages. (See Chapter XIII for further detail on the implementation of mitigation measures.)

Approval of the final Specific Plan/EIR for the project shall be accomplished by Ordinance.

6. Development Agreement

Section 65865 of the State Government Code provides that any city and/or county may enter into a development agreement with any person having a legal or equitable interest in real property for the development of the property. It further provides that any city may enter into a development agreement with any person having a legal or equitable interest in real property in unincorporated territory within that city's sphere of influence for the development of the property. However, the agreement shall not become operative unless annexation proceedings annexing the property to the city are completed within the period of time specified by the agreement. If the annexation is not completed within the time specified in the agreement or any extension of the agreement, the agreement is null and void.

The development agreement shall specify the duration of the agreement, the permitted uses of the property, the density or intensity of use, the maximum height and size of proposed buildings, and provisions for reservation or dedication of land for public purposes. The development agreement may include conditions, terms, restrictions, and requirements for subsequent discretionary actions, provided that such conditions, terms, restrictions, and requirements for subsequent discretionary actions shall not prevent development of the land for the uses and to the density or intensity of development set forth in the agreement. The agreement may provide that construction shall be commenced within a specified time and that the project, or any phase of the project, be completed within a specified time.

A development agreement is a legislative act which shall be approved by ordinance and is subject to referendum. A development agreement shall not be approved unless the City Council finds that the provisions of the agreement are consistent with the City's General Plan and any applicable specific plan.

Before the development agreement is approved, a public hearing on the application shall be held by the Planning Commission and City Council. Notice of the intent to consider adoption of the development agreement shall be given as provided in Sections 65090 and 65091 in addition to any other notice required by law for the other actions to be considered concurrently with the development agreement.

No later than ten days after the City enters into the development agreement, the City Clerk shall record a copy of the agreement with the County Recorder.

C. SUMMARY

In summary, the following actions must be taken by the Lake Elsinore City Council to initiate the implementation of the Alberhill Ranch Specific Plan:

- o Certify the Environmental Impact Report as adequate and complete for the project area and for the area of annexation;
- o Amend the City General Plan to reflect the "Alberhill Specific Plan Area, 2.0 d.u./acre" on the project site;
- o Pre-zone the project site to (SPD) Specific Plan District;
- o Reclassify the mineral resources of the project site to MRZ-1, No Significant Mineral Deposits;
- o Establish the development intensity of the residential and commercial Specific Plan Districts on the project site;
- o Approve the Alberhill Ranch Specific Plan as a Non-conditional (SP) Specific Plan; and
- o Approve a Development Agreement between the developer and the City of Lake Elsinore.

TABLE 10
COMPLIANCE WITH GENERAL PLAN GOALS - ALBERHILL RANCH

LAND USE GOALS

Goal 1.1

Provide the citizens of Lake Elsinore with a balanced community of residential, commercial, industrial, recreational, and institutional uses necessary to satisfy the social and economic segments of the population.

Objective: Encourage the development of both existing and new neighborhoods in an orderly fashion, wherever growth does not exceed the capacity of the community to provide necessary services and facilities.

Implementation: All infrastructure improvements shall be assured prior to or concurrent with the development of new neighborhoods in Alberhill Ranch.

School and park sites shall be dedicated in accordance with school district requirements and adopted City ordinances.

Objective: Encourage the development of commercial centers at strategic points in the Planning Area.

Implementation: Neighborhood commercial sites are provided in close proximity to residential areas.

Community and sub-regionally oriented commercial sites are located at both freeway interchanges at Lake Street and Nichols Road.

Objective: Enhance and encourage the revitalization of the Central Business District to serve the needs of permanent residents and tourists.

Implementation: No specialty retail or tourist-oriented commercial sites are designated within the project area to compete with such uses in the CBD.

Objective: Encourage the location of industries which are compatible with the Valley's resources, climates and appearance.

Implementation: The mixed use development concept implemented by the C-SP designations in the project area will accommodate light industrial, research and development uses at prime freeway locations.

Goal 1.2

Enhance the quality of life for Lake Elsinore residents while accommodating gradual development which harmonizes with the natural environment.

Objective: Create an urban environment which is satisfying to the residents of the community, and which will appeal to the many people in Southern California who seek locations for recreation purposes or permanent residence in Lake Elsinore.

Implementation: Both active and passive recreational areas and expansive open spaces have been integrated into the design of the project.

Goal 1.3

Provide an adequate level of public services and facilities for the present and future residents of the City.

Objective: Existing sewer and water deficiencies will be corrected prior to, or concurrent with, the extension of services and facilities to undeveloped areas.

Implementation: Both on-site and off-site improvements to water and sewer facilities are programmed as part of this project.

Objective: Adequate solid waste facilities will be provided which are suitably located to serve the Planning Area.

Implementation: Solid waste disposal services will be arranged prior to the occupancy of residential and non-residential buildings within the project.

Objective: Adequate school facilities and services will be provided to all new development in the City.

Implementation: School sites have been incorporated into the Land Use Plan in accordance with Lake Elsinore and Elsinore Union High School Districts criteria.

CIRCULATION GOALS

Goal 2.1

Provide a network of transportation systems to serve the needs of residents and visitors to the Elsinore Valley.

Objective: Plan for and implement a network of arterial, major, and collector roads that together provide proper access between the various parts of the City.

Implementation: Roadways within Alberhill Ranch have been designed and will be improved according to City General Plan standards.

Objective: Maintain the current level of transit services and expand such services as required when demand levels increase.

Implementation: Transit facilities such as benches, shelters, and pedestrian access will be provided along expanded transit routes as required by City standards.

Objective: Insure that adequate on-site parking facilities are provided for all land uses.

Implementation: Parking facilities shall be provided in accordance with City regulations.

Objective: Provide for the safe and convenient use of bicycles throughout the City for recreation and as a viable alternative to the automobile as a form of transportation.

Implementation: Bike lanes linking designated City and County routes have been delineated throughout the project and will be improved in conjunction with road construction.

ENVIRONMENTAL RESOURCES MANAGEMENT GOALS

Goal 3.1

Conserve biotic and physical resources of scientific and ecological value for the benefit of future generations.

Objective: Protect and maintain significant examples of plant and animal life by reducing negative impacts of human activities.

Implementation: An extensive natural buffer will be maintained between areas of human activity south of the primary ridgeline in the center of the site and the riparian habitat area along Temescal Creek.

Goal 3.2

Preserve the unique open space character of the Lake Elsinore Planning Area.

Objective: Fulfill the City's responsibility as trustee of the environment for succeeding generations by maintaining open space resources.

Implementation: Extensive open space has been retained by utilizing clustered development concepts adjacent to natural areas, such as Planned Residential Development.

Natural open space will be maintained in the Walker Canyon area of the project site, providing a scenic corridor along Interstate 15 between Lake Street and Nichols Road.

Goal 3.3

Promote the use of mineral, groundwater and air resources with economic or public significance in a manner which will insure their productivity and utility to present and future generations.

Objective: Promote the economic use of mineral and groundwater deposits in a manner which will generate benefits to present and future generations.

Implementation: The economic value of mineral resources on-site will be re-evaluated as part of this planning process.

Objective: Maintain and improve, wherever possible, the Planning Area's air quality.

Implementation: Concentrations of vehicle emissions from traffic generated from the project should not exceed the standards established by AQMD and SCAG.

Goal 3.4

Protect and preserve areas with prime agricultural lands from premature conversion to urbanized uses.

Objective: Protect and maintain agricultural lands which permit production of food and fiber as well as provide open space views which contribute to the rural character of the Lake Elsinore Valley.

Implementation: No land classified as Prime Agricultural Land will be converted to urban uses as part of this project.

Goal 3.5

Protect and expand areas containing recreational resources in a manner that will preserve the integrity of the resource.

Objective: Maintain an open space system which provides outdoor recreation opportunities for residents and visitors.

Implementation: Recreational opportunities are available in open space areas adjoining development areas, such as along the south side of the primary ridgeline, to enhance access to residents.

Goal 3.6

Enhance the physical, mental and spiritual well being of City residents by providing opportunities for relaxation, rest, activity, education, and relationships with their neighbors.

Objective: Provide recreational facilities which are easily accessible to all to all residents.

Implementation: Two neighborhood parks and one community park have been incorporated into the land use plan in close proximity to residential areas.

Goal 3.7

Protect and preserve historic cultural resources.

Objective: Encourage cultural, educational and recreational facilities and activities, ensuring their activity.

Implementation: During the tentative map stage, proposed grades for the site will be designed to increase stability in mined areas and landslide areas.

Goal 3.9

Provide a living environment free from potential hazards associated with slope failure or mudslide.

Objective: Reduce the loss of life, damage to property, and social and economic dislocations resulting from flood or dam failure hazards.

Implementation: Drainage will be controlled by constructing more stable slope gradients, revegetating slopes, and constructing properly engineered drainage systems.

Goal 3.11

Provide a living environment free from potential hazards associated with extensive wildland and structural fires.

Objective: Reduce the loss of life, damage to property, and the economic and social dislocations resulting from wildland and structural fires.

Implementation: The threat of wildland fire will be reduced through the installation and maintenance of fuel modification zones between development areas and natural open spaces; Structural fires will be prevented through the enforcement of Fire Code requirements during the building permit stage.

Goal 3.12

Provide an adequate level of public security.

Objective: Reduce the loss of life, damage to property, and the economic and social dislocations resulting from breaches in security and violations of law.

Implementation: Ensure the design of subdivisions and development projects in keeping with defensible space concepts; Enforce building security requirements at building permit stage.

HOUSING GOALS

Goal 4.1

Provide a variety of housing types proportionally priced and sized to meet resident and community needs.

Goal 4.2

Encourage development in areas of existing public facilities and services.

Goal 4.3

Maintain the existing housing stock through rehabilitation.

Goal 4.4

Provide environmentally sensitive and energy efficient housing in the City.

Goal 4.5

Facilitate communication between the public and private sectors in the housing market.

Objective: Concentrate on providing public facilities and services in areas of existing development and discourage development which requires extending public facilities and services.

Implementation: Alberhill Ranch is directly adjacent to existing and developing residential areas and represents a logical extension of the prevailing urban pattern ;

The extension of public facilities and services will be funded by those areas which directly benefit from those facilities and services.

NOISE GOALS

Goal 5.1

Protect and maintain those areas having acceptable noise environments, and provide for the reduction of noise where the noise environment is unacceptable.

Objective: Protect and enhance the City's noise environment by simultaneously controlling noise at its source, along its transmission paths, and at the site of the ultimate receiver. First priority shall be given to residential areas to assure an environment free from excessive or damaging noise. Control of noise at its source shall be given priority over changes to residential structures or neighborhoods where practical.

Implementation: Anticipated noise levels generated by traffic through the project will not exceed City standards; Adequate landscape buffers and building setbacks will ensure noise attenuation. No residential development is proposed adjacent to I-15.

COMMUNITY DESIGN GOALS

Goal 6.1

Improve Lake Elsinore's physical, visual, and historic environments.

Objective: Recognize and protect major views in the City with particular attention given to scenic hillsides and the Lake.

Implementation: Predominant landforms within the project area will be maintained; Grading concepts will utilize existing contours to the extent feasible.

Objective: Enhance the general quality of design and emphasize the unique character of each residential neighborhood, and commercial and industrial areas.

Implementation: Extensive design guidelines and development standards have been incorporated into this Specific Plan; To be applied during Site Plan and Subdivision Map Review.

Objective: Encourage the preservation of buildings which have historic and/or architectural merit.

Implementation: No buildings worthy of preservation exist on the site.

Objective: Maintain the present scale of buildings within the City.

Implementation: Development standards contained within this Specific Plan recognize and are consistent with the present scale of the City.

Goal 6.2

Improve the visual quality as well as the physical efficiency of the existing and future circulation systems.

Objective: Provide safe, attractive, scenic routes which will serve the motoring public, bicyclists and pedestrians.

Implementation: Extensive landscaped corridors are provided along the project circulation system which incorporate ample pedestrian facilities and bike lanes.

Objective: Increase the clarity of routes for travellers.

Implementation: The proposed streetscape program defines the hierarchy of highways and streets serving the project area, providing clearer direction for those utilizing the circulation system.

TABLE 11
CONFORMANCE WITH CITY COUNCIL POLICIES -
ALBERHILL RANCH

Policy (1): The City shall not amend, alter, or apply the General Plan or Zoning designations in any manner which would clearly or likely cause potential harm to the health, safety, or general welfare of the citizens and residents of the City of Lake Elsinore.

Conformance: The General Plan Amendment and Pre-Zoning of the Alberhill Ranch Specific Plan Area will benefit the citizens and residents of the City by including the area within the City's jurisdiction, adding to its tax base and providing for its control of development.

Policy (2): The City shall not amend, alter or apply the General Plan or Zoning designations in any manner which would result in an INCONSISTENCY between the General Plan and the Zoning Code. Simultaneous amendments to either the General Plan or a Zoning designation are permitted when they are elements of a single project proposal.

Conformance: Amendment of the General Plan and Pre-Zoning of the project site are elements of a single proposal and will provide consistency between the General Plan Land Use Map and City Zoning Map.

Policy (3): The City shall not approve any proposed land use project or modification of the General Plan and Zoning which clearly can be seen to cause significant environmental harm to the City of Lake Elsinore and/or its citizens and residents unless substantial factual information is submitted and made a part of the public record so that well founded overriding considerations can be made.

Conformance: A comprehensive environmental assessment and Environmental Impact Report have been completed on the project and provide all necessary disclosures regarding anticipated impacts and mitigation measures.

Policy (4): The City shall give its first preferred consideration to those development proposals which provide for regional and subregional commercial/industrial uses which clearly avoid any significant conflict with the land uses and potential land uses of the downtown Central City Core as a "Specialty Commercial" development center. Said Specialty Commercial uses include but are not limited to: professional office uses, specialty retail uses, restaurant/outdoor cafe uses, and other

similar land uses which do not generate high volume vehicular movements.

Conformance: Areas designated C-SP within the project are intended to attract regional and subregional commercial/industrial uses. No specialty retail or tourist commercial uses are proposed as part of the Specific Plan.

Policy (5): The City shall give its second preferred consideration to those development proposals which provide for middle and upper income residential development. The need for such land use development is viewed as critically needed within the City to provide for improved urban standards and community balance.

Conformance: The Specific Plan provides for a variety of residential housing types, including those preferred by this policy.

Policy (6): The City shall give its third preferred consideration to those development proposals which provide for YEAR AROUND RECREATIONAL USES. The City shall give priority to those recreational development proposals which provide facilities that clearly lend themselves to year around use by the public.

Conformance: Recreational uses are provided in the form of neighborhood and district level facilities as defined in the City General Plan.

Policy (7): The City shall insure that where high density, multiple family, residential land uses are proposed that said uses are: (1) not greater than 10 net acres in size either by themselves or as an accumulation of 10 net acres with surrounding adjacent high density, multiple family, residential uses; and, (2) that the design of such high density, multiple family, residential uses provides for adequate open common areas. This Policy shall not apply to any current or proposed Specific Plans which may be approved by the City.

Conformance: High density residential sites within the project area do not exceed 10 acres in size and are not adjacent.

Policy (8): The City shall view Lake Elsinore as the primary center or beginning point for the overall development of the City now and in the future. In this view, the City shall endeavor to generally reduce the intensity of land uses as land use projects distance themselves from the Lake. Major commercial and/or industrial centers shall also be viewed as land use centers where surrounding land use intensity is gradually reduced as projects distance themselves from such centers. Ultimate land

use patterns within the City shall result from a full consideration of: existing and proposed infrastructure facilities, environmental conditions and limitations, and social and community needs.

Conformance: Residential density of the project is consistent with those of other Specific Plan projects at the city's perimeter. The intensity of non-residential uses are of appropriate scale to accommodate regional and subregional demands at freeway interchanges and are reduced to accommodate residents within the project itself.

Policy (9): Established rural residential property shall not have high intensity land uses placed adjacent to and contiguous with its boundaries.

Conformance: No high intensity land uses are proposed adjacent to any established rural residential areas.

XI. FINANCING

Various techniques are available for the financing of the improvements associated with the development of Alberhill Ranch. Determining the most appropriate financing mechanism for each particular improvement requires a several-step process. First, the City and the developer must agree on the various options from which financing will be chosen. Once the City and developer agree on which options are most viable, these options shall be approved as part of the Specific Plan. At this time, the exact financing method need not be specified, however, the City and the developer must mutually agree to the viable alternatives.

Prior to the approval of an individual site plan and/or tentative tract map within the project area, a specific financing technique shall be chosen from among the options approved in the Specific Plan. The financing mechanism shall be incorporated in the development agreement with the City and shall be made a condition of approval on the tentative tract map.

At the time that building permits are to be issued, the financing mechanism that has been made a condition of approval on the tentative map or site plan would be assured. "Assured" means that the improvement will be guaranteed by a bond, certificate of deposit or other security mutually acceptable to the City and developer, approval of an Assessment District or Mello Roos District, or any other financing mechanism deemed acceptable by the City. Some of the most viable funding mechanisms are described below.

A. SPECIAL ASSESSMENT DISTRICT

Special assessment districts, such as the Municipal Improvement Act of 1913 and the Improvement Bond Act of 1915, provide a method of leveraged financing whereby a public entity determines an area in which the provision of facilities will "benefit real property". A lien, based upon a benefit formula derived by an assessment engineer is established against property within a defined area. If the lien is not paid within a reasonable time, municipal bonds may be issued to finance the facilities constructed by the assessment districts. Municipal bonds which are issued or paid off over a period of time in installments (assessments), are secured by liens against the benefited property, are normally collected with the underlying property tax.

B. MELLO-ROOS COMMUNITY FACILITY DISTRICT

Mello-Roos Community Facility Districts (CFD's) operate in some ways similar to assessment districts, but provide a more flexible tool for governmental entities to finance a wider range of public infrastructure, again through the issuance of

tax exempt bonds. The facilities which may be financed by a Mello-Roos District must only be real property or tangible personal property, with an expected life in excess of five years which are to be owned or operated by a public entity.

C. INTEGRATED FINANCING DISTRICT (IFD)

The Integrated Financing District Act provide unique features with respect to landowners subject to reimbursement, by pledging the receipts of contingent assessments (when due) to reimburse other providers of public improvements for work they have performed or financed. IFDs do not represent a new method of financing facilities so much as a method to more directly tie the financing of facilities using assessment districts or community facility districts to the receipt of approvals to build.

In order to implement an IFD, cooperation must exist between affected landowners with respect to an understanding of the terms and circumstances under which they would pay contingent assessments. IFDs are subject to the same lien to value ratio requirements as assessment district and Mello-Roos districts. The authorization for the formation of IFDs is a function of the financing act used.

D. DEVELOPER FUNDING

In many cases, certain facilities are tied directly to individual projects. In these cases, it is reasonable to expect the developer to pay the entire cost of the facility in order to secure development rights. Water, sewer and drainage facilities are good examples of facilities that are normally required concurrent with development.

Also, major off-site improvements may be necessary to serve a larger area outside the zone. These projects would normally be considered a capital improvement project to be built by the City at some future date. If a development is proposed to go ahead of the scheduled improvement date of such a major facility, then the developer may be required to pay both the improvement costs and the operating costs for the facility up to the date the facility would have been normally built. Reimbursement to the developer for improvement costs would be made at the time the money becomes available per the City's Capital Improvement Program. The initial operating expenses, however, would be paid for by the developer as the cost to develop at an earlier date.

TABLE 12
RESIDENTIAL PHASING PROGRAM

	R-R	RCD	R-SF	R-M	R-3	TOTAL DU's	EST. POP.
PHASE I (0-2 Years)							
Phase I	-	-	-	-	-	-	-
Cumulative	-	-	-	-	-	-	-
PHASE II (3-10 Years)							
Phase II	-	-	1,888	592	720	3,200	9,928
Cumulative	-	-	1,888	592	720	3,200	9,928
PHASE III (11-15 Years)							
Phase III	98	396	11	-	-	505	1,818
Cumulative	98	396	1,899	592	720	3,705	11,746

TABLE 13
COMMERCIAL/BUSINESS PARK PHASING PROGRAM

	C-1	C-H	C-SP	TOTAL COMMERCIAL
PHASE I (0-2 Years)				
Phase I	-	19 ac	76 ac	95 ac
Cumulative	-	19 ac	76 ac	95 ac
PHASE II (3-10 Years)				
Phase II	34 ac	-	62 ac	96 ac
Cumulative	34 ac	19 ac	138 ac	191 ac
PHASE III (11-15 Years)				
Phase III	-	-	65 ac	65 ac
Cumulative	34 ac	19 ac	203 ac	256 ac

C. TRANSPORTATION PHASING

Table 14 outlines the community and local transportation facility improvements needed in each of the project phases. Adequate community-level improvements are required in relation to building occupancy for each project phase. Local and collector streets should be built in conjunction with project subdivisions.

TABLE 14
TRANSPORTATION PHASING

<u>PHASE</u>	<u>IMPROVEMENTS/ACTIONS</u>
PHASE 1	
0 Dwelling Units 95 Acres of Commercial	<p><u>Community</u></p> <ul style="list-style-type: none"> o Improve Nichols Road between Collier Road and the project boundary east of I-15 to a Major cross-section one hundred foot (100') right-of-way in conjunction with development. <p><u>Local</u></p> <ul style="list-style-type: none"> o Traffic signals should be installed at the intersections of Nichols Road and I-15 WB ramp, and Nichols Road and I-15 EB ramp. o Improve all internal project streets to appropriate roadway standards, and install traffic signals at project roadways when warranted.
PHASE II	
3,200 Dwelling Units 3,200 Cumulative 96 Acres Commercial 191 Acres Cumulative	<p><u>Community</u></p> <ul style="list-style-type: none"> o Improve Lake Street between Coal Avenue and I-15 to an Arterial cross-section (110 foot right-of-way) in conjunction with development. o Improve Coal Avenue between Lake Street and Terra Cotta Road to a Major cross-section (100 foot right-of-way) in conjunction with development. o Improve Nichols Road between Coal Avenue and Collier Avenue to a major cross-section (100 foot right-of-way) in conjunction with development.

PHASE

IMPROVEMENTS/ACTIONS

- o Improve Robb Road to an arterial cross-section (110 foot right-of-way) between Coal Avenue and Lakeshore Drive in conjunction with development.

Local

- o Traffic signals should be installed at the following intersections:
 1. Lake St. and I-15 WB Ramp
 2. Lake St. and I-15 EB Ramp
 3. Lake St. and Temescal Canyon Rd.
 4. Robb Rd. and Coal Rd.
 5. Nichols Rd. and Collier Ave.
 6. Robb Rd., and Lakeshore Dr.
- o Improve all internal project streets to appropriate roadway standards, and install traffic signals at project roadways when warranted.

PHASE III

505 Dwelling Units
3,705 Cumulative
65 Acres Commercial
256 Acres Commercial

Community

- o Improve Terra Cotta Road to a modified secondary standard between Nichols Road and Lakeshore Drive in conjunction with development.

Local

- o Traffic signals should be installed at the intersections of:
 1. Terra Cotta Rd. and Coal Rd.
 2. Terra Cotta Rd. and Lakeshore Dr.
- o Improve all internal project streets to appropriate roadway standards, and install traffic signals at project roadways when warranted.

D. PUBLIC FACILITIES PHASING

Public facilities should be provided to the Alberhill Ranch project as needed as the project develops. Community and local improvements are required in relation to residential unit occupancy and/or phase sequence. Table 15 represents this phasing program.

School construction items represent targets for building schools on-site to serve community residents. During the course of community development, the appropriate school districts will determine if each site is required and when it will be developed.

TABLE 15
PUBLIC FACILITIES PHASING PROGRAM

<u>PHASE</u>	<u>IMPROVEMENTS/ACTIONS</u>
<p>PHASE I (0-2) Years)</p>	<p><u>Community</u></p> <ul style="list-style-type: none"> o Create community lighting and open space maintenance district. o Deed project open space and Temescal Creek area to City.* o Reserve elementary school sites for Lake Elsinore School District. o Reserve junior high school site for Elsinore Union School District. o Deed neighborhood park sites to City.* o Deed community park site to City.* <p><u>Local</u></p> <ul style="list-style-type: none"> o Provide utilities and drainage facilities within commercial areas, and streets. o Deed designated public open space to City.*
<p>PHASE II (3-10 Years)</p>	<p><u>Community</u></p> <ul style="list-style-type: none"> o Build neighborhood parks (to be constructed by the project developer, or by the assessment district).* o Construct elementary schools (to be constructed by the school district). o Build community park (to be constructed by the project developer, or by the assessment district).*

PHASE

IMPROVEMENTS/ACTIONS

- o Construct "backbone" major utility systems including water, sewer, and drainage facilities.

Local

- o Provide utilities and drainage facilities within new subdivisions, commercial areas and streets.
- o Deed designated public natural open space to City.*

PHASE III
(11-15 Years)

Local

- o Provide utilities and drainage facilities within new subdivisions and streets.
- o Deed designated public natural open space to City.*

- * The dedication and construction of parks, and the dedication of open space to the City is shown at various times during this Phasing Program. This Phasing Program is conceptual, however, and therefore it should be noted that parks and open space will be dedicated to the City as adjacent tracts are being developed.

XIII. IMPLEMENTATION/TIMING OF EIR MITIGATIONS

A. GEOLOGY, SOILS AND SEISMICITY

Mitigation Measure

1. According to Highland Soils Engineering, Inc., partial removal and/or buttressing will be required in areas underlain by landslides. During the preparation of the site grading plans, the proposed grades shall be developed in such a way that the fills will be placed at the toe of slides to increase the stability of the existing landslides. Additional subsurface investigation and slope stability analysis shall be performed in conjunction with the preparation of the site grading plan.

Implementation/Timing

At the time of tentative tract map, or plot plan submittal, the applicant will be responsible for submitting a grading plan for review by the Community Development Director and City Engineer.

Mitigation Measure

2. The presence or absence of suspected faults on-site shall be confirmed by future trenching. At the time of tentative tract map, or plot plan submittal, a report from a qualified geotechnical consultant shall be submitted by the applicant confirming that there are no faults on the subject site. If any active faults are found, the project shall implement all recommendations of the report to mitigate potential hazards.

Implementation/Timing

This mitigation measure also specifies Implementation/Timing.

Mitigation Measure

3. Erosion of slopes shall be controlled by planting vegetation and by constructing properly engineered drainage systems, in accordance with City of Lake Elsinore standards. Project grading will occur in three phases, thus limiting the potential for erosion. The grading plan submitted for the project shall have an erosion control component. Potential methods of mitigation of erosion include landscaping cut and fill slopes as soon as practical to reduce the potential for erosion, and use of erosion control devices such as energy dissipaters. Positive surface gradients shall be provided to direct surface water from structural foundations.

Implementation/Timing

Prior to the issuance of grading permits by the City, the applicant shall submit a grading plan to the City which provides an erosion control component.

Mitigation Measure

4. A more detailed investigation shall be required to locate the existing tunnels and shafts in areas of future development and to determine their present conditions. Depending on future grades and on the locations and conditions of subsurface excavations, some of the tunnels and shafts may be left in place and may require only sealing of the entrances. Others may require filling, or collapsing and removal. During the preparation of grading plans, detailed on-site inspections shall be conducted by the applicant to determine the location and condition of tunnels and shafts. Prior to the issuance of grading permits, a report stating the results of those inspections, and methods of filling any found tunnels/shafts shall be submitted to the City Chief Building Official for review and approval.

Implementation/Timing

This mitigation measure also specifies Implementation/Timing.

Mitigation Measure

5. According to Highland Soils Engineering, Inc., a grading plan review shall be conducted by the geotechnical engineer in order to develop specific mitigations relative to liquefaction prone soils. Additional field investigation may be necessary. Commonly employed procedures for mitigating the problems include the use of a compacted fill mat along with a gravel blanket, post-tensioned slabs, additional footing reinforcement, and setbacks from the tops of fill slopes toeing into liquefaction prone areas. Prior to the issuance of grading permits, the applicant shall submit a report from a qualified geotechnical engineer confirming the absence/presence of liquefaction areas on the subject site, for approval by the City Chief Building Official. If potential liquefaction areas are found, then the report shall specify measures to mitigation any potential hazard.

Implementation/Timing

This mitigation measure also specifies Implementation/Timing.

Mitigation Measure

6. According to Highland Soils Engineering, Inc., the final determination for subdrainage requirements shall be made during existing fill and alluvial removals when a Geologist or Soils Engineer can observe the actual subsurface conditions.

Implementation/Timing

At the time of excavation of earth for the installation of drainage infrastructure, a Geologist or Soils Engineer shall be present and make recommendations to the contractor and City Engineer.

Mitigation Measure

7. The recommendations of Highland Soils Engineering relative to foundations shall be adhered to during project design.

Implementation/Timing

The City Engineer/Building Inspector shall monitor the construction of foundations to ensure compliance with Highland Soils Engineering recommendations.

Mitigation Measure

8. If major grading operations take place during the rainy months of the year, all grading shall occur in accordance with an erosion control plan approved by the City Chief Building Official.

Implementation/Timing

Prior to grading permit issuance during rainy months of the year, an erosion control plan shall be submitted by the applicant.

Mitigation Measure

9. The project shall conform with the latest Uniform Building Code in order to satisfactorily mitigate the effects of seismic groundshaking.

Implementation/Timing

During the design of buildings the project architect shall design in accordance to the Uniform Building Code. The City Building Official shall review all construction plans to ensure compliance with the Uniform Building Code.

B. HYDROLOGY

Mitigation Measure

1. All drainage facilities for this project shall conform to the requirements and standards of the Riverside County Flood Control and Water Conservation District and the City of Lake Elsinore Community Development Department.

Implementation/Timing

The project engineer shall submit drainage plans to the City Engineer for review prior to the issuance of applicable City permits. The project engineer will coordinate with the Riverside County Flood Control and Water Conservation District and the City of Lake Elsinore Community Development Department to ensure that he is complying with the most recent regulations.

Mitigation Measure

2. Specific drainage systems shall be designed as each planning area develops.

Implementation/Timing

Prior to the development of each planning area, the applicant shall submit drainage plans to the City for review and approval.

Mitigation Measure

3. In order to protect the existing stream bed of Walker Canyon Creek, an energy dissipating structure shall be provided at the storm drain system discharge point, if necessary. Erosion control devices (such as riprap over exposed soil) shall also be provided, if necessary.

Implementation/Timing

A drainage plan shall be submitted to the City Engineer for review and approval showing the proposed engineered design of the energy dissipating structure prior to its construction.

C. NOISE

Mitigation Measure

1. Construction adjacent to existing residential development shall be limited to the hours of 7 a.m. to 7 p.m. on Monday through Friday. Construction should not be allowed on weekends or federal holidays.

Implementation/Timing

Construction permits shall be issued by the City which permit construction only during the hours of 7 a.m. to 7 p.m. on Monday through Friday. The City shall monitor the applicable contractor to ensure that he complies with that requirement.

Mitigation Measure

2. In order to ensure adequate noise control at construction sites, machinery maintenance areas shall be physically separated from residential uses.

Implementation/Timing

Prior to the issuance of building/grading permits, the applicant shall submit his plans for the machinery maintenance areas to the City Community Development Department for review.

Mitigation Measure

3. All on-site residential lots and dwellings shall be sound attenuated against present and projected noise, which shall be the sum of all noise impacting the project, so as not to exceed an exterior standard of 65 dB CNEL in outdoor living areas and an interior standard of 45 dB CNEL in all habitable rooms, as follows:
 - a. Prior to the issuance of Grading Permits, an Acoustical Analysis Report shall be submitted to the City of Lake Elsinore for approval. The report shall describe in detail the exterior noise environment and preliminary mitigation measures. Acoustical design features to achieve interior noise standards may be included in the report in which case it may also satisfy "b." below.
 - b. Prior to the issuance of any building permits, an acoustical analysis report describing the acoustical design features of the structures required to satisfy the exterior and interior noise standards shall be submitted to the City for approval along with satisfactory evidence which indicates that the sound attenuation measures specified in the approved acoustical report(s) have been incorporated into the design of the project.

Mitigation Measure

4. An off-site highway noise mitigation program shall be required prior to the approval of future parcel or tract maps. This program must be approved by the Community Development Director and shall include:
 - a. Estimates of off-site noise impacts of increased traffic generated by this project.
 - b. Methods of mitigation to City exterior and interior noise standards.

Implementation/Timing

This mitigation measure also specifies Implementation/Timing.

D. CLIMATE AND AIR QUALITY

Mitigation Measure

Construction Impacts

1. To minimize dust generation during grading operations SCAQMD Rule 403 shall be adhered to which will require watering during earth moving operations. A watering program for the project shall be submitted to the City for approval prior to commencement of grading.

Regional Air Quality

Support and compliance with the AQMP for the basin is the most important measure to achieve this goal. The AQMP includes improvement of mass transit facilities and implementation of vehicular usage reduction programs. If the Alberhill Ranch Specific Plan is approved, it will become part of the City's General Plan and ultimately be incorporated into future AQMP plans. The AQMP also includes energy conservation measures. Some of these have been incorporated into the project design, including provision of alternate transportation modes including biking and pedestrian trails. The following mitigations also are recommended:

- Mass transit accommodations such as bus turnout lanes, park and ride areas, and bus shelters shall be provided, where feasible.
- Provide energy conserving street lighting in accordance with City and utility company standards.
- Provide traffic signal synchronization where feasible.

Implementation/Timing

A watering program for the project shall be submitted by the applicant to the City for review/approval prior to the commencement of grading activities.

The applicant will provide energy conserving street lighting in compliance with City and electric utility company standards and regulations.

Prior to operation of traffic signal devices, the applicant will submit plans to the City Engineer showing synchronization plans.

E. WILDLIFE AND VEGETATION

Mitigation Measure

1. A comprehensive erosion and sedimentation control plan shall be prepared for all development areas draining into Temescal Creek. The plan should address the project during and after construction. The intent here is to protect valuable riparian/freshwater marsh habitats from degradation and loss.

Implementation/Timing

Prior to the issuance of grading permits by the City, the applicant, for any planning area which would contribute runoff into Temescal Creek, will submit a comprehensive erosion and sedimentation control plan.

Mitigation Measure

2. Revegetation of cut and fill slopes, fuel modification zones and other graded areas shall be accomplished with plant palettes containing predominantly native species. Steeper slopes shall be revegetated with a mixture of coastal sage scrub species while more level areas shall be revegetated with species of native perennial grasses in an attempt to reestablish native grassland. An expert in landscape revegetation, who is knowledgeable and qualified in native plant mixtures should be consulted in this regard. A comprehensive landscape plan which incorporates these elements shall be prepared as a guideline and adhered to.

Implementation/Timing

Prior to the approval of tentative tract maps or plot plans, a landscaping plan shall be submitted for the subject area, which provides the information listed above. That vegetation shall be

in place prior to the issuance of occupancy permits, however if the applicant is ready for the issuance of occupancy permits during the months when plant materials cannot be planted and expected to live, then those occupancy permits shall be issued subject to applicant installing that vegetation at the soonest, to be determined by the City appropriate time.

Mitigation Measure

3. Any proposed modifications (eg. drainage outlets) to Temescal Creek, however minor, shall be processed with the California Department of Fish and Game pursuant to the requirements of the State Fish and Game Code Sections 1601 - 1603 Streambed Alteration Notification process.

Implementation/Timing

Prior to modifications to Temescal Creek, the applicant shall submit those plans to the California Department of Fish and Game for review and approval.

Mitigation Measure

4. Due to the presence of "blue lines" on-site as shown on the U.S.G.S. map for the area, the project shall also require a "404 Permit" from the U.S. Corps of Engineers, with input from the U.S. Fish and Wildlife Services.

Implementation/Timing

Prior to the City's issuance of grading permits for development proposed to affect blue-line streams, the applicant shall obtain, and present to the City a 404 permit from the U.S. Corps of Engineers.

Mitigation Measure

5. As the SKR is on the Federal Endangered Species list, project development will require a "permit to take" from the U.S. Fish and Wildlife Service, in accordance with the Endangered Species Act and implementing regulations. In order to secure such a permit, mitigation must be made, such as the payment of fees. The City is required to obtain a "10 A" Permit from U.S. Fish and Wildlife. It is possible that the City of Lake Elsinore would adopt the "interim" ordinance now in effect in Riverside County which is payment of \$1,950 per acre of land developed within SKR range.

Implementation/Timing

The applicant will be required to comply with any adopted City Stephens' Kangaroo Rat mitigation program.

Mitigation Measure

6. An Assessment Study shall be undertaken regarding the existence, potential or known, of the three sensitive plant species on-site. This was not possible as part of the biological study, due to the fall field investigations. For best results, this survey should be performed during the spring months when these plants are flowering and can, therefore, be identified and located precisely. Although this survey will not mitigate impacts to these resources, it will shed more light on the exact significance of resource areas. Consequently, it will provide planners and decision-makers with better information than can be derived by the biology report which is liberal in delineating important resource areas and assumes a worst case scenario for its impact assessment.

Implementation/Timing

Prior to development of the area on site that is designated as having the potential to contain sensitive plant species, the applicant shall conduct a study to verify their existence/non-existence. Mitigation measures shall be as specified by the City at that time.

Mitigation Measure

7. The C-H development(s), as proposed, will be located adjacent to Temescal Creek. Because of the biological significance of the Creek, all development within the C-H Districts will be subject to site plan review per Design Review process as required by Chapter VIII of the Specific Plan "Development Standards". During Design Review, the relationship of the proposed C-H development(s) to Temescal Creek will be examined and reviewed to insure that adequate and appropriate set backs and design mitigations are implemented. Furthermore, it is anticipated that those areas within the C-H Districts that are located directly adjacent to the Creek will be landscaped with specially selected plant materials that will complement the existing riparian/fresh water marsh vegetation in the Creek. All proposed improvements to the Creek will also be subject to review by the County Flood Control District.

Implementation/Timing

F. LAND USE

Mitigation Measure

The preparation of the Alberhill Ranch Specific Plan complies with the City of Lake Elsinore General Plan designation and it contains special land use and design controls that are not available when land develops on a piecemeal, tract by tract basis. It provides for adequate school facilities, parks and open space, circulation, etc., as well as provides design guidelines for Entry Statements, Streetscapes, Landscaped Setbacks, etc. In addition, site planning and design criteria include Architectural Guidelines, Commercial Design Criteria, Land Use Transitions, Community Parks, Open Space and Trails, Community Walls and Fencing, and Grading Design. The Specific Plan is required to satisfy the City of Lake Elsinore Zoning Code Section 17.99, Special Plan District. No additional mitigation for impacts to land use are recommended.

Implementation/Timing

During the subsequent review of land development applications, the City shall use the Alberhill Ranch Specific Plan as a master development plan and zoning ordinance. All development applications shall be consistent with the guidelines and regulations contained therein.

G. POPULATION AND HOUSING

Mitigation Measure

No mitigation measures are recommended for the increased housing and population generated by the Alberhill Ranch Specific Plan. However, Section IV.M., Public Facilities and Services, presents mitigation measures associated with increased demand for services from the City of Lake Elsinore as a result of the annexation request.

H. ENERGY RESOURCES

Mitigation Measures

Section IX.D., Architectural Guidelines, of the Alberhill Ranch Specific Plan requires that future project development comply with several guidelines relating to energy conservation. These include the use of roof projections and overhangs in response to energy and climate concerns, guidelines for use of solar panels and support solar equipment.

In addition, Specific Plan Section IX.C., Site Planning Guidelines, proposes that when possible, structures be sited to take full advantage of natural and man-made amenities, breezes, sun,

and wind orientation, and views. Shading through the appropriate use of landscaping should be used to protect structures from solar heat gain during the summer months. If desired, buildings may be oriented to facilitate the application of solar heating systems.

Energy conservation will be achieved through compliance with Title 24 of the California Administrative Code. No additional mitigation is proposed.

Implementation/Timing

The applicant shall design building structures in consideration of the design guidelines contained in the Alberhill Ranch Specific Plan, and in compliance with Title 24 of the California Administrative Code. The City shall review all building plans accordingly.

I. AESTHETICS

Mitigation Measure

As discussed above, the Alberhill Ranch Specific Plan proposes land uses, standards and design guidelines which mitigate visual impacts of project development. No additional mitigation measures are recommended.

Implementation/Timing

Future land development proposals shall be reviewed by the City to ensure their compliance with the design guidelines contained in the Alberhill Ranch Specific Plan.

J. HISTORIC AND PREHISTORIC RESOURCES

Mitigation Measure

In order to mitigate project impacts to on-site archaeological resources, the following measures are proposed:

1. For site one, data collection shall be performed, that is, the mapping and surface collection of the artifact described. Such data collection could be accomplished in four to five man-days and would free the area for future development activities of any kind.

Implementation/Timing

Data collection shall be performed by a qualified archaeologist prior to the issuance of grading permits.

Mitigation Measure

2. For site two, data collection/testing program shall be performed, that is, mapping and surface collection and subsurface testing prior to development. While it is assumed that the site is primarily a surface deposit, subsurface testing would allow for the determination of site depth. Should subsurface deposits be encountered, testing will have determined what further sample size is necessary to achieve final mitigation. Such data collection activity could be accomplished in twenty man-days and would free the area for further development activities of any kind.

Implementation/Timing

Data collection and specified testing shall be performed by a qualified archaeologist prior to the issuance of grading permits.

Mitigation Measure

3. Any cultural resources encountered as a result of grading, shall result in the contact of a qualified archaeologist for inspection prior to further grading activities.

Implementation/Timing

This mitigation measure also specifies implementation/Timing.

Mitigation Measure

4. The collection of samples from sites which will be directly impacted prior to construction shall be conducted by a qualified paleontologist, in consultation with a paleobotanist. The purpose for the collection of impacted sites is to expand the size of existing museum research collections which do not currently contain the quality or diversity of specimens which are available from the existing sites to provide adequate samples to serve the needs of future research.

Implementation/Timing

Prior to the issuance of grading permits, the applicant shall have a qualified paleontologist collect samples from the site.

Mitigation Measure

5. After pre-development collections are completed, the grading in the sediments of the Silverado and Pauba (?) Formations, and Older Alluvium shall be monitored full time.

The following procedures shall be implemented during monitoring:

- a. The monitor must be empowered to temporarily halt or redirect excavation equipment while fossils are being removed. The monitor shall be equipped to speedily collect specimens if they are encountered.
- b. The monitor, with assistance if necessary, shall collect individual fossils and/or samples of fossil-bearing sediments. If specimens of small animal species are encountered the most time and cost efficient method of recovery is to remove a selected volume of fossil-bearing earth from the grading area and stockpile it off-site for later processing.
- c. Fossils recovered during earthmoving or as a result of screen-washing of sediment samples shall be cleaned and prepared sufficiently to allow identification. This allows the fossils to be described in a report of findings and reduces the volume of matrix around specimens prior to storage, thus reducing storage costs.
- d. A report of findings shall be prepared and submitted to the public agency responsible for overseeing developments an mitigation of environmental impacts upon completion of mitigation. This report would minimally include a statement of the types of paleontologic resources found, the methods and procedures used to recover them, an inventory of the specimens recovered, and a statement of their scientific significance.
- e. The paleontological specimens recovered as a result of mitigation shall be donated to a qualified scientific institution where they would be afforded long term preservation and the opportunity for further scientific study.

Implementation/Timing

The above listed mitigation specifies implementation measures and timing.

K. MINERAL RESOURCES

Mitigation Measure

1. An amendment to the previously-approved Reclamation Plan for the mined area must be reviewed and approved by the City of Lake Elsinore and/or the State Mining Board. The

Reclamation Plan must be approved prior to the issuance of grading permits.

2. All mined areas of the Alberhill Specific Plan area shall be regraded for development in accordance with the Reclamation Plan and Chapter 70 of the Uniform Building Code.

L. CIRCULATION

Mitigation Measures

1. As development occurs the measures listed below are recommended by Kunzman Associates to mitigate the impact of the project on traffic circulation. Some of these mitigations are for off-site areas. The implementation of each measure shall be determined as future entitlements are granted for development in and around the project area. The City of Lake Elsinore and/or the County of Riverside Road Department will condition the project to participate in its fairshare of off-site improvements, where applicable.
 - a. Improve Lake Street between Coal Avenue and Interstate 15 to an Arterial cross-section (110 foot right-of-way) in conjunction with development.
 - b. Improve Coal Avenue between Lake Street and Terra Cotta Road to a Major cross-section (100 foot right-of-way) in conjunction with development.
 - c. Improve Nichols Road between Coal Avenue and the project boundary east of I-15 to a Major cross-section (100 foot right-of-way) in conjunction with development.
 - d. Improve Robb Road to an Arterial cross-section (110 foot right-of-way) between Coal Avenue and Lakeshore Drive in conjunction with development.
 - e. Improve Terra Cotta Road to a Modified Secondary standard between Nichols Road and Lakeshore Drive in conjunction with development.
 - f. For future traffic conditions, intersection geometrics as recommended in Table 10 of the Traffic Report should be implemented.
 - g. For existing plus project traffic conditions, traffic signals should be installed at the intersections of:

- Lake Street and I-15 WB Ramps
 - Lake Street and I-15 EB Ramps
 - Lake Street and Temescal Canyon Road
 - Robb Road and Coal Road
 - Robb Road and Lakeshore Drive
 - Nichols Road and I-15 WB Ramps
 - Nichols Road and I-15 EB Ramps
 - Nichols Road and Collier Avenue
 - Terra Cotta Road and Coal Road
 - Terra Cotta Road and Lakeshore Drive
2. Maintain a high level of service along arterials by restricting parking and controlling roadway access.
 3. Improve all internal project streets shown on Exhibit 40 of the Traffic Report, Circulation Plan, to appropriate roadway standards as indicated, and install traffic signals at project roadways when warranted as shown on Exhibit 40.
 4. Landscape plantings and signs shall be limited in height within the vicinity of project roadways to assure good visibility.

Implementation/Timing

The construction of on-site roadway system improvements will be the responsibility of the project developer. Off-site improvements which are not used solely by the residents of Alberhill Ranch, but rather are used by other off-site residents in addition to Alberhill Ranch residents, will not be entirely funded and constructed by the project developer. Instead, they will be the subject of a financing mechanism such as a Mello-Roos or Assessment District, or will be financed by an Impact Fee program. The District or Impact Fee Program boundaries will be drawn based on the area to benefit from certain roadway/signalization system improvements. Obviously, the Alberhill Ranch project developer will commit to pay their "fair-share" toward the construction of those improvements, which will be based upon the ultimate usage of Alberhill Ranch residents, as compared to the total capacity of those improvements.

M. PUBLIC FACILITIES AND SERVICES

Fire Protection:

Mitigation Measure

1. The project will be required to satisfy the City and County Fire Department standards for fire protection including response times and distances to fire stations to insure

that a fire facility within three miles of the site is operational prior to construction of any buildings.

Implementation/Timing

The project proponent will cooperate with the City in the formation of a Community Facilities District, which includes all properties to be benefitted by the construction of a fire facility, and pay his fair share of the expense according to the received benefit.

Mitigation Measure

2. Due to the site's location within the Hazardous Fire Area, special construction is required, in accordance with Riverside County Ordinance No. 546.

Implementation/Timing

The City will review all construction plans to ensure compliance with applicable fire codes.

Mitigation Measure

3. The project shall provide adequate fire hydrants, water lines, water pressure, etc. in accordance with the requirements of applicable City and County ordinances. In addition, see Mitigation N.1. within Section IV.N., Fiscal Impact Report Summary. Mitigation N.1. recommends the formation of a community facilities district under the Mello-Roos Community Facilities Act of 1982 to pay for certain project expenses.

Implementation/Timing

Prior to the issuance of occupancy permits, the applicant will have installed appropriate water distribution facilities in accordance with the requirements of applicable City and County ordinances. Further, the City will inspect those facilities prior to their issuing occupancy permits to the applicant.

Police Protection:

Mitigation Measure

4. For the security and safety of future residents, the following crime prevention measures shall be considered during site and building layout design:

- Proper lighting in open areas.

- Visibility of doors and windows from the street and between buildings.
- Adequate off-street parking.
- The house number identification system shall be visible and readily apparent to emergency response agencies.

In addition, see Mitigation N.1. within Section IV.N., Fiscal Impact Report Summary. Mitigation N.1. recommends the formation of a community facilities district under the Mello-Roos Community Facilities Act of 1982 to pay for certain project expenses.

Implementation/Timing

The above listed mitigation measure specifies implementation measures and timing.

Schools:

Mitigation Measure

8. The project applicant shall be required to work with the affected school districts in order to satisfy their concerns and insure that adequate school facilities are available for future project residents.

Implementation/Timing

The applicant has provided school sites within the Specific Plan site. The applicant will cooperate with the School District in their acquisition of those sites at the time that they are needed.

Mitigation Measure

9. The project will be subject to fees imposed by AB 2926 (\$1.53 per square foot of inhabitable space). As two school districts are involved, the fees are split between the Lake Elsinore and Elsinore Union School Districts.

Implementation/Timing

The applicant who is seeking development permits will pay fees in accordance to State Statutes.

Water and Sewer:

Mitigation Measure

10. All conditions pertaining to water and wastewater requirements as specified by the Elsinore Valley Municipal Water District shall be followed.

Implementation/Timing

The applicant will coordinate with the Elsinore Valley Municipal Water District in the design and construction of water and wastewater facilities.

Mitigation Measure

11. Assurance for provision of adequate water and wastewater service shall be required prior to approval of a subdivision map, in accordance with the State Subdivision Map Act.

Implementation/Timing

Adequate water and wastewater service shall be provided in accordance to the State Subdivision Map Act, prior to the issuance of occupancy permits.

Mitigation Measure

12. The project shall comply with Title 20, California Administrative Code Section 1604 (f) (Appliance Efficiency Standards), which establish efficiency standards that set the maximum flow rate of all new showerheads, lavatory faucets, etc., as well as Health and Safety Code Section 17621.3 which requires low-flush toilets and urinals in virtually all buildings.

Implementation/Timing

Each project applicant shall comply with the provisions of Title 20 of the California Administrative Code, Section 1604 (f).

Parks and Recreation:

Mitigation Measure

13. Park lands shall be provided in accordance with City of Lake Elsinore Ordinance 85-34.

Implementation/Timing

Park lands are specified in the Specific Plan, subject to review by the City subject to Ordinance 85-34. Dedication of the park land to the City will be in accordance to the Phasing Plan contained herein.

Mitigation Measure

14. Where riding or hiking trails are provided within project open space, a minimum width of 14' should be allowed to accommodate both hikers and riders.

Implementation/Timing

An equestrian trail will be constructed by the applicant through the Temescal Canyon open space area, 14 feet in width.

In addition, see Mitigation N.1. within Section IV.N., Fiscal Impact Report Summary. Mitigation N.1. recommends the formation of a community facilities district under the Mello-Roos Community Facilities Act of 1982 to pay for certain project expenses.

Utilities:

Mitigation Measure

15. Development plans shall be provided to Southern California Gas Company, Southern California Edison and General Telephone as they become available in order to facilitate engineering, design and construction of improvements necessary to provide service to the project site.

Implementation/Timing

At the time of preparation of tentative tract maps and plot plans, the applicant will coordinate with the various utility companies to comply with their standards. Upon application to the City, the City will coordinate with those companies to be sure that the applicant has complied with their needs.

Mitigation Measure

16. Building energy conservation shall be achieved by compliance with Title 24 of the California Administrative Code.

Implementation/Timing

The City shall review all building plans for compliance with Title 24 of the California Administrative Code.

Solid Waste:

Mitigation Measure

The Alberhill Ranch Specific Plan includes guidelines for provision of trash collection stations within residential areas and for refuse collection areas within commercial areas. No additional mitigation is proposed.

Implementation/Timing

At the time of submittal of future more detailed development applications (i.e. plot plans) the applicant will include trash and refuse collection stations for review by the City.

N. FISCAL IMPACT SUMMARY

Mitigation Measure

1. A community facilities district shall be formed under the Mello-Roos Community Facilities Act of 1982 to pay for the cost of providing police, fire protection, ambulance and paramedic services and to pay for maintenance of parks, parkways and storm drains, together with incidental expenses in connection therewith, by the annual levy of a special tax upon the lands within the community facilities district.

Implementation/Timing

The project applicant will work with the City to satisfy this mitigation measure, at the appropriate time specified by the City.

Mitigation Measure

2. A district shall be formed under the Landscaping and Lighting Act of 1972 to pay for the cost of maintenance and servicing of street lighting, landscaped areas and other improvements authorized thereunder, including acquisition of land for park, recreational or open space purposes, together with incidental expenses in connection therewith, by the annual levy of an assessment upon the lands within the landscaping and lighting district.

Implementation/Timing

The project applicant will work with the City to satisfy this mitigation measure, at the appropriate time specified by the City.