

LA LAGUNA ESTATES SPECIFIC PLAN

Amendment No. 1
Final Document

Submitted to:

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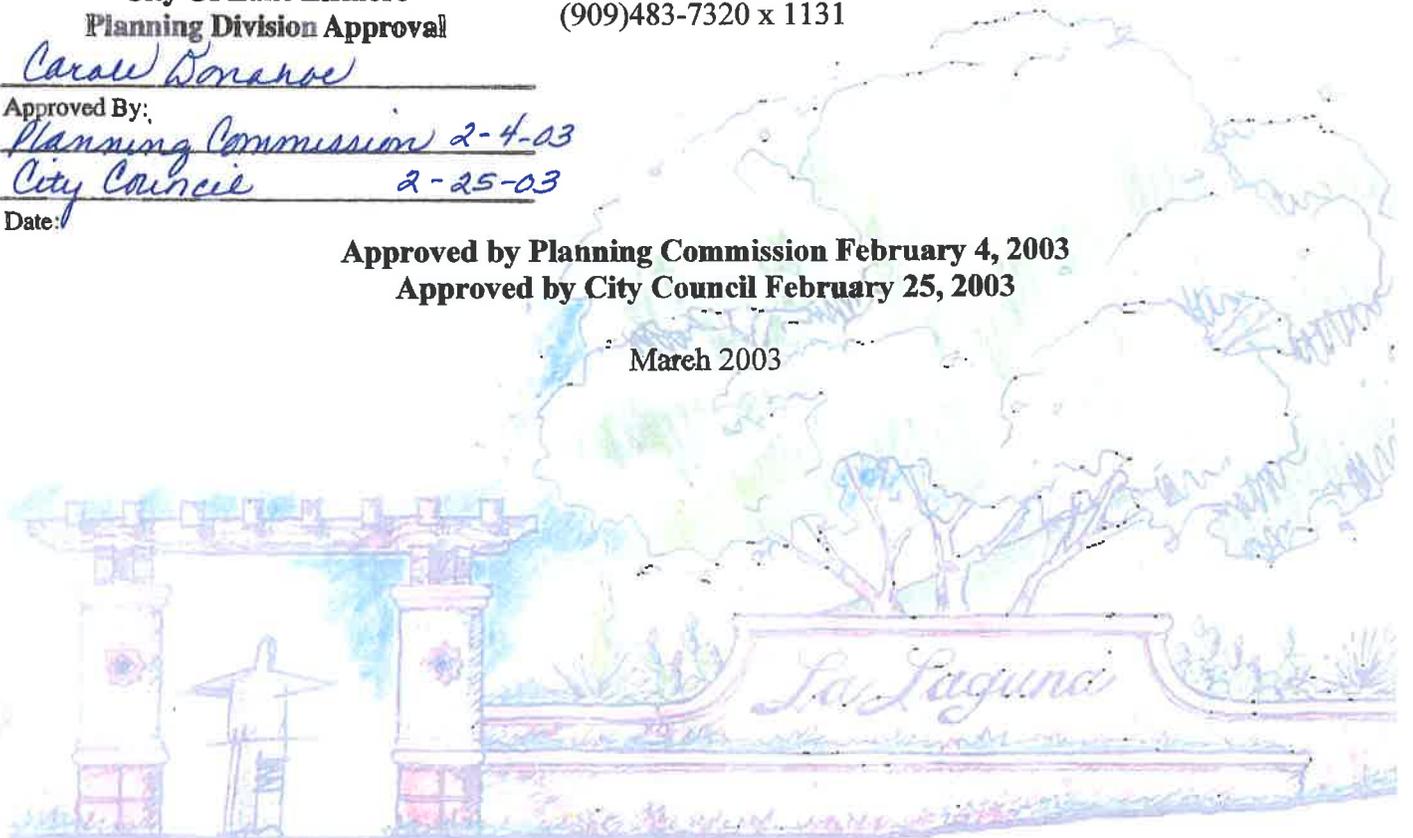
Planning Commission 2-4-03

City Council 2-25-03

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Approved by Planning Commission February 4, 2003
Approved by City Council February 25, 2003

March 2003



CITY OF LAKE ELSINORE
NOTE TO FILE

RE: La Laguna Estates Specific Plan
Amendment No. 1
Final Document
March 2003

FROM: Carole Donahoe, Project Planner

DATE: September 16, 2003

SUBJECT: Document Errata Sheet

This Note to File provides the following two corrections to the document:

- 1. Page 51, Section 4.1 - Single Family Detached Residential (SFD)
Should read as follows:**

“Single-family detached residential uses occupy 188.5 acres, or roughly 38%, of the La Laguna Specific Plan project area. Lot sizes within Phase 1 will range from 4,700 to 16,000 square feet with an average lot size of 7,580 square feet. The remaining five development phases have a minimum of 6,000 square foot lot areas with corner lots of 7,200 square feet. The overall project density is approximately 3.51 single family detached dwelling units per acre. The minimum lot sizes are required to implement the Development Plan as described in the approved La Laguna Development Agreement and are intended to minimize hillside grading while preserving significant open space.”

- 2. Page 82, Section 5.3.1 - General Intent, Item “g.”
Should read as follows:**

“A mix of two-story and single-story homes shall be encouraged throughout all phases of the project.”

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APPENDIX

A	CONDITIONS OF APPROVAL
	SPECIFIC PLAN AMENDMENT NO. 1
	TRACT MAP 30788 (PHASE ONE)
	ORIGINAL SPECIFIC PLAN
B	MITIGATION MONITORING PROGRAM REVISED
C	DEVELOPMENT AGREEMENT
D	LEGAL DESCRIPTION

1.0 EXECUTIVE SUMMARY

1.1 INTRODUCTION

The La Laguna Estates Specific Plan was adopted by the Lake Elsinore City Council on October 27, 1998 under City Ordinance No. 1041. The approved plan provides for 660 residential dwelling units, divided between 480 detached single family residential units and 180 attached residential units. The Specific Plan area, as approved, has an overall density of 1.2 dwellings per gross acre which includes 140 acres of natural open space, and public streets. The homes to be provided will maintain a sensitive approach to development relative to existing and proposed circulation patterns and development. The La Laguna Estates Specific Plan area encompasses 489 gross acres with the greatest portion of the plan devoted to open space. Exhibit 1 shows the Regional Location of the proposed project in Riverside County.

In a local context, La Laguna is located approximately 1.5 miles south of Interstate 15 and directly east of and adjacent to the Cleveland National Forest. Access to the site is provided by the alignments of Lincoln Street and Grand Avenue as shown in the Vicinity Map, **Exhibit 2**

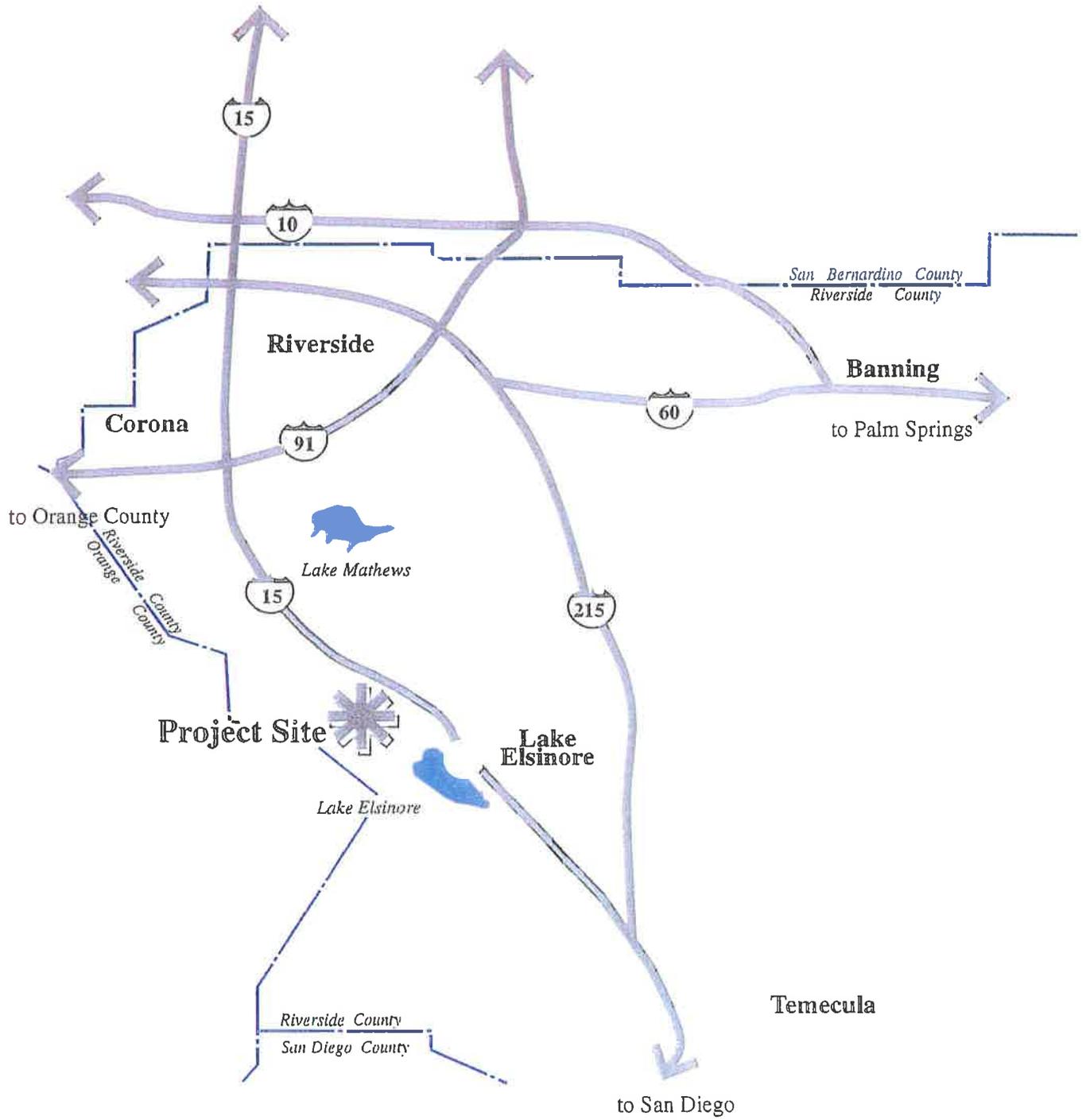
1.1.1 Proposed Amendment

The original Specific Plan, as adopted in 1998, proposed a mix of single family detached and single family attached product in six designated Planning Areas reflecting the phasing for project implementation. The proposed Amendment No. 1 revises that initial approval by eliminating the proposed attached residential product and substituting a single family detached product on lots ranging in size from 4700 to 16,000 square feet within the affected development Planning Area (revised PA I). Planning Area 1 will yield an average lot size of 7,580 square feet. The Amendment also revises the original project phasing, reversing the order so as to assure orderly development beginning at the lowest project elevation, adjacent to existing streets and utility services. The Amendment updates specific design standards to reflect the actual product to be built by the project developer, Forecast Homes. Two product lines are reflected in the revised exhibits and standards.

Each of the six Planning Areas constitutes a distinct neighborhood, with its own entry monuments, landscape theme, color palette and orientation. Planning Area I will be built out with single story homes on smaller lots set along curvilinear streets and cul de sacs. It is intended to appeal to young families, empty nesters, and singles who do not require large homes and large lots. Planning Area II will be developed with larger homes, including a significant percentage of two story models, on larger lots, also built along curvilinear streets and cul de sacs to encourage a sense of community. Architectural designs and lots sizes anticipated for the balance of the Planning Areas are still in design stages, but will continue the overall intent of creating identifiable neighborhoods within the development.

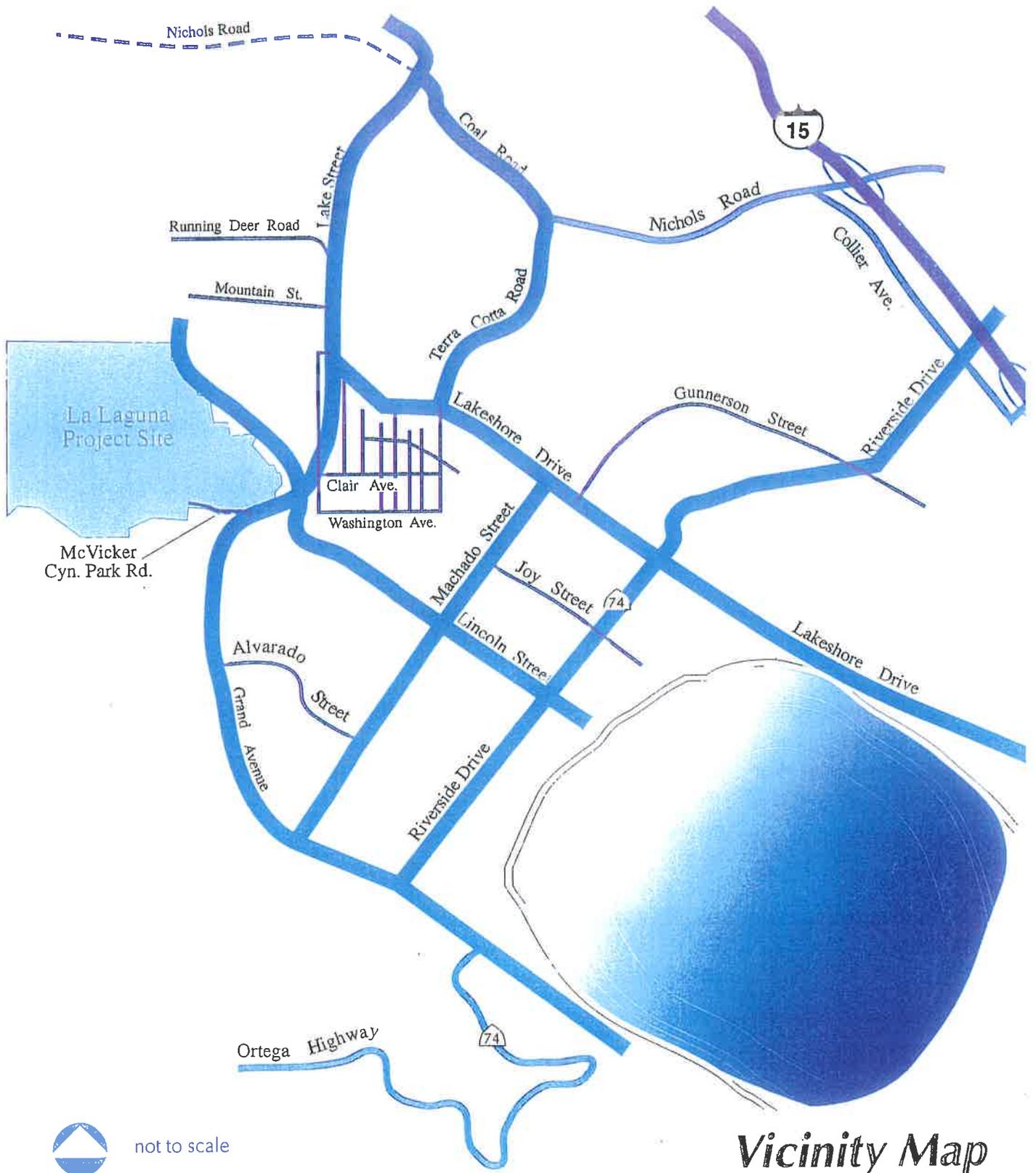
Contour grading and landform landscaping are incorporated into the project design throughout to reduce grading impact. New exhibits reflecting actual project monumentation, street scape, slope treatment, fuel modification zones and typical front yard landscaping are included in the Amendment and the associated standards. The Amendment also includes revisions to the boundaries of the Planning Areas, together with minor changes to the proposed internal circulation system. In sum, the proposed Amendment will:

- Add a provision for single family detached homes with lot sizes ranging from 4700 to 16,000 square feet, for an average lot size of 7,580 square feet in Planning Area 1. The small lot detached homes will replace the original attached product in order to better reflect current market preferences, meet community housing needs while maintaining project affordability and design variation as originally intended.
- Establish Sunswept Drive as a full width public street with optional design to control access as necessary to assure traffic safety and traffic control.
- Add a provision for a Multi-purpose trail for public use.
- Refine and clarify maintenance provisions for various open space and recreational uses.
- Establish Hillside Development Standards
- Revise the phasing sequence for the project to provide for orderly development consistent with good construction practice beginning at the project's lowest elevation, so as to avoid premature development and commitment of public services.
- Provide a conceptual landscape plan for the project intended to enhance neighborhood identity for each Planning Area within the overall Specific Plan.
- Provide developed monumentation and neighborhood identification
- Update architectural standards to reflect actual product



Regional Location Map

LA LAGUNA ESTATES SPECIFIC PLAN



not to scale

LA LAGUNA ESTATES SPECIFIC PLAN

This Amendment is proposed pursuant to Section 6-3: Amendments to the Specific Plan contained in the text of the adopted La Laguna Estates Specific Plan. The Amendment is proposed to facilitate approval of proposed Tentative Tract Maps 30788 (Planning Area 1) and 30789 (Planning Area II) together with an associated environmental assessment and Mitigation Monitoring Program.

1.1.2 Comparative Land Use Summary

The following table shows the density and acreage differences between the adopted and amended Specific Plans:

<u>Land Use</u>	<u>Dwelling Units</u>	<u>Gross Acres</u>	<u>Avg Density</u>	<u>%Land Use</u>
Single-family Detached	480.....	164	2.93	33%
Single-family Attached	180.....	24	7.50.....	5%
Natural Open Space		140.3.....		29%
Open Space		141.7		29%
Major Street Circulation		18		4%
<hr/>				
TOTAL	660	489	1.35.....	100%

<u>Land Use</u>	<u>Dwelling Units</u>	<u>Gross Acres</u>	<u>Avg Density</u>	<u>%Land Use</u>
Single-family Detached	660.....	188	3.51	38%
Single-family Attached	0.....	0	0.....	0%
Natural Open Space	unchanged	140.3.....		29%
Open Space	unchanged	141.7		29%
Major Street Circulation	unchanged	18		4%
<hr/>				
TOTAL	660	489.....	1.35.....	100%

1.1.3 Discretionary Actions

The following is a summary of existing approvals relating to La Laguna Estates. A series of legal agreements, including a Development Agreement and a Construction and Funding Acquisition Agreement have been approved by the City of Lake Elsinore with regard to the design and construction of the necessary facilities, the establishment of a Community Facilities District (CFD #88-03) over and including the properties. A levy of a special tax will be required on properties within the District, from the sale of bonds by the District to finance the construction of facilities deemed necessary by the City of Lake Elsinore. Facilities including parks, streets, traffic control facilities, fire station, sewer, water and flood control have been funded by Mello-Roos special taxes, development fees and other assessments under the Development Agreement.

1.1.4 General Plan / Zoning / Surrounding Land Uses

Lake Elsinore General Plan and Zoning

The City of Lake Elsinore General Plan designates the La Laguna Estates property as Future Specific Plan Area "B." The Land Use Element of the General Plan permits a density of up to 3 DU/acre for the property. The area is zoned R1 (HPD) Single Family Residential/Hillside Planned Development. Both the adopted Specific Plan and the proposed Amendment are consistent with both the General Plan designation for the site and the site's zoning. A review of General Consistency is provided in Section VI.

Surrounding Land Uses

The character of development in the surrounding area is primarily single family residential dwellings and support uses. A neighborhood of single family detached units has been constructed on the northerly boundary of the project, north of Planning Areas 1,2, and 6. Oak Tree Park adjoins proposed Planning Area 1. Lot size within this adjacent neighborhood range from 6200 square feet to 11,000 square feet inclusive of slope area. Property to the east of the project site is also developed with single family detached housing.

The adopted La Laguna Specific Plan proposed the development of 180 attached residential units adjacent to this developed single family neighborhood. The proposed Amendment would eliminate these attached high density units and replace them with more compatible single family detached units on lots having a minimum area of 4500 square feet, at a density of 2.33 du/acre after in-tract open space is factored in. Lot frontages average 50 feet.

Fire Station No. 38 lies south of Planning Areas I and II adjacent to the southerly site boundary, at 29405 McVicker Canyon Park Rd. The Cleveland National Forest lies directly to the west of the project site, in unincorporated area. The revised project retains the natural open space buffers along the northerly, easterly, and westerly boundaries of the project area per the originally approved Specific Plan.

Project Access

The project area is bound by McVicker St. to the south and Lincoln St. to the north. The principal regional access to the area is via Grand Ave/Lake St. to/from Interstate 15 located north of the project site. Principal local access to project site is from McVicker Canyon Park Rd. Secondary access to Planning Area I (Tract 30788) will be provided via Sunswept Dr. Sandpiper Dr. will provide secondary access to Planning Area 2. All internal streets within the project's subdivisions will be ungated public roadways, designed, constructed, and offered for dedication to the City of Lake Elsinore. The gated access to, and private streets within, the NEW Planning Area 1, included in the original Specific Plan, will be deleted with this Amendment

2.0 EXISTING SETTING

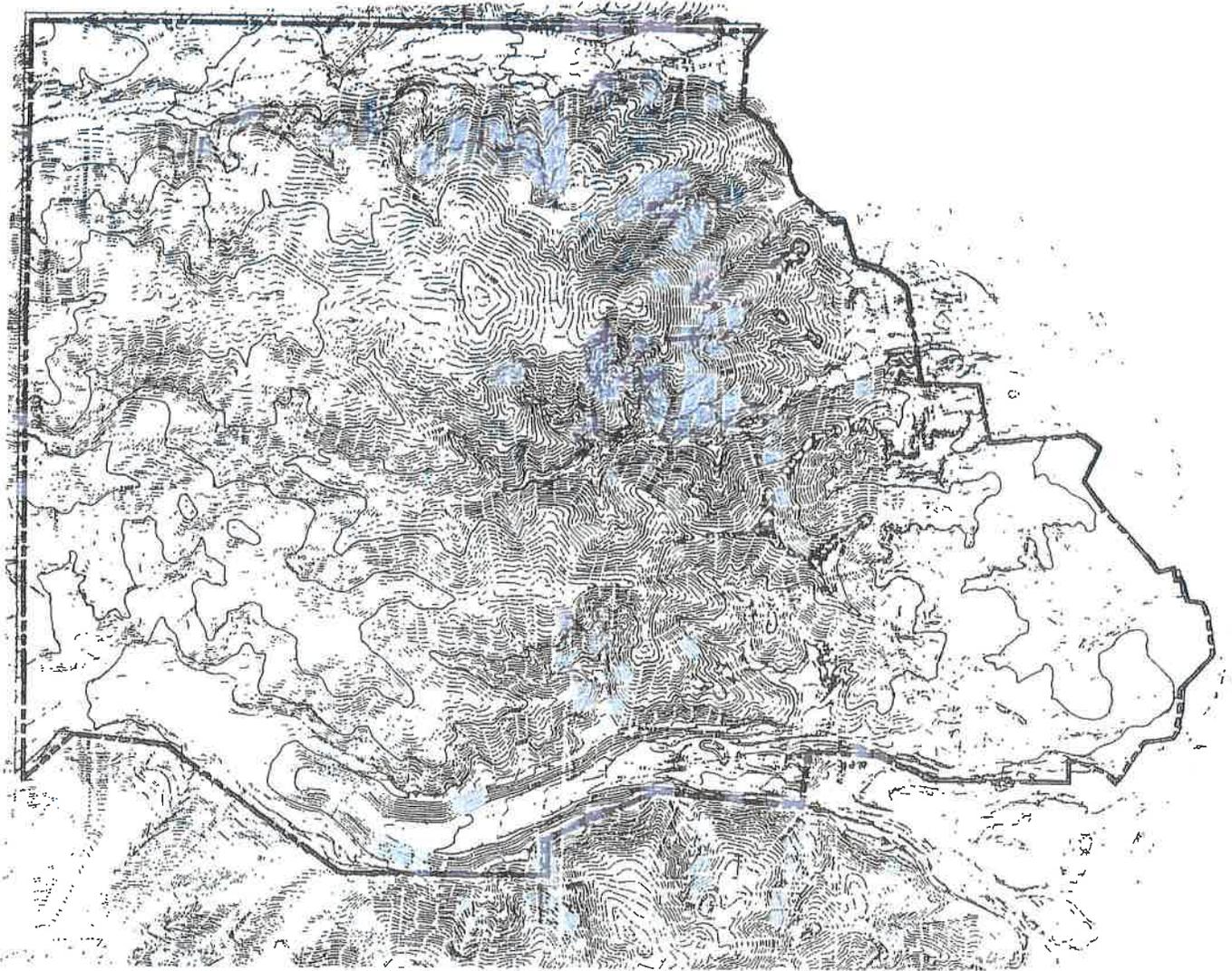
2.1 SOILS AND GEOLOGY

La Laguna is located along the northwestern edge of the Elsinore Fault Trough in the eastern foothills of the Santa Ana Mountains. The Santa Ana Mountain Range is a tilted fault block, which is bound on the East by the Elsinore Fault Zone. Approximately 1,000 feet Northeast of the project site, lies the Glen Ivy North Fault, which is currently classified as an active fault and is included in the Alquist-Priolo Special Studies Area (as shown in the Opportunities and Constraints Map as **(Exhibit 14)**). A complete geologic investigation was performed on the site and is analyzed in the EIR for this project. Please refer to the text for detailed information, the geotechnical report and pertinent exhibits. A revised and updated geo-technical report was prepared in 2002 specifically for the currently proposed project and accompanies the filings for Tentative Tracts 30788 and 30789.

The soils of the project site consist mainly of unconsolidated gravel and sand in the alluvial canyon areas and metasedimentary bedrock units of the Diorite/Gabbro, Granodiorite and Bedford Canyon series and formations.

2.1.1. Topography/Slope Analysis

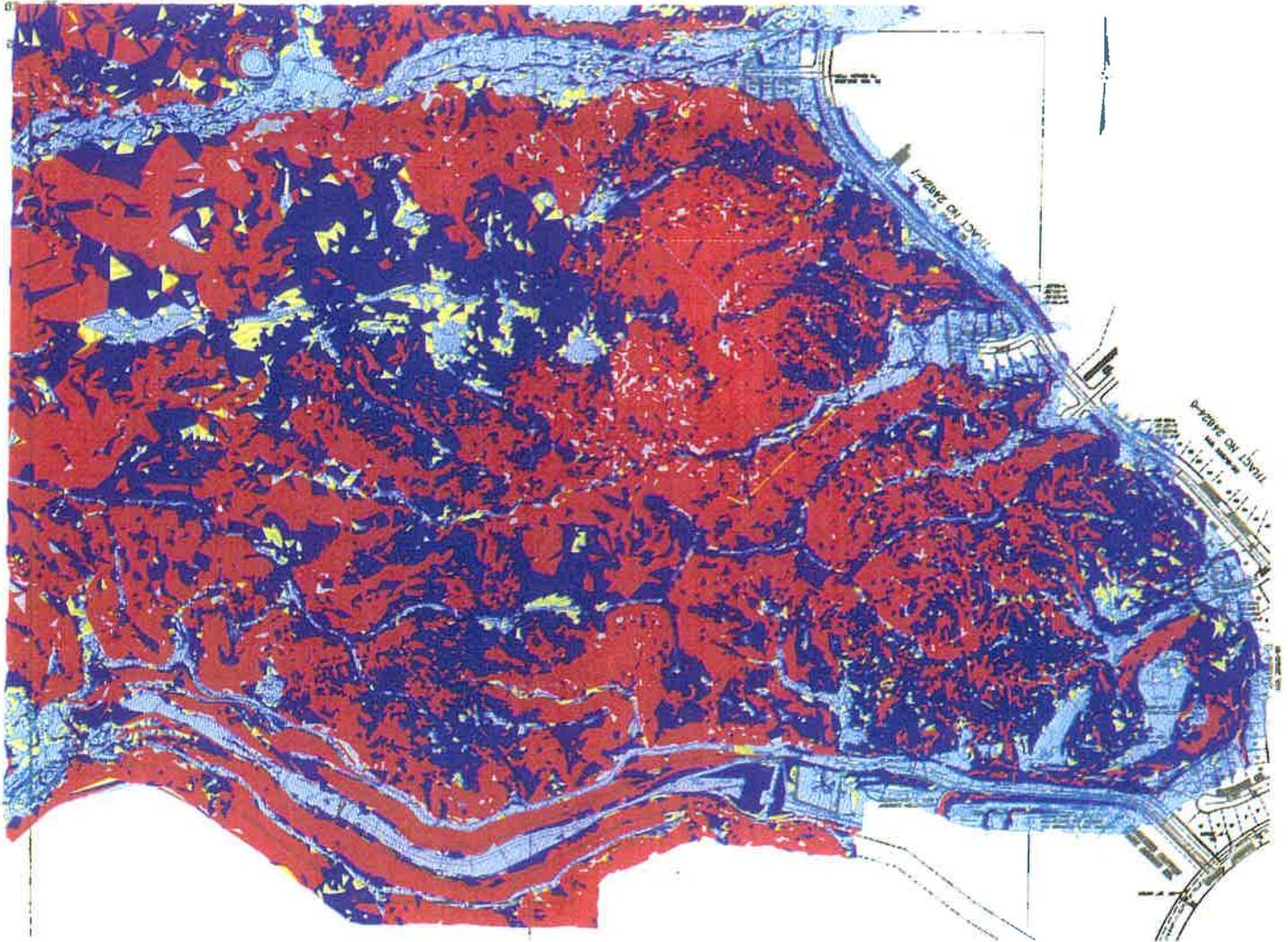
The topography of the site, as shown in **Exhibit 3**, consists of three alluvial canyons, McVicker to the south, an unnamed canyon in the central portion, and Rice Canyon to the north. These canyons are intervened by ridges with elevations onsite varying from 1,560 to 2,260 feet above sea level creating a maximum relief of 700 feet. As shown in the following table on the Slope Analysis Map, **Exhibit 4**, 45% of the site has slopes greater than 50%, and **Exhibit 5** illustrates the existing topography of the site.



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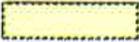
Topography

LA LAGUNA ESTATES SPECIFIC PLAN

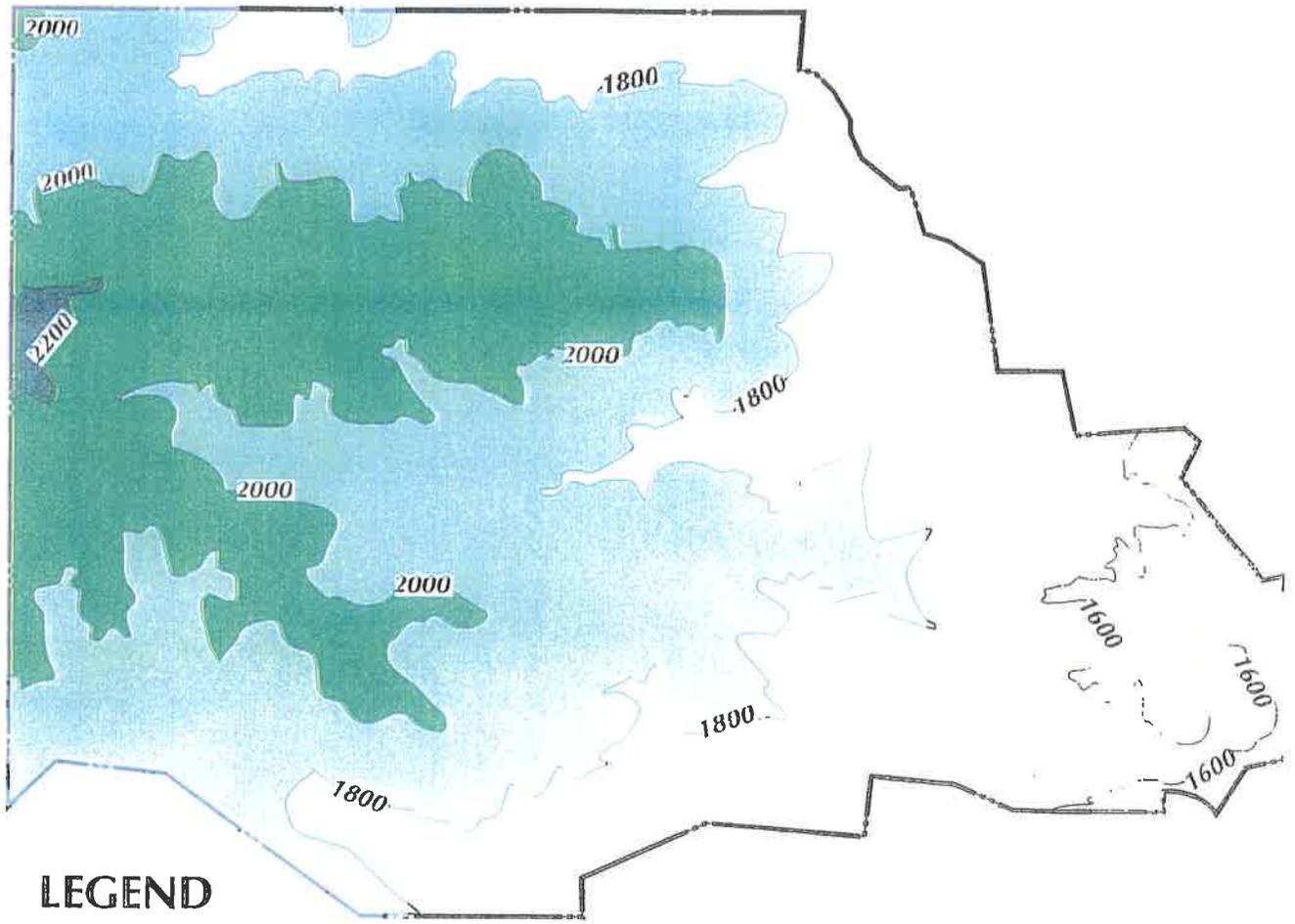


LA LAGUNA ESTATES SPECIFIC PLAN

SLOPE LEGEND

	SLOPE CATEGORY	ACREAGE	%SITE
	0.0%-25%	69.0	14.2%
	25.0%-50.0%	28.0	5.7%
	50.0%-75.0%	170.0	34.8%
	75.0%-100.0%	221.9	45.4%

SLOPE ANALYSIS



LEGEND

	1400' - 1600'
	1601' - 1800'
	1801' - 2000'
	2001' - 2200'
	> 2201'



Elevation Analysis

LA LAGUNA ESTATES SPECIFIC PLAN

2.2 BIOLOGICAL RESOURCES

Biological assessments were prepared for La Laguna Estates by Biological Assessment Services. Refer to the original Environmental Impact Report for the specific studies. Updated biological resource studies were prepared in 2002 by Glen Lukos & Associates in connection with Tentative Tracts 30788 and 30789, are included in the filing for those tracts, and are reflected in the environmental assessments and updated Mitigation Monitoring Program also prepared by GLA in connection with the application for Specific Plan Amendment No. 1 and the referenced tentative maps. The project site is located in the rain-shadow of the Santa Ana Mountains, which alter the Mediterranean climate of the surrounding area and cause the region to be drier with more of a desert-like biotic community. Vegetation on the project site consists of four primary plant communities. **Exhibit 6** identifies the plant communities of the project site and includes:

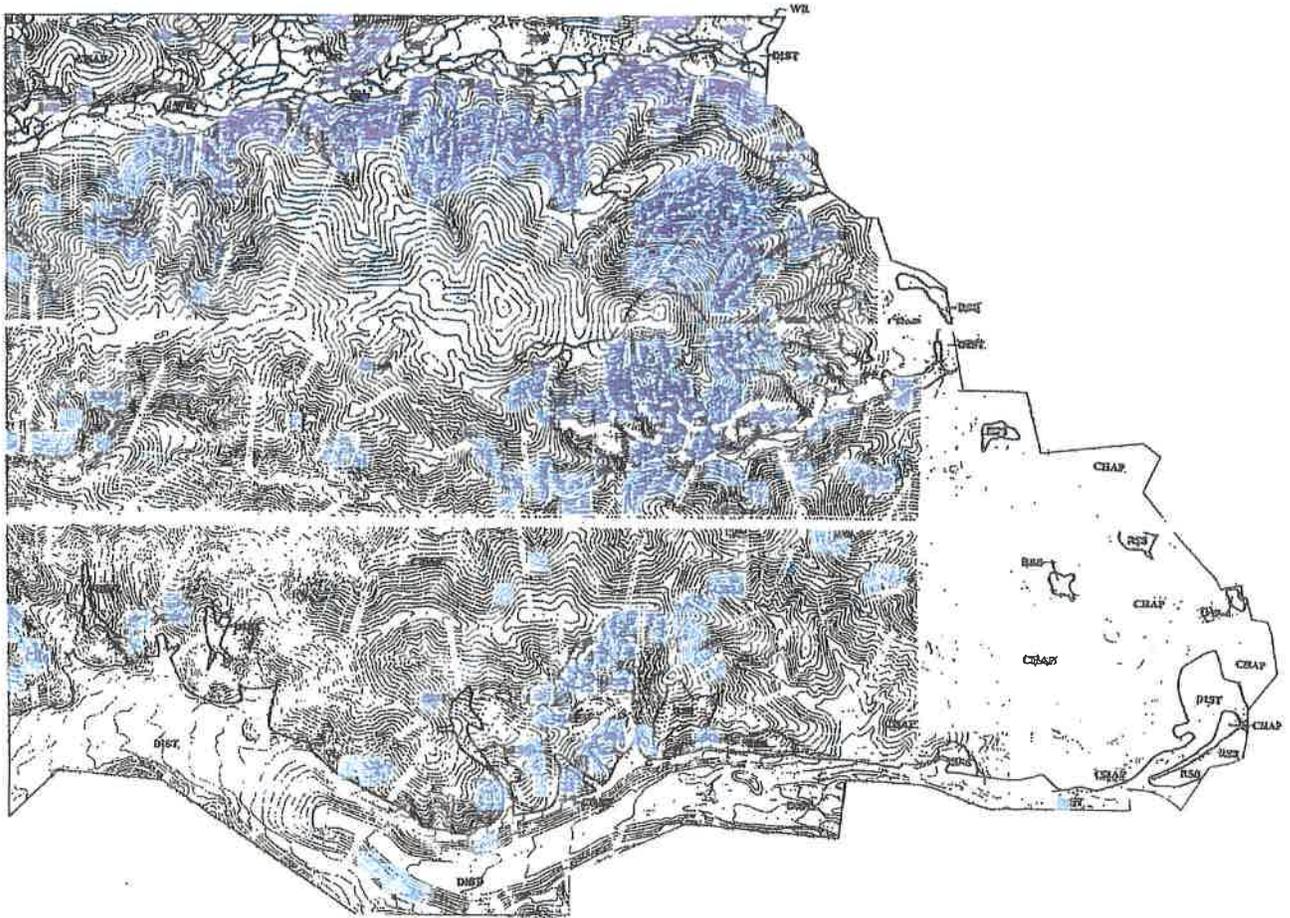
Table 2

Vegetation Community	Acreage	Percent
Riversidian Sage Scrub	39.46	8.0%
Chaparral	389.96	79.7%
Willow Riparian Woodland	4.83	1.0%
Coast Live Oak Woodland	7.17	1.6%
Disturbed/Developed	47.58	9.7%
Subtotal	489.00	100%

Of the 39.6 acres of Riversidian sage scrub, 4.17 acres would be adversely impacted by implementation of the proposed project. This impact represents less than one percent of the total project area. Other sensitive vegetation communities on-site, including Willow Riparian Woodland and Coast Live Oak Woodland, would not be impacted by implementation of the proposed project. The majority of vegetation community impacts occur to Chaparral and disturbed/developed areas.

Twenty-eight bird species were observed on the site during the 1991 survey. The most prevalent species were the scrub jay, northern mockingbird and flocks of bush tits. Other common species include the California towhee, and mourning dove, California quail and crows and ravens. Mammals observed on site include the brush rabbit, black-tailed jackrabbit and the California ground squirrel. With the presence of diagnostic sign, other mammals include the gray fox, dusty-footed woodrat, Botta's pocket gopher and Pacific kangaroo rat. Those species not observed but expected to occur on the site include the raccoon and many small rodent species with larger predators including the black bear and mountain lion.

In response to comments received from the California Department of Fish and Game (CDFG) in 1993, a Habitat Mitigation Plan was prepared to specifically address and respond to concerns of the CDFG. After several meetings, CDFG endorsed the Habitat Mitigation Plan as providing adequate mitigation to offset impacts to biological resources resulting with implementation of the Specific Plan.



Legend

Map Symbol	Vegetation Communities
CHAP	Chaparral
RSS	Riverside Sage Scrub
OW	Oak Woodland
WR	Willow Riparian Woodland
	Other Vegetation Communities
DEV	Developed
DIST	Disturbed



not to scale

Existing Vegetation Communities

LA LAGUNA ESTATES SPECIFIC PLAN

At the direction of the U.S. Fish and Wildlife Service (USFWS), the project's Habitat Mitigation Plan was later updated in 1997 to include an updated coastal California gnatcatcher survey and field surveys to identify sensitive species. The coastal California gnatcatcher survey was conducted to update previous gnatcatcher surveys that were conducted in 1991 and 1993. Updated gnatcatcher surveys were conducted between February and April 1997, in accordance with the current survey protocol promulgated by the USFWS, which required a total of seven surveys. A subsequent nesting survey was conducted by GLA in 2002 which confirmed the initial findings of the 1997 survey. No Coastal California gnatcatchers were observed or are expected to occur onsite during any of the seven field surveys. On-site Riverside sage scrub is sparse and not expected to support coastal California gnatcatchers.

Field surveys were also conducted to identify any western Riverside County sensitive species, including the listed Quino checkerspot butterfly. None of the species identified by the USFWS as sensitive were identified onsite, including the Quino checkerspot butterfly and its primary host plant, dwarf plantain.

2.3 SERVICES AND UTILITIES

2.3.1 Electricity, Natural Gas and Telephone

Southern California Gas Company (SCGC) supplies natural gas to the area. SCGC has indicated that it will be able to accommodate the service requirements for La Laguna. All services and facilities required for the project will be installed in accordance with the Company's policies and extension rules on file with the California Public Utilities Commission and Federal regulatory agencies. General Telephone provides telephone service to the Lake Elsinore area and has facilities to serve the projects to be developed within the La Laguna Estates Specific Plan area. Southern California Edison (SCE) provides electrical service to the City and has facilities to serve the proposed project.

2.3.2 Solid Waste

CR&R, the disposal company for the project area, is currently under contract to the City of Lake Elsinore and under a permit from the County of Riverside to provide solid waste services to the City. Based upon service projections and anticipated demand increase, an adequate level of service will be maintained. No solid waste disposal facilities are planned to be located in the Specific Plan area.

California Assembly Bill 939 (Statutes of 1989, Chapter 1095), which became a law on January 1, 1990, requires all cities and counties to develop a waste stream reduction and recycling plan by July 1, 1991. The Bill requires landfill waste streams to be reduced 25% by 1995 in Riverside County and 50% by January 1, 2000. The current Riverside County Solid Waste Management Plan includes programs for education and ways to reduce the quantity of waste being transported to landfills.. These programs are intended to induce source reduction, business and residential separation of recoverables and high technology waste resource recovery systems. The implementation of all these waste reducing programs will tend to offset the growth within the disposal site service areas and therefore, extend the life of the disposal sites.

3.0 DEVELOPMENT PLANS

This Section identifies all the plans that constitute and implement a Specific Plan and govern its development. Those Plans include the Land Use Plan, Circulation Plan, Grading Plan, Water, Sewer and Drainage Plan, Recreation and Open Space Plan and the Phasing Plan. Standards to implement these plans are also provided.

When analyzing the site for development, issues such as engineering feasibility, compatibility with housing and open space, mining activities, flood hazards, provision of adequate fire protection, opportunities and constraints and market acceptance have been fully examined and considered.

With this analysis in mind, the La Laguna Estates Specific Plan overall objectives are:

- a. To provide a coordinated Land Use Plan which considers the topographic, geologic, hydrologic and environmental opportunities and constraints and creates a design that generally conforms to the character of the land by retaining and utilizing existing landforms as much as possible.
- b. To target the residential product types and concepts to growing and maturing families.
- c. To create a community identity for the La Laguna project through a consistent application of landscape and architectural design themes.

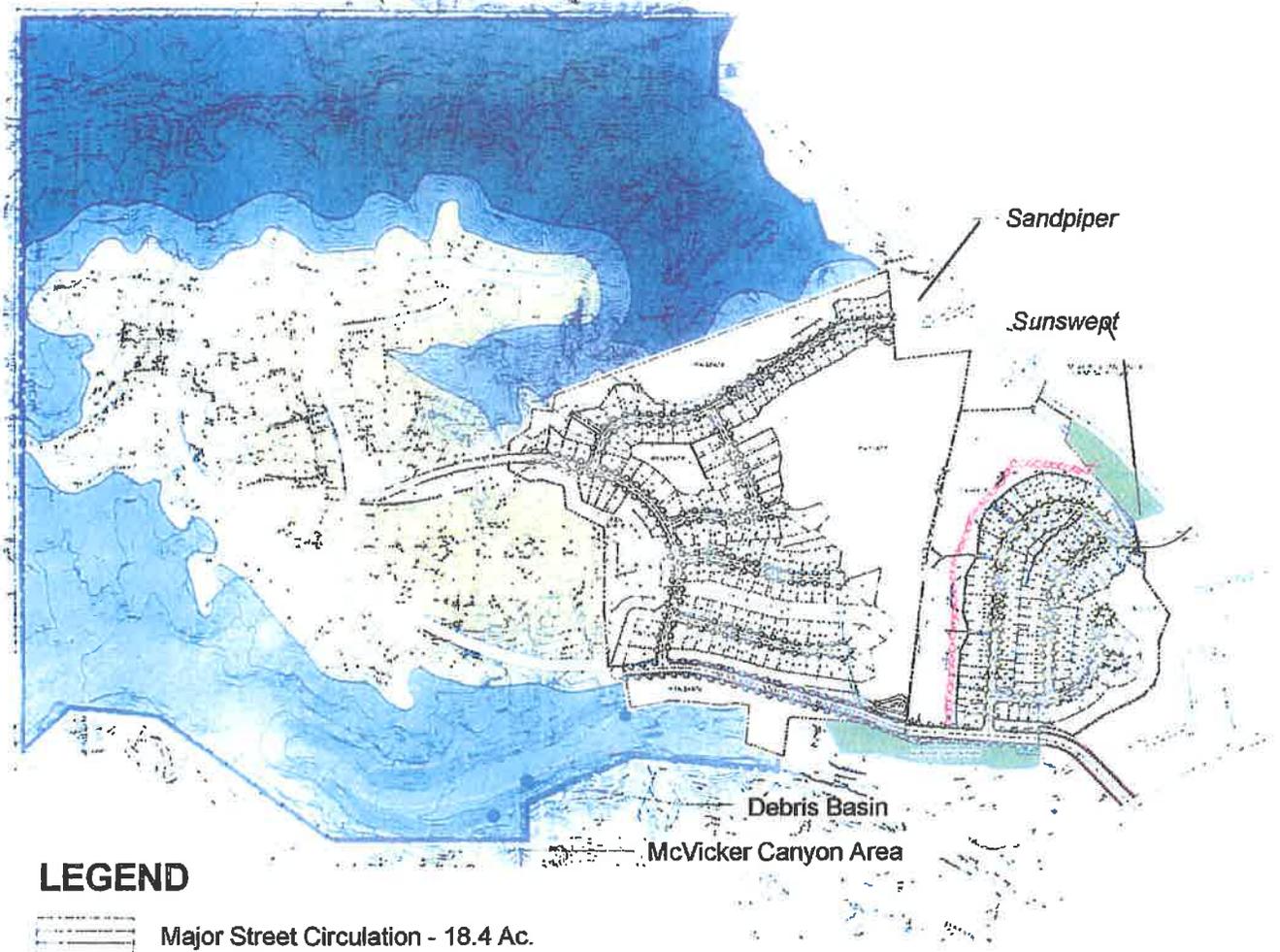
3.1 AMENDMENT NO. 1 LAND USE PLAN

The objectives of La Laguna Estates Specific Plan Amendment No. 1 are consistent with the those initially proposed by the Specific Plan. The Amendment itself is intended to provide for a more logical phasing of development within the site and to modify the housing element to eliminate attached single family residential product and replace it with single family detached product that is more responsive to current market demand and surrounding development.

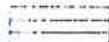
3.1.1 Plan Description

When completed, the La Laguna Estates Project will be comprised of low-density single family detached residential uses, combined with natural open space areas that are consistent with the intent of the La Laguna Estates Specific Plan. The residential uses as provided, will maintain a sensitive approach to the development of the existing topography where feasible. The La Laguna Specific Plan encompasses 488.9 acres with development consisting of open space, recreation and residential uses. Residential uses comprise 188 acres (38%) of the project, while open space comprises 141.7 acres (29%) and natural open space comprises 140.3 acres (29%). When completed, a maximum of 660 homes will be constructed in La Laguna. The Land Use Plan is provided as **Exhibit 7**.

Rice Canyon Area
Dale Court



LEGEND

-  Major Street Circulation - 18.4 Ac.
-  Single Family Detached - 188.5 Ac., **660 DU**
-  Open Space - 141.7 Ac.
-  Natural Open Space - 140.3 Ac.
-  TRAIL

 Not to scale

Land Use Plan

LA LAGUNA ESTATES SPECIFIC PLAN

Amendment No. 1

The planning areas for La Laguna Estates can be separated into six distinct areas, each with its own character and considerations. The planning areas are focused around a double-looping circulation system, which limits direct frontage while providing primary access to the single family units. These units will be primarily centered around cul-de-sac streets which will provide small intimate neighborhoods.

NEW Planning Area One (Tentative Tract 30788)

Planning Area 1 consists of 47.09 gross acres. Primary access to the planning area is from McVicker Canyon Park Rd. with secondary access from Sunswept Dr.

Planning Area 1 was originally proposed for development with 180 attached residential units. Given that adjacent development consisted of single family detached homes, the developer felt that a detached product within this area would be more compatible with surrounding uses. The Planning Area will feature 110 residential lots at sizes ranging from 4700 to 16,000 square feet, having an average lot size of 7,580 square feet, developed primarily with single story homes. The use of smaller lots in this Planning Area provides for a greater mix of homes within the overall La Laguna development while also providing for a strong sense of neighborhood identification.

Two open space lots are also included within the Planning Area. An overall density of 2.33 dwelling units per acre is proposed. Development adjacent to the planning area includes McVicker Park, located along the southerly boundary of the Planning Area, and a developed single family neighborhood at the easterly boundary of the Planning Area extending north to Sunswept Dr. The property to the north of the Planning Area is also developed with single family detached homes and the existing Oak Tree Park.

As noted, the Planning Area will include open space lots. Lot A will extend along the easterly boundary and is intended to preserve natural downslopes as a setback buffer between existing homes to the east and proposed single family homes to be built within the Planning Area. Lot B is intended to maintain existing steep slopes as permanent open space, and to create a buffer between the proposed development and Oak Tree Park.

Dwelling units with the Planning Area will be oriented to capture northeasterly views and are at an elevation being approximately 50 feet above the adjacent single family development to the east.

NEW Planning Area Two (Tentative Tract 30789)

This planning area consists of 105.85 acres gross. Primary access will be provided from McVicker Canyon Park Rd. with secondary access from Sandpiper Dr. Planning Area II will be developed with 115 single family detached residences on minimum 6000 square foot lots. Product type will differ from that proposed for Planning Area I, providing both neighborhoods with a distinct architectural as well as geographical identity. Fire Station No. 38 and McVicker Canyon Park Rd. adjoin Planning Area II

on the south. The Planning Area is bounded by open space to the north with the exception of 11 single family residences located along Sandpiper Dr..

Planning Area 1 of this Specific Plan is adjacent to the east, with an open space area buffering the two projects. Proposed Planning Area 3 is located westerly of Planning Area II. Planning Area 6 and natural open space extends across the northern boundary of this Planning Area..

NEW Planning Area Three

Planning Area III contains 37.94 gross acres and will be developed with single family detached homes. The Planning Area is oriented to McVicker Canyon Park Rd., which will provide its primary access. Secondary access will be provided via the extension of Sandpiper Drive through Planning Area II. A portion of the Planning Area extends south of McVicker Canyon Park Rd. and incorporates an open space drainage area, which will remain in its natural state. With the exception of this natural open space, the Planning Area will be surrounded by single family detached residential development planned for adjacent development phases of the La Laguna Specific Plan area.

NEW Planning Area Four

Planning Area IV contains 54.14 gross acres which flank both sides of McVicker Canyon Park Rd. The McVicker Canyon Drainage Area comprises the southerly boundary of the Planning Area and is intended to remain as natural open space. The remainder of the Planning Area will be developed with single family detached residences. Residential lots will be oriented southerly to take advantage of views of McVicker Park and adjacent natural open space. The Planning Area will be surrounded by on three sides by residential development within other phases of the project.

NEW Planning Area Five

Planning Area V contains 62.71 gross acres and forms the westerly edge of the La Laguna Estates Specific Plan project area. The Cleveland National Forest lies to the west of the Planning Area. Planning Area VI extends to the north and west of Planning Area V, while Planning Area IV forms the remainder of the westerly flank. Primary access to the Planning Area will be provided by the extension of McVicker Canyon Park Rd. Natural open space will be retained along the north, west, and southerly boundaries of the Planning Area. The Planning Area will be developed with single family residences oriented to McVicker Canyon Park Rd which bounds the Planning Area to the west.

NEW Planning Area Six

Planning Area VI contains 172.72 gross acres, most of which will be maintained as natural open space. This planning area is bounded by the steep backdrop of the Cleveland National Forest mountains and the Rice Canyon natural drainage area. Primary access to the Planning Area will be provided by the extension of McVicker Canyon Park Rd. Dale Ct., which terminates at the northeast corner of the Planning Area, will not be extended or used to serve development within the project. Planning

Area six will have a sense of being nestled at the foot of the mountains, and has significant views across Rice Canyon to the ridges north of the site. Planning Area VI sits at the highest elevation within the La Laguna Specific Plan area and is located at the terminus of the secondary loop circulation system that forms the backbone of the project. Because of its location, lots developed within the Planning Area will afford views of, and over, the entire project as well as Lake Elsinore. Substantial areas of open space will be retained along the northern area associated with the Rice Canyon area, and along the west area comprised of slopes rising from Lincoln Street. Planning Area VI will be developed with single family detached residences consistent with the balance of the project area.

3.1.2 Land Use Guidelines and Standards

In order to ensure orderly and sensitive development of projects within the La Laguna, Specific Plan area, the Specific Plan provides the following guidelines and standards. These guidelines and standards are intended to ensure that high quality development occurs within the Specific Plan, with the intent of protecting and enhancing investment of all those uses located within the Plan area. These guidelines and standards will provide a basis for directing and evaluating the planning and design of improvements to each property within the Plan, and provide guidelines upon which the City's Development Review can be based.

- a. The La Laguna Specific Plan shall be developed with a maximum of 660 single family detached residential dwelling units, on approximately 489 acres, as illustrated in revised **Exhibit 7**.
- b. The La Laguna Specific Plan regulates zoning for the entire project area and provides the necessary plans, development standards, infrastructure requirements, design guidelines, regulations, and implementation programs for future construction of the La Laguna site. All subsequent project-related development plans, design review plans, subdivision maps, grading permits, building permits or any other action requiring ministerial or discretionary approval will be required to substantially conform with the provisions of this document. Whenever the provisions contained herein conflict with those contained in the City codes, the provisions of the La Laguna Land Use Regulations shall take precedence, except that City codes shall apply that are a direct result of zoning code amendments mandated by changes in state law. Those issues and requirements not addressed in this document will be as provided for in revert to the City of Lake Elsinore General Plan, Zoning Code, and/or Municipal Code as appropriate. Future projects proposed to be developed within the Specific Plan area shall be required to comply with the relevant standards, requirements, regulations, etc., contained in these documents at the time these future projects are proposed.
- c. All construction within the La Laguna Specific Plan area shall comply with all provisions of applicable building codes and the various codes related thereto,
- d. General boundary alignments and residential acreage figures of the individual Planning Areas are shown in the revised statistical summary. The precise boundaries and acreages of each Planning Area will be determined during the

Subdivision Map process, when more definitive plans for each subdivision are submitted for review and approval.

- e. Except as otherwise indicated, development area boundaries generally follow the Land Use Plan. Adjustments in development area boundaries resulting from final road alignments and/or technical refinements to the development will not require a Specific Plan Amendment. The precise boundaries and acreages of each Planning Area within the Specific Plan, and of each subdivision within each Planning Area, will be determined when more definitive plans for each development area are submitted and processed through the Subdivision Map or Conditional Use Permit process. Planning Area boundaries may be modified with the approval of the Community Development Director or designee as an administrative approval.
- f. Dwelling unit numbers and associated acreages may vary up to 10% provided the total number of single family detached residential units do not exceed 660 dwelling units. See also Section 6.2.6 Density Transfer Provisions.

3.2 CIRCULATION PLAN

3.2.1 Plan Description

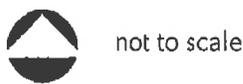
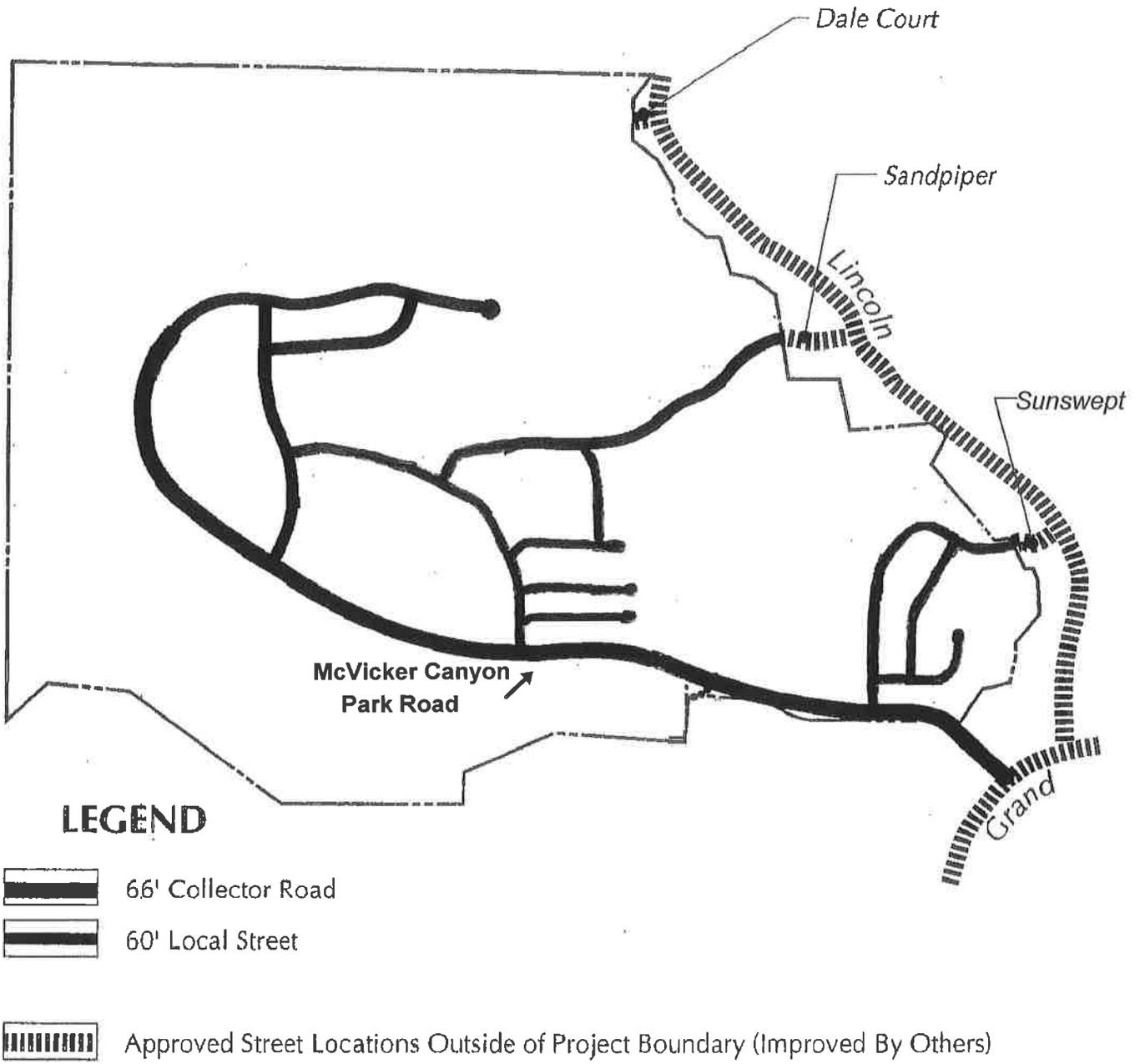
A project roadway concept has been developed as illustrated in **Exhibit 8**, the Circulation Plan. The distribution of roadways outside the site is also provided as **Exhibit 9**, the Area Circulation Plan. The basis for off-site circulation is funded by CFD 88-03 and was developed in consideration of the participants. The main objective of the Circulation Plan for La Laguna is to provide safe and convenient access throughout the community. Roadway cross-sections are shown on **Exhibits 10a and 10b**.

Primary access to the project site is provided via Grand Avenue, designated as a major arterial with a 100' ROW. Project access from Grand Avenue will be on McVicker Canyon Park Road. Secondary access to Planning Area 1 shall be from Sunswept off Lincoln Street. Sunswept is a short cul-de-sac with seven residences. Lincoln Street is a secondary arterial with an 88' ROW. These streets were improved as part of Assessment District 88-03. Lake Street, Machado Street, Lakeshore Drive and Riverside Drive are currently two lanes within the study area.

3.2.2 Classification of Roadways

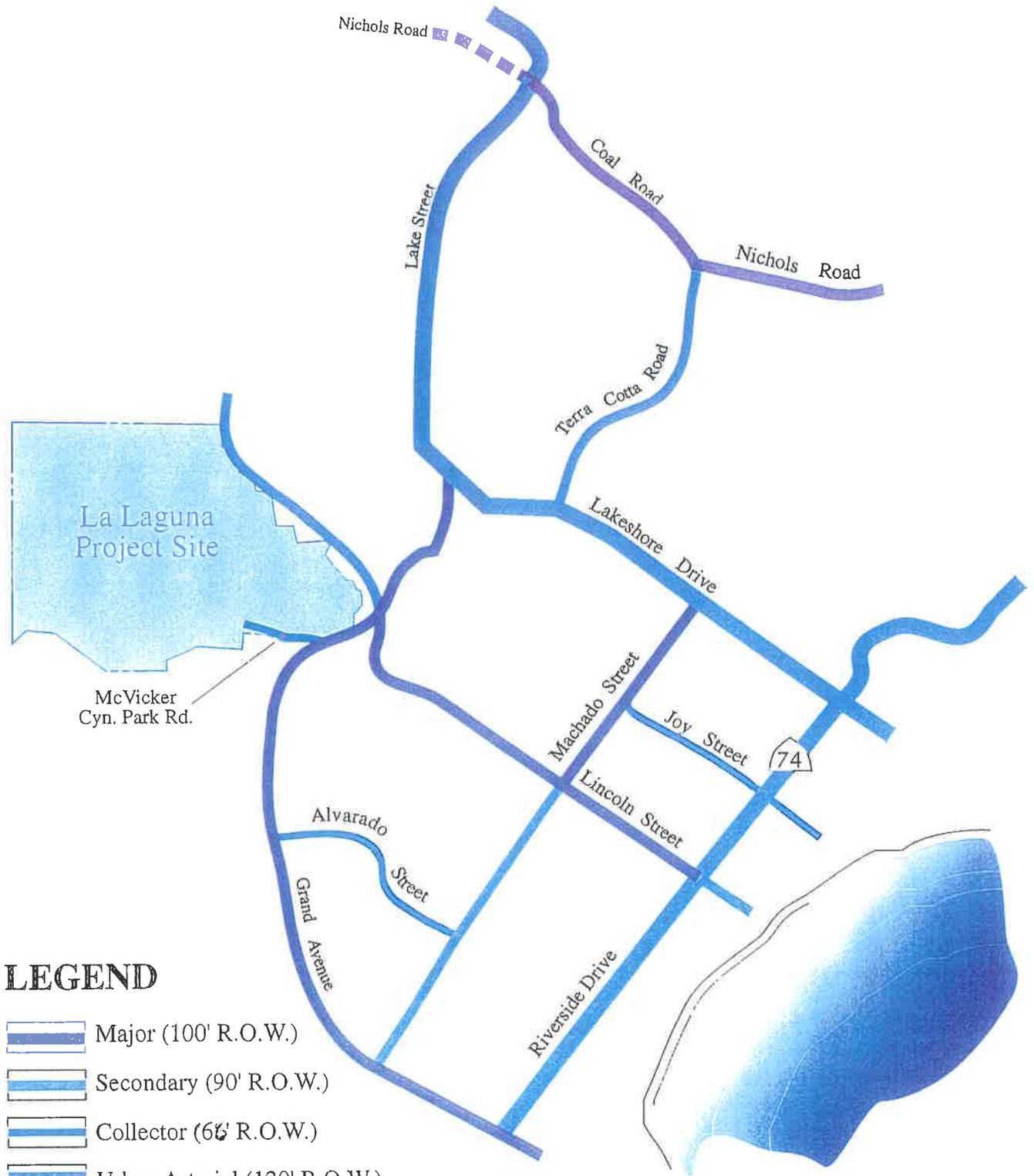
The Circulation Plan provides for alignments for arterial and collector roadways and their rights-of-way, as well as treatment of access points into the community and typical street sections. The following is a brief description of each of the roadway classifications as proposed:

- a. *McVicker Canyon Park Road* will be improved with a 66-foot ROW and two travelways with bike lanes, as illustrated in **Exhibit 10a**.
- b. A Local Street, within the Specific Plan area, is comprised of a 60-foot ROW, two twelve-foot travelways with parking permitted on both sides and is illustrated in Exhibit 10a.
- c. *Double-loaded local street for cul-de-sacs*. This 60-foot ROW design allows for two travelways and parking allowed on both sides of the street.
- d. *Restricted single-loaded Cul-de-sac streets* allow for 44-foot ROW, two travelways and parking permitted on one side with curb adjacent sidewalk as illustrated in **Exhibit 10b**.

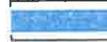


Project Circulation Plan

LA LAGUNA ESTATES SPECIFIC PLAN
 AMENDMENT NO. 1



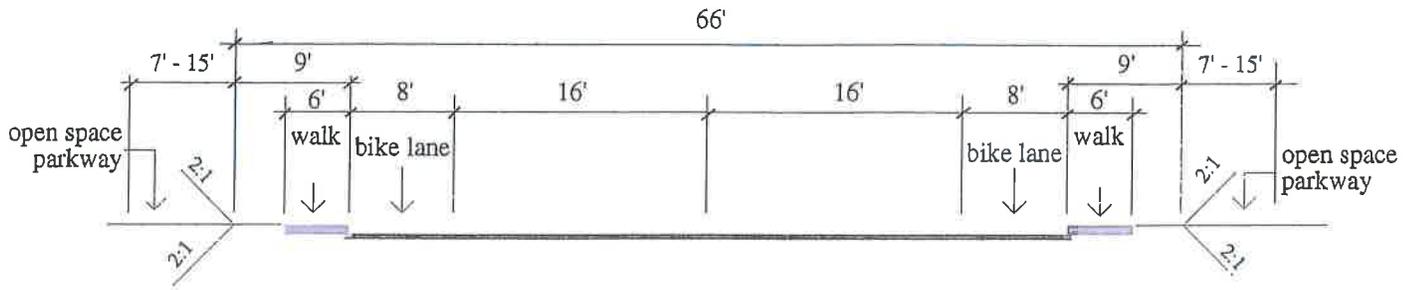
LEGEND

-  Major (100' R.O.W.)
-  Secondary (90' R.O.W.)
-  Collector (66' R.O.W.)
-  Urban Arterial (120' R.O.W.)

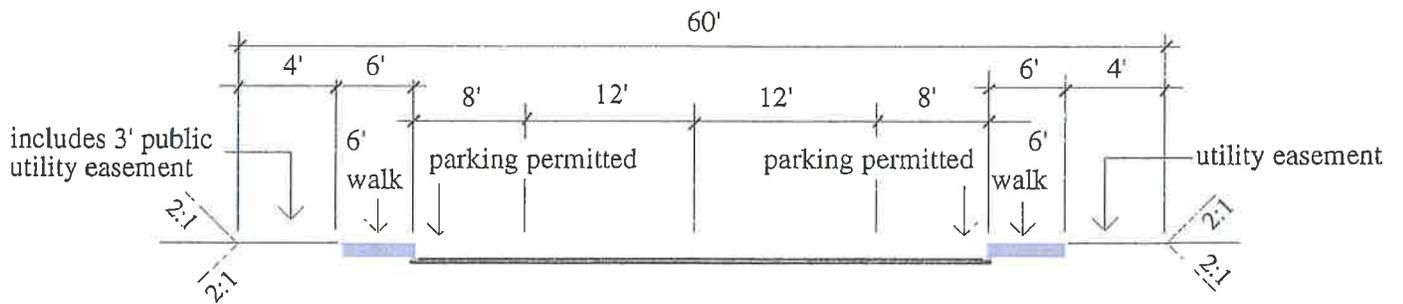
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Area Circulation Plan

LA LAGUNA ESTATES SPECIFIC PLAN



Collector Road Cross Section

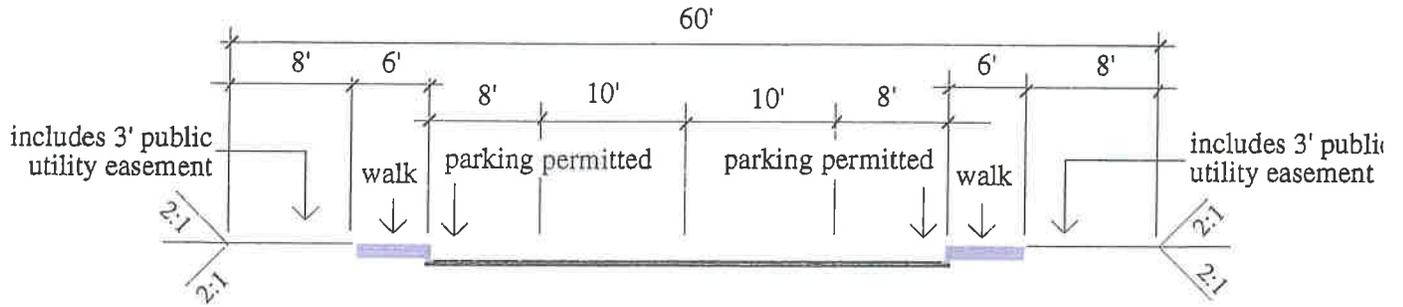


Local Street Cross Section

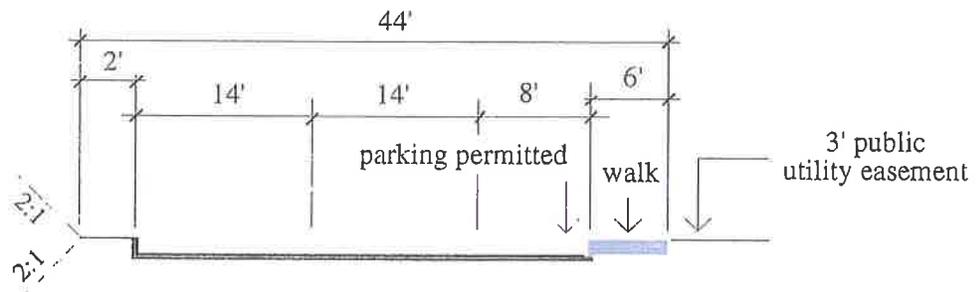


Street Sections

LA LAGUNA ESTATES SPECIFIC PLAN



**Local Cul De Sac Street
Cross Section**



**Restricted Single Loaded Cul De Sac
Cross Section**



Street Sections

LA LAGUNA ESTATES SPECIFIC PLAN

3.2.3 Circulation Guidelines and Standards

- a. The site will comply with the on-site street improvement mitigations as outlined in the Specific Plan EIR and subsequent Revised Traffic Impact Analysis prepared by Kunzman Associates dated December 31, 2002.
- b. On-site roads will be constructed as:
 - Collector Street*(66'ROW)
 - Local Streets*(60' ROW with 36'or 40'of pavement)
 - Restricted Streets*(44'ROW)
- c. All roads shall be constructed to City of Lake Elsinore standards and shall comply with the conditions and requirements set forth by the Engineering Department.
- d. Path and sidewalk street crossings shall be located where there is good sight distance along the road.
- e. Curb cuts will be provided for users of wheelchairs, wagons, tricycles and bicycles.
- f. Maximum length of a cul-de-sac shall be 1000 feet.

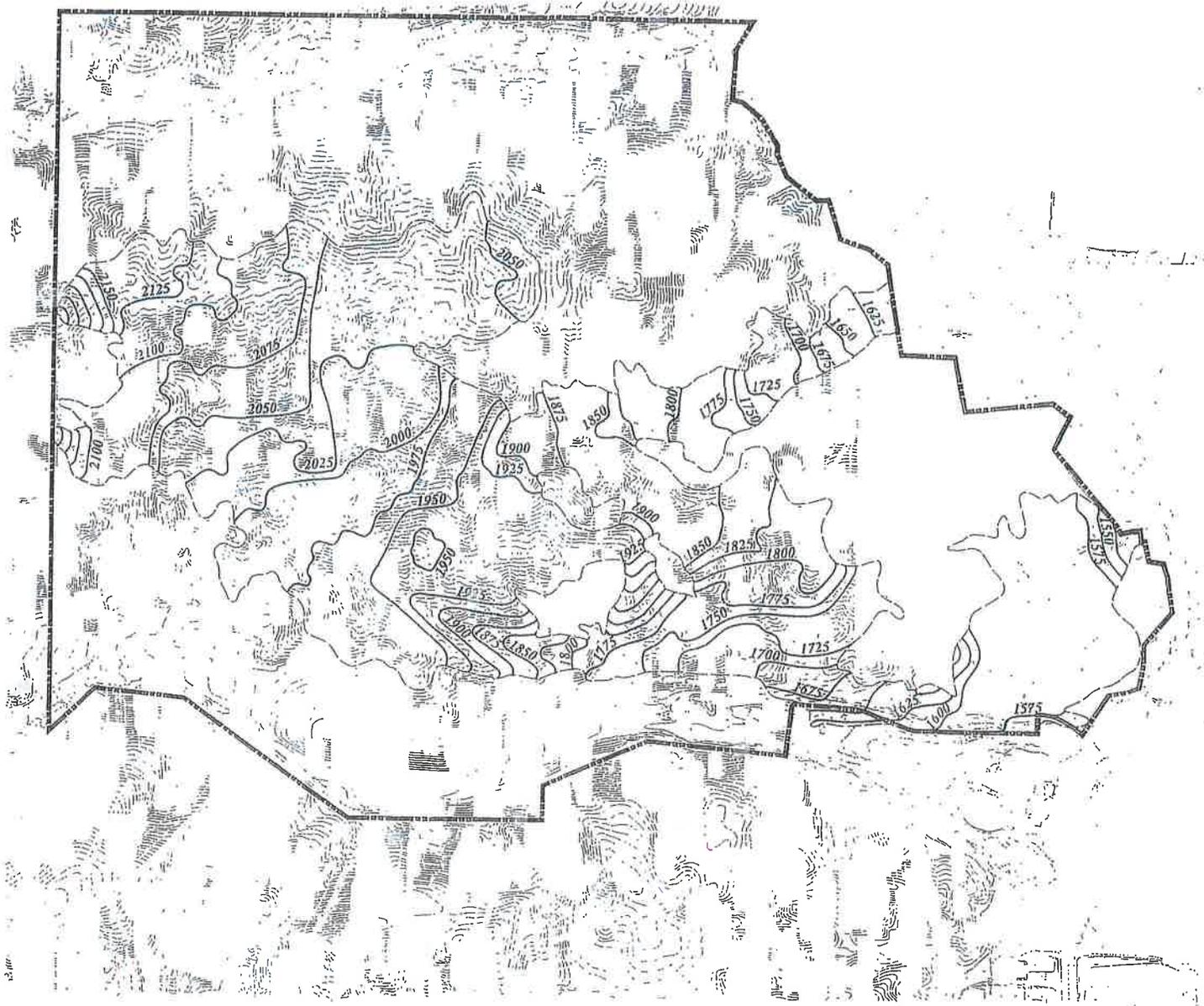
3.3 GRADING PLAN

3.3.1 Plan Description

The Grading Concept Plan for La Laguna is shown in **Exhibit 11**. **Exhibit 12** shows conceptual cross-sections of the site in its graded condition. The grading concept proposes to modify the existing terrain to take advantage of view opportunities to natural open space and the lake area. The natural topography will be retained in more than 40% of the site. The grading design concept will be refined as Tentative

Tract Maps are prepared. When Grading Plans are prepared for the development of the property, tract-specific geotechnical information will further refine the concept.

According to preliminary earthwork take-off quantities conducted by the Project Engineer, approximately six million cubic yards of material will be moved. This equates to approximately 32,900 cys per graded acre for the La Laguna site. This figure may vary as final Grading Plans are developed. The Grading Plan establishes a basis for the appropriate treatment of drainage requirements and accommodates a street system that meets City of Lake Elsinore standards.



Contour Interval 25 Feet

CUT - 6,166,550 cys

FILL - 6,381,430 cys

Short - 214,880 cys

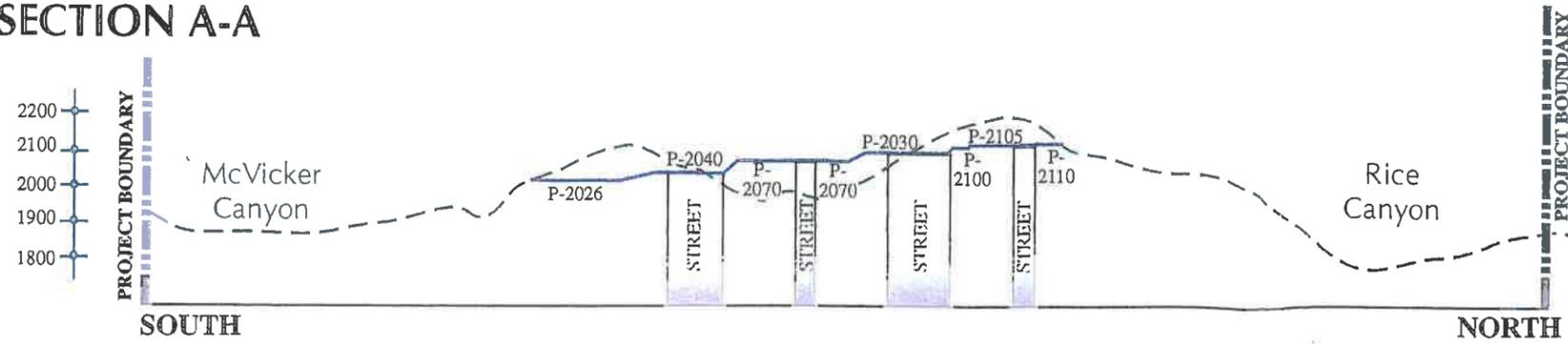


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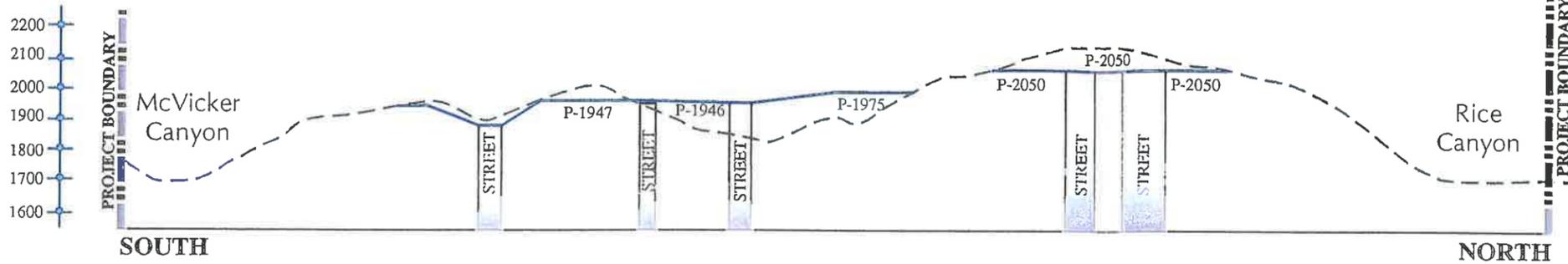
Conceptual Grading Plan

LA LAGUNA ESTATES SPECIFIC PLAN

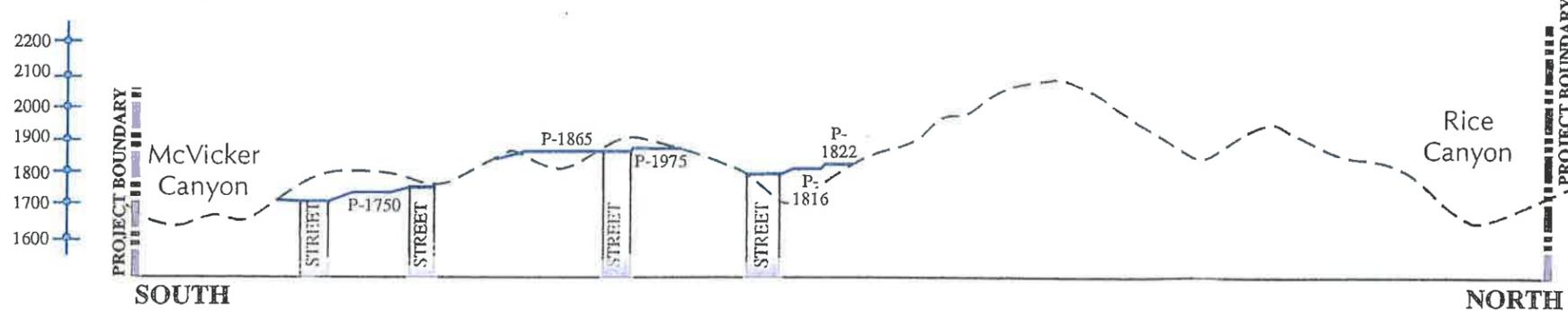
SECTION A-A



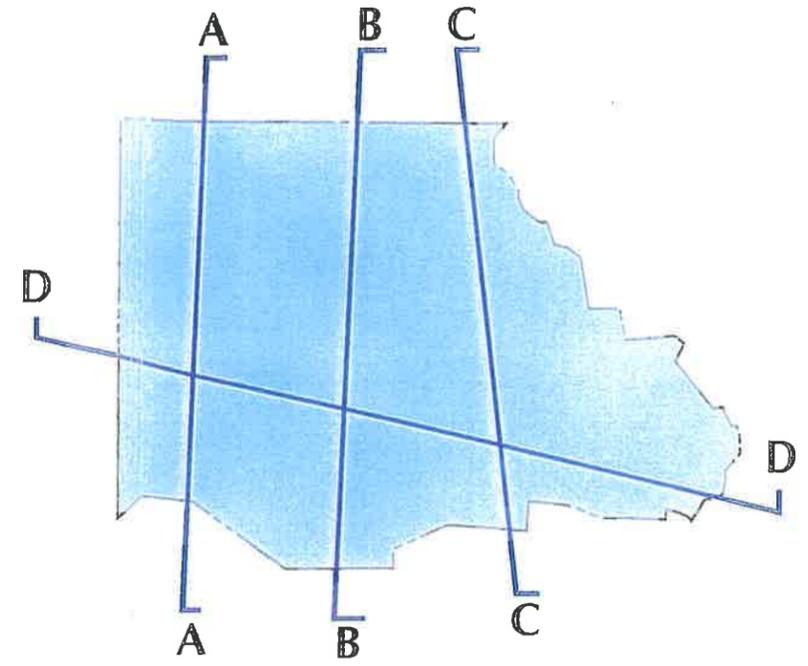
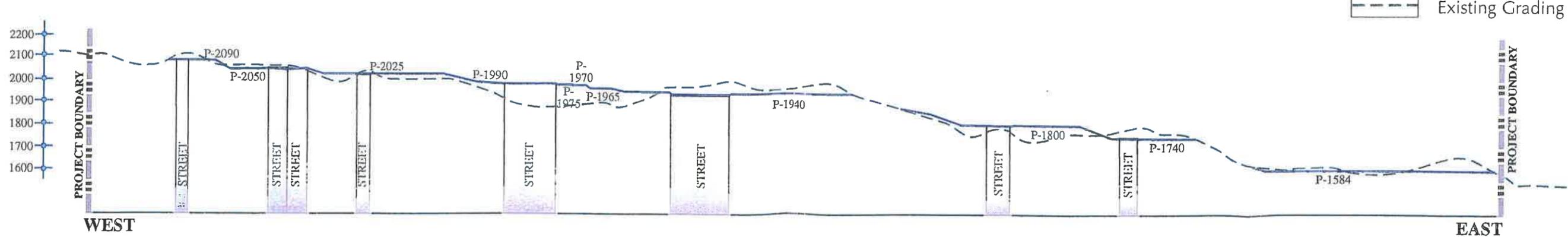
SECTION B-B



SECTION C-C



SECTION D-D



KEY MAP  not to scale

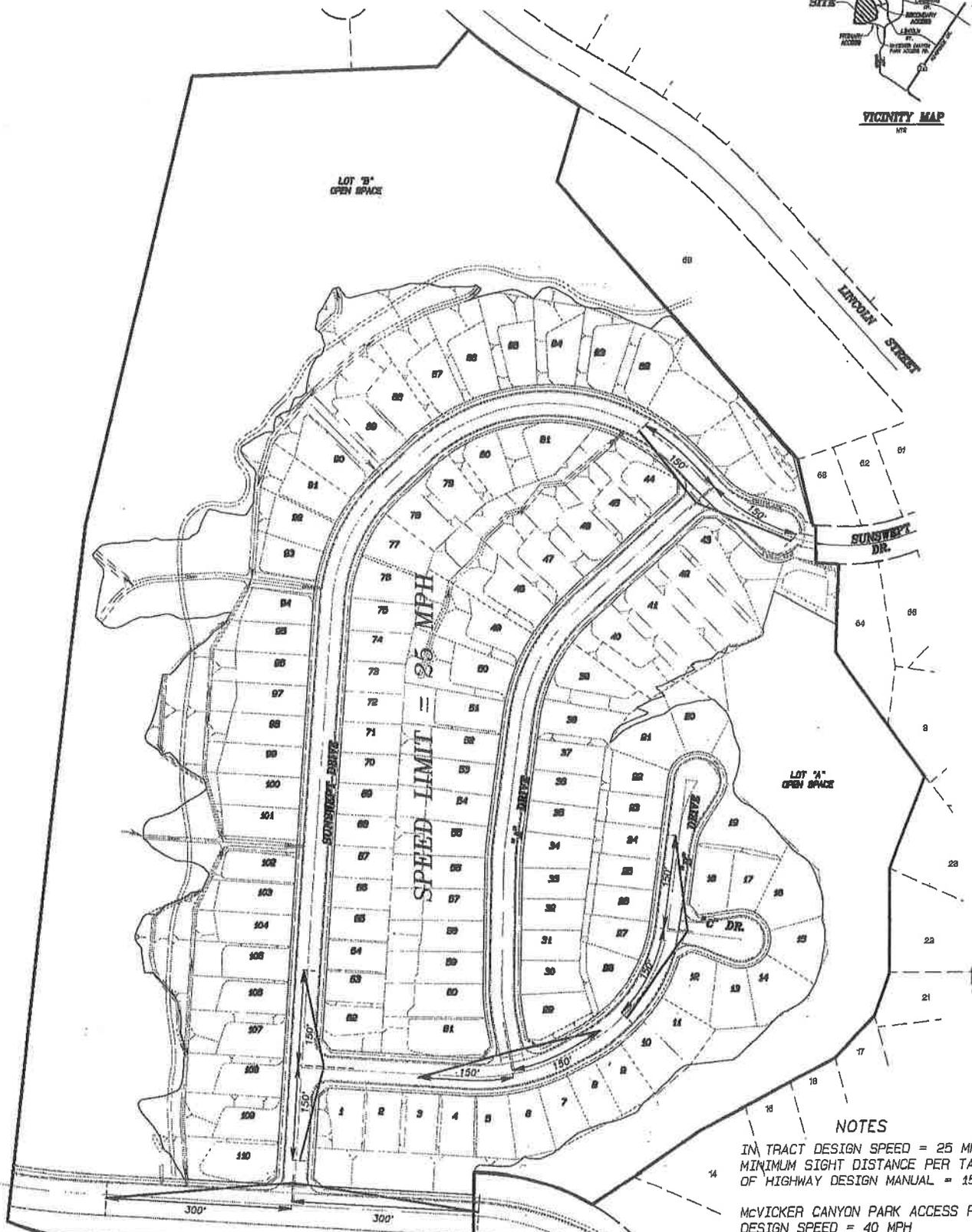
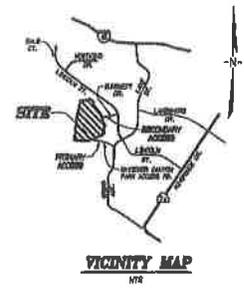
Key Map Provided For Conceptual Purposes Only

LEGEND

-  Proposed Grading
-  Existing Grading

 not to scale

Conceptual Grading Cross Sections



NOTES

IN TRACT DESIGN SPEED = 25 MPH
 MINIMUM SIGHT DISTANCE PER TABLE 201.1
 OF HIGHWAY DESIGN MANUAL = 150'

McVICKER CANYON PARK ACCESS ROAD
 DESIGN SPEED = 40 MPH
 MINIMUM SIGHT DISTANCE PER TABLE 201.1
 OF HIGHWAY DESIGN MANUAL = 300'

SPEED LIMIT = 40 MPH

McVICKER CANYON
 PARK ACCESS RD.

SIGHT DISTANCE EXHIBIT
TRACT NO. 30788

DATE	BY	CHKD.	DATE
10/15/08	W. J. WILSON	W. J. WILSON	10/15/08
10/15/08	W. J. WILSON	W. J. WILSON	10/15/08
10/15/08	W. J. WILSON	W. J. WILSON	10/15/08

3.3.2 Hillside Grading Guidelines and Standards

- a. Hillside development should be designed to blend proposed structures with the natural environment. The scale, form and surface texture of architecture should complement the character of the hillside.
- b. The design of sites should minimize required setbacks and evaluate the potential to reduce street width to minimize grading. Because hillside conditions are so varied, flexibility should be afforded to the developer through the site plan review process in siting structures within a hillside development in order to achieve the most sensitive design.
- c. Single family detached homes, with a mix of large and smaller lots, is encouraged to provide architectural variety, a mix of housing types and sizes, and to preserve open space by means of clustering homesites.
- d. Uniform stair-stepping of building pads is discouraged.
- e. Colors of structures should blend within the natural colors of the hillsides. However, a harmonious combination of color and material should be used. Surface textures should be rough to blend with the coarseness of the natural vegetation.
- f. Roof colors should be darker tones. Bright colors should be avoided.
- g. Fence and wall design should be coordinated with the design of structures within the development to be consistent throughout each project and meet applicable City Municipal Code standards at the time of construction. This requirement is also noted in this document in Sections 5.2.6 and 5.3.7.3.
- h. Roads should be designed to reflect natural grades where feasible. Long stretches of straight roads should be avoided.
- i. The reduction of grading should be evaluated in designing the alignment and widths of roadways. Split roadway sections may be appropriate.
- j. Panoramic views from hillside development and hillside roads should be encouraged. Trees within the proposed landscape design for development should be positioned to allow selective views while partially screening buildings.
- k. Scenic pocket views of hillside development should be created from lower elevations of the community. These views should be visually pleasing.
- l. Sensitive slope areas, landslide areas or areas of biological and aesthetic sensitivity should be maintained as natural open space.
- M. Placement of structures should respond in general to the natural topography. Structures should be placed on a site to provide a variety of

roof pitches to avoid monotonous application.

- N. A Homeowners Association shall be established which will be responsible for maintenance of slope areas, streetscape, neighborhood and development monumentation and other areas which are utilized as permanent open space or public view areas.
- O. Rounded and smooth transition forms should be encouraged. When slopes cannot be rounded during slope reconstruction, vegetation should be utilized to reduce the potential sharp or angular appearance of the restored slope.
- p. Manufactured slopes should be varied to avoid flat-planed surfaces.
- q- Manufactured slopes should be landscaped by the Developer prior to completion of the project. Plant materials to be utilized in slope planting should be drought-tolerant or native plant species as defined by the hillside development ordinance. These materials should be in compliance with the Specific Plan's adopted landscape design guidelines. Plant material should be placed in broad informal masses to reduce the impact of grading.
- r. Landscaping should be located in a manner which allows for views from houses within the development while softening the appearance of grading, roads and structures from the community's view.
- s. Grading Plans for all projects shall comply with City of Lake Elsinore Grading Code. All manufactured slopes over 30 feet in vertical height shall be contour-graded.
- t Grading will be permitted outside of the area of immediate development when it is consistent with an approved grading plan. Stockpile and borrow sites may be permitted within the areas scheduled for future development, subject to an the approval process of a Subdivision Map, or Conditional Use Permit.
- u. The Developer must provide a report prepared by a Licensed Engineering Geologist and Soils Engineer as the basis for the Grading Plan. The report is to document methods for providing a safe and stable development.
- v. No grading greater than 500 cubic yards shall be permitted prior to the approval of a Grading Plan and issuance of grading permit.
- w. To limit erosion, grading shall be phased and limited as much as possible.
- x. Revegetation of cut and slopes shall be required according to the Specific Plan's Landscape Guidelines.
- y. Manufactured slopes shall be contour-graded or screened by landscaping in accordance with the following:

- Toes and tops of slopes of all slopes in excess of ten (10) feet in vertical height and visible from public areas shall be rounded when feasible with curves in proportion to the total height of the slope.
 - Any dwelling unit shall be located a minimum of ten (10) feet from the toes and tops of all slopes which are over ten (10) feet in vertical height.
 - The angle of graded slopes which are visible from public areas shall be gradually adjusted to the angle of adjoining natural terrain.
 - Graded slopes shall be vegetated and shall reflect the form of existing contours.
- z. Except for road and utility construction in accordance with approved plans, grading greater than 500 cubic yards is prohibited until a tentative tract or parcel map has been approved for the area. Grading for borrow or disposal of earth purposes outside of tract boundary may be approved by Planning Commission provided plans conform to approved plan for the adjacent area and/or residents and landowners in the area have been advised in advance.
- aa. Grading Plans shall include mitigation measures that reduce to acceptable safety levels underground water seepage which may occur because of increased irrigation and/or landform alteration.
- bb. The project's overall drainage system shall be completed and operational at the earliest practical time as determined by the City Engineer.
- cc. Interceptor ditches shall be established only where necessary above cut/fill slopes; the intercepted water shall be conveyed to a stable channel or natural drainageway with adequate capacity.
- dd. Roads shall be designed so that water on roadways is prevented from flowing off of the roadway in an uncontrolled fashion.
- ee. Natural drainageways shall be riprapped or otherwise stabilized below drainage and culvert discharge points for a distance sufficient to minimize channel erosion.
- ff. Runoff from areas of concentrated impervious cover (i.e. driveways, roads, roofs) shall be conveyed to a natural drainageway or drainage structure with sufficient capacity to accept the discharge without undue erosion. The effects of new drainage patterns on existing systems shall be accounted for in the design of the project drainage plan.
- gg. Sediment catchment basins and other erosion/siltation control devices shall be constructed and maintained in accordance with an overall erosion control plan approved by the City Engineer or designee.

- hh. Hillside areas with potential for high fire hazard, as determined through the environmental review process, shall be designated as such and appropriate fuel modification zones shall be established to reduce fire hazards pursuant to the requirements of the Fire Department. Maintenance of fuel modification zones shall be the responsibility of the master homeowners association.
- ii. Access to natural open space shall be limited, with access carefully managed to prevent disruption of the area's natural values.
- jj. Prior to the issuance of grading permits, evidence shall be provided to the City Community Development Department that the rock and gravel quarry activity has been terminated.
- kk. Conflicts will be minimized between public access to public resources and the need to provide privacy for the residents.
- ll. As determined by the Planning Department at the time of Tentative Map application the following documents and exhibits may be required:
- Elevation and View Analysis.
 - Natural Features Exhibit.
 - ~~Site Plan.~~
 - Conceptual Grading Plan - Plan shall depict the following:
 - Areas to be left undisturbed (not graded).
 - Areas that will be graded but not developed.
 - Areas of proposed cut and fill, with depths of cut and fill indicated on the exhibit.
 - Contour intervals of ten feet for existing and proposed grades.
 - Quantities of cut and fill indicated on the exhibit.
 - Slope Profiles.
 - Cubic Yards of Earth Moved (cut and fill) per Graded Acre (on- and offsite).
 - Conceptual Drainage and Flood Control Plan.
 - Conceptual Landscape Plan.
 - Geotechnical and Soils Report.
 - Project/Community Features Exhibit.

3.4 RECREATION/OPEN SPACE PLAN

3.4.1 Plan Description

The recreation/open space concept for La Laguna is depicted in **Exhibits 13a and 13b**. The intent of this plan is to provide for natural and manmade features in the design of the project. These areas are well integrated into the community to provide physical separation, buffer zones and transitions between areas of development.

3.4.2 Preservation of Views and Hillsides

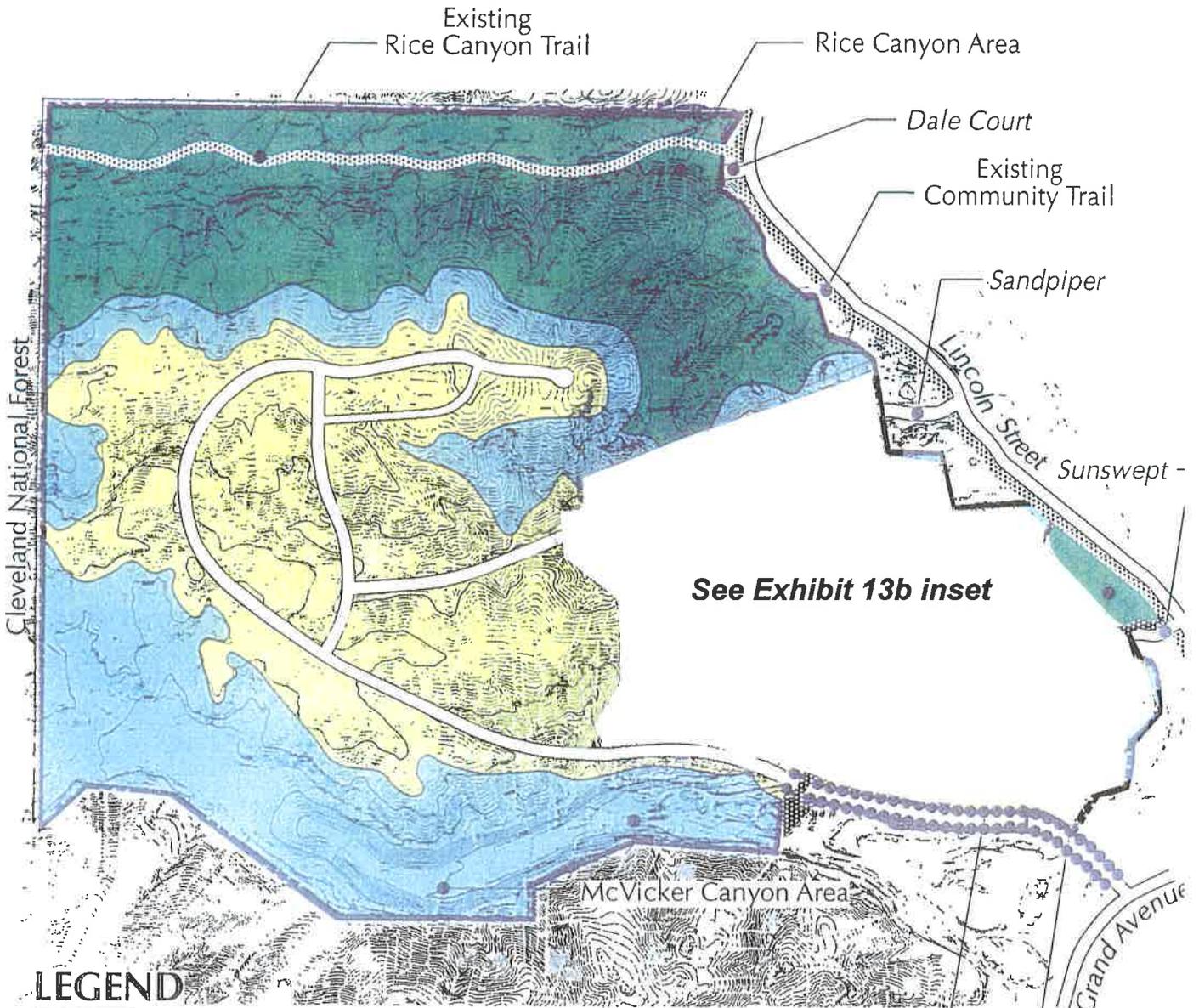
Opportunities for the creation of view planes, as those identified in **Exhibit 14, Opportunities and Constraints**, shall be implemented in order to create broad expanses of open area to allow for clear vistas of distinctive views and prominent landforms, the lake and other scenic features, framed by landscaping at an appropriate scale. A primary concept of view control on the La Laguna community is to retain significant views from the site of the surrounding areas while at the same time, lessening the visual impact of urban development on the adjacent areas. Hillside grading will incorporate contouring and rounding techniques to enhance and reinforce the natural characteristics of the surrounding hillsides and to assure aesthetically pleasing on-site and off-site views. It is the goal of the Developer to maintain the serenity and natural character of open space, as it is a major asset not only to the City but to the residents of La Laguna as well. Carefully sited planting masses with controlled height characteristics placed between structures and the top of slopes can allow views from structures to below. Use of earthtones and other colors coordinated with the existing landscape, as well as architectural styles utilizing conceptual themes and forms, lessen the visual impacts of architectural edges.

3.4.3 Fuel Modification

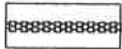
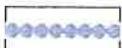
Fuel Management Zones will be created at the interface between natural open space and developed areas. Graduated decreases in native plant densities and the substitution of fire resistant plants near development areas shall be provided in favor of standard fire breaks. The pattern of vegetation removal and introduction will be consistent with these principals and those of wildlife habitat conservation.

Plant materials chosen and their distribution will be consistent with the Plant Palette and subject to the approval of the Fire Chief. Fuel modification zones will be established according to development in the following way:

Primary Zone: The primary zone of fuel modification are the development areas defined by the extent of grading and right-of-ways for road alignments. When development occurs, these areas will be revegetated at a minimum of 100 feet wide using irrigated plant materials in development areas along with the introduction of fire resistant and drought tolerant plant materials. Removal of all existing ground cover/brush must occur in this area. All bare areas are to be hydroseeded and hand-planted with plants from the Plant Palette, under the direction of a Licensed Landscape Architect. In development areas where existing vegetation is retained, a program of thinning, pruning and select removal of high fuel species will be implemented.



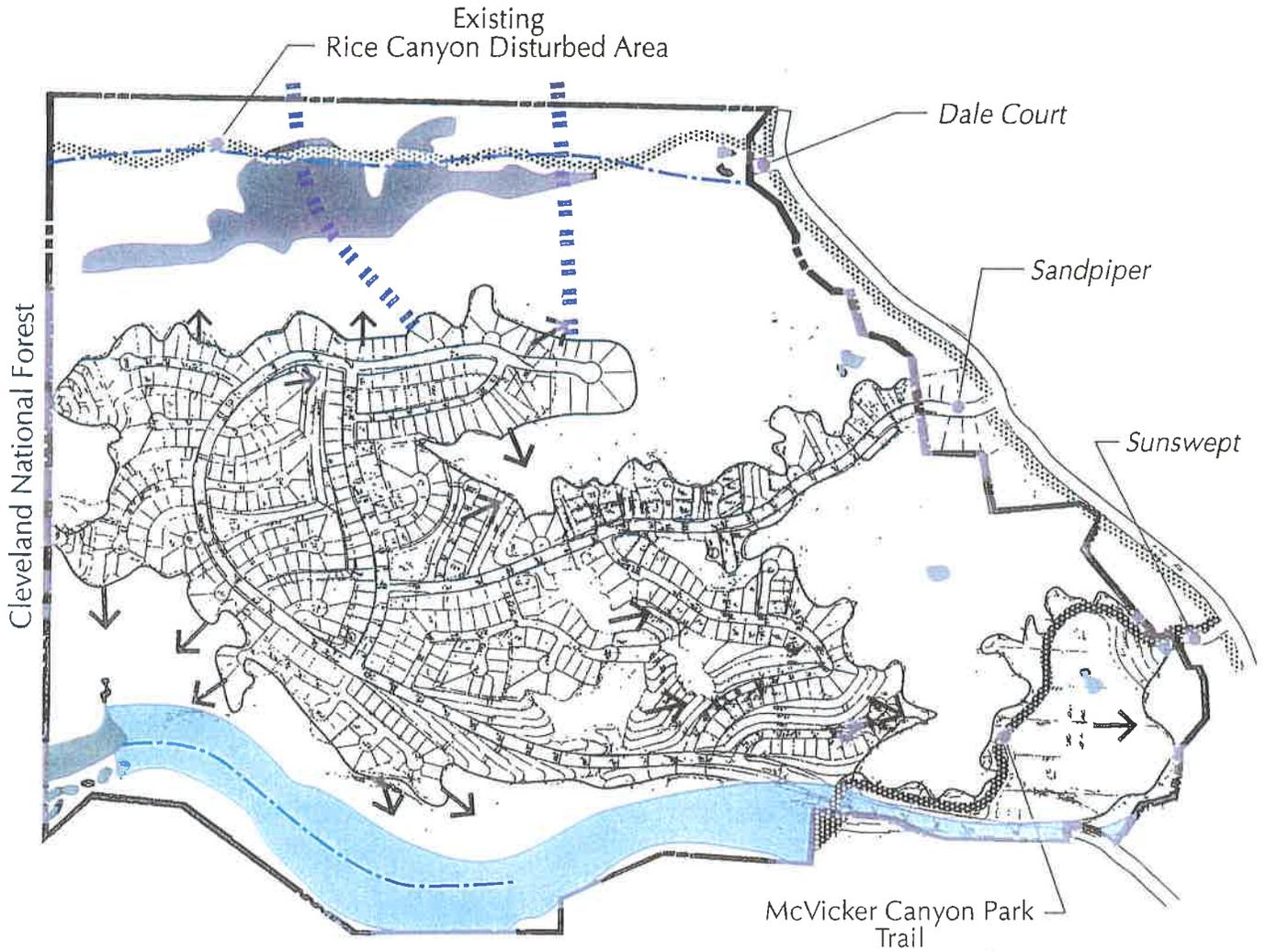
LEGEND

-  Proposed Community Trail
-  On Street Bike Path
-  Open Space
-  Natural Open Space
-  Existing Rice Canyon Trail

 not to scale

Recreation and Open Space Concept Plan

L A L A G U N A E S T A T E S S P E C I F I C P L A N



LEGEND

-  View Potential
-  Existing and Future Disturbed Area
-  Oak and Oak / Riparian Woodland
-  Potential Geologic Faultline
-  Blueline Streams



Opportunities and Constraints

LA LAGUNA ESTATES SPECIFIC PLAN

Secondary Zone: The secondary zone is defined as a 100-150 foot wide area cleared of existing ground cover/brush which surrounds the primary zone and acts as a buffer between areas of development and undisturbed open space. Within the secondary zone, the removal of high fuel species and the introduction of fire resistant materials will occur. The amount of removal and the extent of the transition to the natural landscape will depend on the plant material present, prevailing wind patterns and topography.

3.4.3.1 Fuel Modification Guidelines and Standards

- a. Prior to the issuance of any building permits, a Fuel Modification Plan and Program shall be approved by the Fire Chief. The Plan shall show the special treatment to achieve an acceptable level of risk in regard to the exposures of structures to flammable vegetation and shall address the method of removal and installation, and provisions for maintenance. The approved Fuel Modification Plan shall be installed under the supervision of the Fire Chief and completed prior to the issuance of certificates of applicable use and occupancy.

3.4.4 Natural Open Space

Preservation of open space in its natural setting is a primary element of the Plan serving as a backdrop to the residential community. Areas of natural open space within the project contain significant natural features enhancing their already significant view potential. Dense chaparral, coastal sage scrub and oak/oak riparian woodland and rugged canyons combine to create a sense of place within the canyon areas. Uses in the natural open space area are intended to be limited to preserve its character. As over one-half of the project area is devoted to open space uses, the Specific Plan sets forth regulations for protecting the natural open space. In most areas, the natural open space will be left in a natural condition with certain exceptions such as fuel modification measures.

The Specific Plan considers two categories of natural open space, Rice Canyon and other areas in the project that contain sensitive biological habitat. The following describes these two natural open space areas and provides guidelines and standards regulating their use.

3.4.4.1 Rice Canyon Area

Situated strategically to the open space area of Cleveland National Forest and surrounding residential development, Rice Canyon affords an excellent opportunity for national forest linkages. It is anticipated that the requirements for local park may be satisfied through a portion of this area.

Rice Canyon is part of the on-site natural open space area that has been proposed for preservation, dedication and/or donation to a public agency or quasi public organization with mandates for land stewardship to mitigate impacts to on-site biological resources. The Rice Canyon dedication/donation is the primary feature of the Habitat Mitigation Plan (HMP) developed as part of the Revised Environmental Impact Report. As such, only those following recreational-related uses will be allowed within the currently disturbed portion of Rice Canyon. These uses include hiking and riding trails and related

improvements, interpretive signs, environmental restoration and enhancement projects and temporary recreation related activities and structures (i.e., tents, booths, etc.). Existing uses currently located within Rice Canyon, including the water tank, water distribution mainline and unimproved maintenance access road are included within the uses and activities allowed within the existing disturbed area.

Any use which would result in the direct or indirect impact to existing undisturbed sensitive vegetation/habitat within Rice Canyon is prohibited.

3.4.4. 1. 1 Rice Canyon Guidelines and Standards

- a. Rice Canyon will be preserved largely in its natural state. Any unnatural development of Rice Canyon, will be avoided except for the aforementioned uses. Storm drain outlets will be mitigated with energy dissipation devices.
- b. The area will connect to a neighborhood trail and walkway system to facilitate access from surrounding residential projects and public facilities.
- c. The existing disturbed area which runs through Rice Canyon can provide the linkage to the Cleveland National Forest as depicted on the County's Master Plan of Trails. This area could also provide a linkage to the existing community trail along Lincoln Avenue. In order to maintain the natural ambiance of Rice Canyon and avoid impacts to the existing resources, no improvements are proposed.

3.4.4.2 Other Natural Open Space Areas

The project includes other natural open space areas outside of Rice Canyon. These areas also contain sensitive biological habitat and will be protected to the greatest extent possible. The following are guidelines and standards regulating these areas:

3.4-4.2. 1 Natural Open Space Guidelines and Standards

- a. Manufactured slopes will be maintained and owned by either the adjacent homeowner or homeowners association.
- b. Manufactured slopes that separate housing areas will have planting and/or fencing treatment to soften the transition.
- c. Slopes within transition areas and/or exposed to public view will be contoured and rounded to enhance and reinforce the natural characteristics of the site.

3.4.5 Open Space

Open space areas proposed by the project will be used to provide open space and other recreational activities. These areas are NOT characterized by sensitive biological habitat and do not require preservation per the project's HMP. Proposed open space areas include McVicker Canyon and other open space areas.

3.4.5.1 McVicker Canyon Area

The McVicker Canyon area is presently being used as a quarry operation and will continue operations for 10 years. The operation has eliminated all vegetation and habitat value from most of the canyon. Improvements to the area will be provided by establishing approved uses subject to approval by a Conditional Use Permit as identified in Section 4.3.

3.4.5.1.1 McVicker Canyon Guidelines and Standards

- a. The McVicker Canyon Park area will connect to a neighborhood trail and walkway system to facilitate access from surrounding residential projects and public facilities.
- b. The parkland requirement for La Laguna has been calculated in Section 3.8.3. The exact configuration of parkland to satisfy this requirement will be handled during the subdivision process and shall be subject to approval by the Planning Commission and City Council.

3.4.5.2 Other Open Space Areas

As discussed previously, these areas will be used to provide open space and other recreational activities. A multi-purpose community trail will be provided within these areas. A multi-purpose community trail will be provided as a link from the existing community trail to McVicker Canyon Park and Oak Tree Park as depicted in **Exhibit 13b**. The Community trail will be built per City standards which include a 10-foot wide dirt and gravel trail fenced with pressure-treated lodgepole pine.

Guidelines and standards regulating use of these areas are contained in Section 4.3 of this document.

3.5 DRAINAGE PLAN

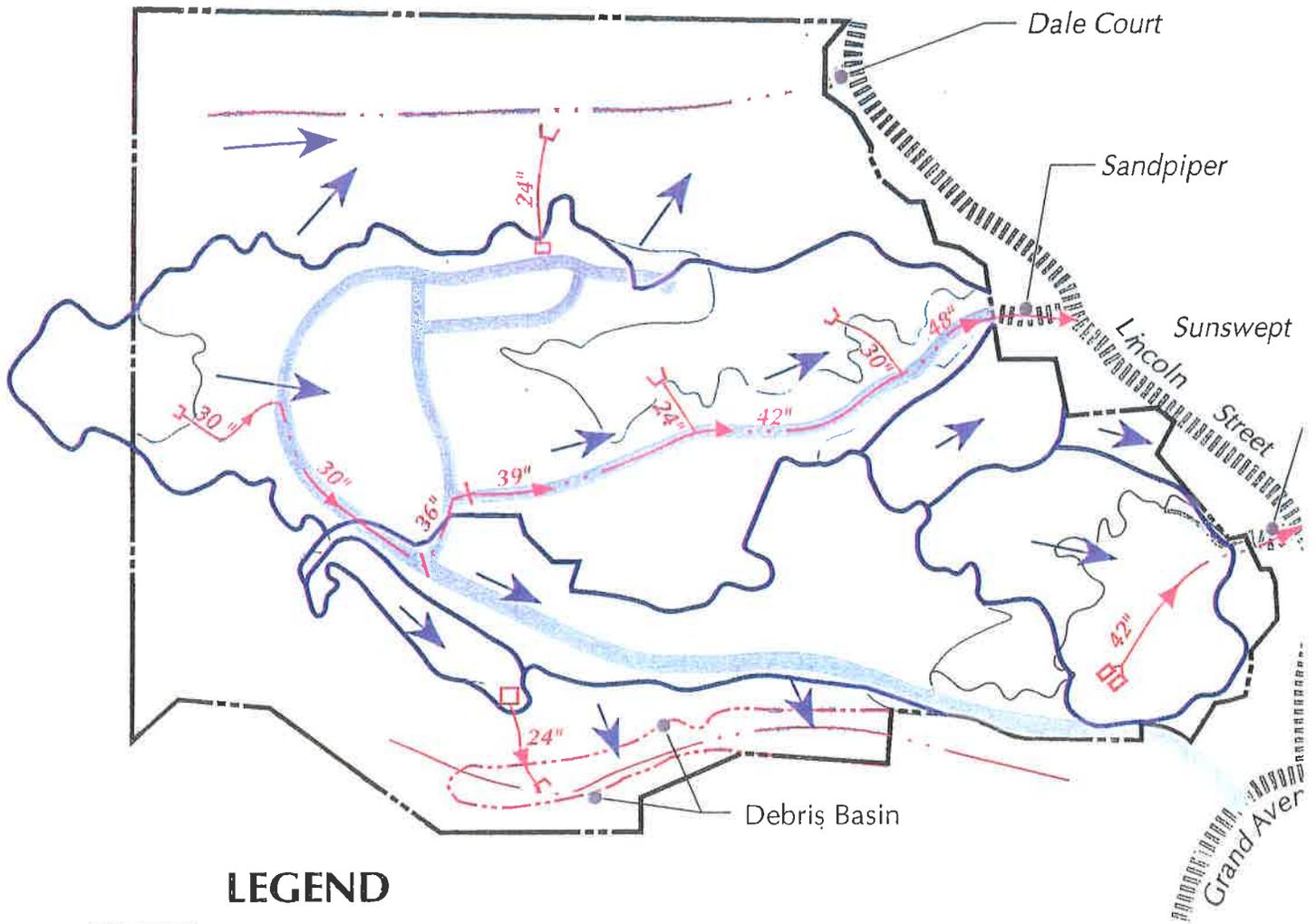
3.5.1 Plan Description

The site is under the jurisdiction of Riverside County Flood Control District (RCFCD). Several District operated drainage facilities existing within the West Lake Elsinore Drainage Plan include the Leach Canyon Channel, the South Riverside Channel, the Laguna Storm Drain and the Four Corners Storm Drain. The improvements within the Assessment District 88-3 have been constructed and will serve to collect and control storm flows emanating from the La Laguna project and major canyons. The facilities provide the area with significantly improved drainage and protection from the 100-year flood. Within the Assessment District, the drainage plan consists of a debris basin in McVicker Canyon and a system of open channels and underground storm drains. Drainage facilities have been constructed in conjunction with CFD 88-03, as well as improvements in the adjacent Centex property as Tract 24624 were designed to be sufficient to include the La Laguna site at build-out.

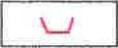
Within La Laguna, drainage improvements as shown in **Exhibit 15**, the Master Drainage Plan, include 24" to 48" storm drain lines.

3.5.2 Drainage Guidelines and Standards

- a. Any natural drainage diverted or concentrated onto adjacent property will require a letter of drainage acceptance from the affected property owners prior to the recordation of final map or issuance of precise grading permit, whichever comes first, and if determined necessary by the Engineering Department.
- b. Drainage structures required on large slopes shall be designed to avoid an angular layout or rigid geometric patterns.
- c. A Storm Water Pollution Prevention Plan (SWPPP) and an Erosion Control Plan shall be required for each implementing tract map. Approval of these plans shall be required prior to the issuance of grading permits.
- d. The developer shall be responsible for implementation and maintenance of the SWPPP and Erosion Control Plan.



LEGEND

-  Direction of Flow
-  Size of Storm Drain
-  Catch Basins
-  Inlets / Outlets
-  Drainage Boundaries
-  Direction of Drainage
-  not to scale

***Drainage Facilities
Master Plan***

LA LAGUNA ESTATES SPECIFIC PLAN

3.6 WATER AND SEWER PLANS

3.6.1 Plan Descriptions

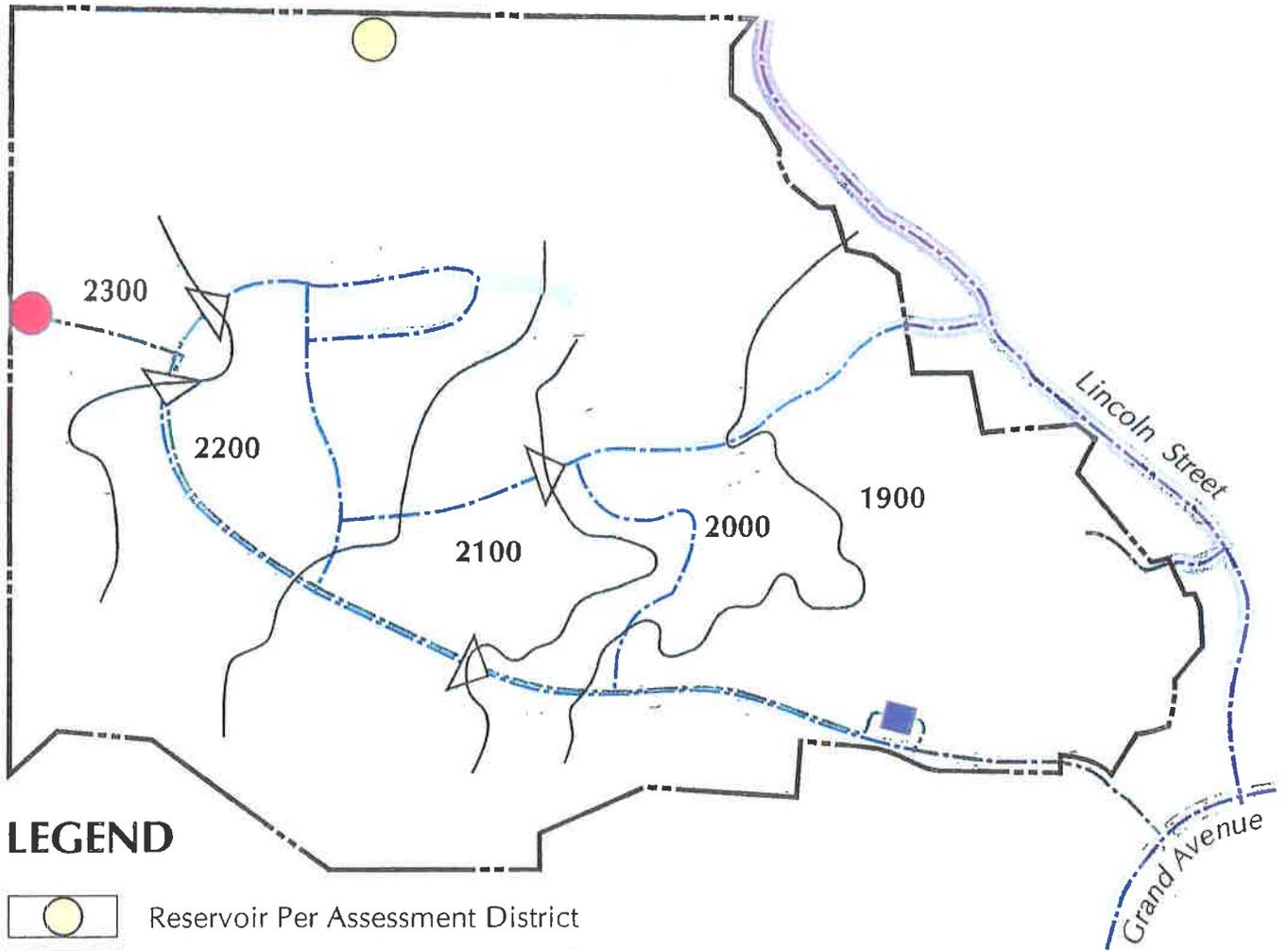
The La Laguna Estates Specific Plan is located within the jurisdiction of the Elsinore Valley Municipal Water District (EVMWD) for water and sewer services. The EVMWD obtains a portion of its water supply from the Western Municipal Water District. Currently the District has approved several water mains off site as part of the Assessment District.

The proposed Water Facilities Master Plan, as identified in **Exhibit 16**, shows the existing and proposed water mains. To properly service the site, three 12-inch water lines are required. Other smaller water lines will also be necessary in local interior streets within the project to provide water service to internal lots. To mitigate project impacts on the City's water system, one 1.0 million gallon reservoir and a booster pump station will be constructed to serve the La Laguna residents.

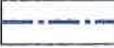
The Sewer Facilities Master Plan for La Laguna is shown in **Exhibit 17**. There are currently no sewer lines located within the Specific Plan area. However, sewer lines have been extended into the area from sewer lines located immediately adjacent to the site. The major facility planned for the area is located within the collector and local road systems. This facility will sewer the entire service area and convey raw wastewater to the adjacent sewer systems and eventually lead to the Elsinore Valley Wastewater Treatment Plant.

3.6.2 Water and Sewer Guidelines and Standards

- a. All water and sewer lines shall be placed underground.
- b. All lines will be designed per EVMWD standards for water and wastewater service to La Laguna Estates.
- c. The infrastructure system will be installed to the requirements of the City of Lake Elsinore Engineering requirements as specified in the Municipal Code.
- d. Water and sewerage disposal facilities shall be installed in accordance with the requirements and specifications of the Engineering Department.
- e. All structures shall be designed to incorporate all state and local water conservation regulations, subject to the approval of the Chief Building Official.



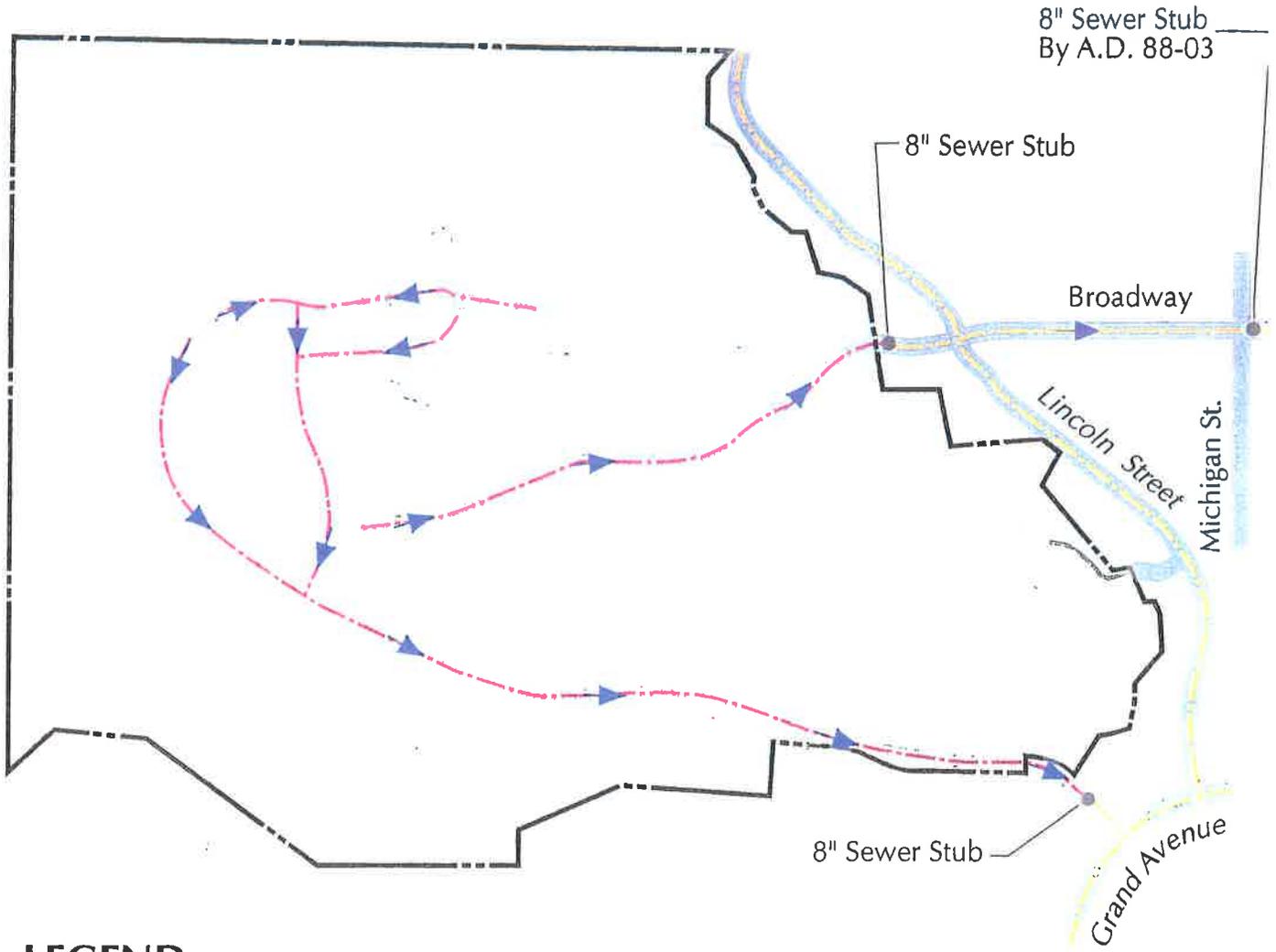
LEGEND

-  Reservoir Per Assessment District
-  Proposed Reservoir Site - 1 Million Gallon
-  Hydraulic Grade Elevation
-  Water Mains Per Assessment District or Others
-  Proposed 8" Waterline
-  Proposed 10" Waterline
-  Proposed 12" Waterline
-  Proposed Pump Station
-  Pressure Reducing Stations

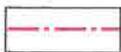
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Water Facilities Master Plan

L A L A G U N A E S T A T E S S P E C I F I C P L A N



LEGEND

-  8" Sewer Line
-  Direction of Flow
-  Existing Sewer

 not to scale

Sewer Facilities Master Plan

LA LAGUNA ESTATES SPECIFIC PLAN

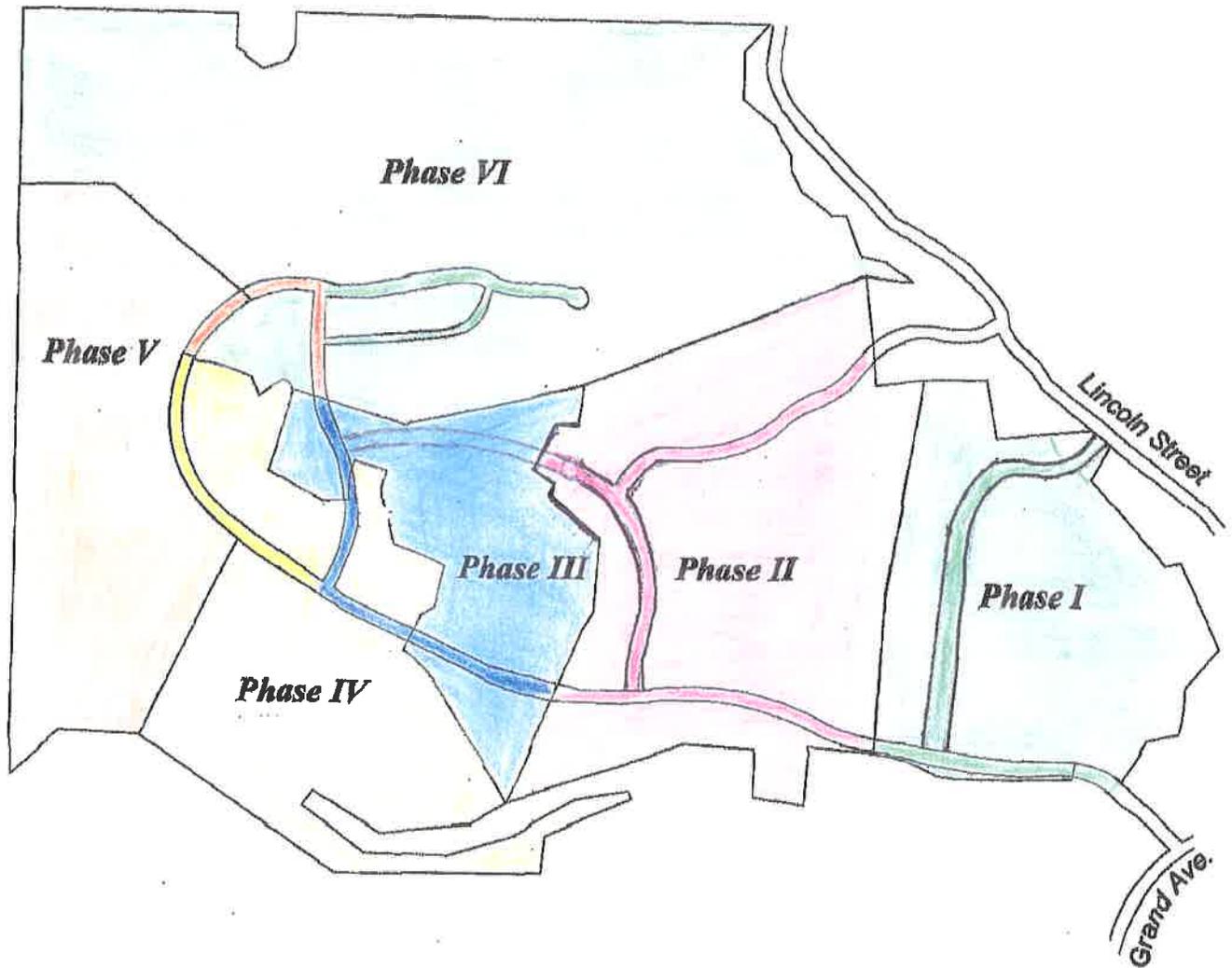
3.7 PHASING PLAN

3.7.1 Plan Description

The development of La Laguna Estates in accordance with the provisions of the Development Agreement may be phased in response to market demands and a logical and orderly extension of roadways and infrastructure. Actual construction starts and occupancy will be dictated by market forces and the requirements of the individual property owner and developers. Revised **Exhibit 18** depicts the planned phasing of project development within the Specific Plan Area.

3.7.2 Phasing Guidelines and Standards

- a. Prior to approval of the Tentative Tract Map for each phase, the Applicant shall provide the City with a Detailed Phasing, Improvement, and Financing Plan. Said Plan shall describe all on- and off-site roadway and utility improvements and public services necessary to accommodate buildout of that particular tentative tract map and phase. Said Plan shall also describe when the improvements and public services will be provided, how they will be maintained, and recommend feasible funding mechanisms and sources.



** Preliminary, Subject to change as Development will be phased over a period of fifteen years per development agreement in response to market demands and a logical extension of roadways and infrastructure.



not to scale

Phasing Plan

LA LAGUNA ESTATES SPECIFIC PLAN

Amendment No. 1

3.8 PUBLIC SERVICES PLAN

3.8.1 Police and Fire Service

The Riverside County Sheriff Department currently provides law enforcement services for the City of Lake Elsinore on a contract basis. The Lake Elsinore Sheriff Station is located at 117 South Langstaff Street in Lake Elsinore.

The California Department of Forestry and Fire Protection, Riverside County Fire Department, currently provides fire protection and emergency medical services to the project area. Existing fire stations in the area are Station No. 38 at 29405 McVicker Rd. at the project area, Station Number 10, located on Graham Street; and Station Number 11, in Lakeland Village.

Fire breaks, buffers and/or fuel modification zones will be required where lots are adjacent to permanent open space areas or public lands.

3.8.2 School

Located in the service area of the Lake Elsinore Unified School District (LEUSD), the developer shall meet its obligations under state law to satisfy any valid and lawful fee, dedication or other requirement levied by the School District against the developer per provisions in the Development Agreement. Based on the City requirement listed in the General Plan, school generation rates can be estimated as shown in the following table:

TABLE 3

STUDENT GENERATION RATES

<u>Dwelling Units</u>	<u>Student/Dwelling Unit</u>	<u>Students Generated</u>
660 SFDElementary	.583	385
660 SFDJunior High	.085	56
660 SFDHigh School	.115	76
Total Students		517

Approximately 517 students will be generated at build out of the La Laguna property. The EIR for the property analyzes the impact of the development of schools and shall be reviewed in conjunction with this Specific Plan.

3.8.3 Parks

The City's current park standard is dedication of land or payment of fees for park land commensurate to 5 acres per 1,000 population. Based on a persons per dwelling unit ratio, the following is the required parkland dedication requirement for La Laguna Estates. Final densities and dwelling units may change depending upon current market trends.

TABLE 4

PARKLAND DEDICATION

Parkland Requirement

Dwelling Units	Persons/Household	/Du	in AC/\$
660 Single Family Detached.3.22	1,600.....	10.65/\$1,058,274	

A total of 10.65 acres of land or payment of fees for not less than \$1,058,274 would be required at buildout of the project with the issuance of building permits. Parkland shall be accessible via a public roadway or trail to enable access for pedestrians, equestrians or bicyclists. Access will also be made available for emergency/law enforcement purposes.

The Developer shall pay all required parkland dedication in-lieu fees at the time of issuance of building permits, less any credits for land dedicated or fees previously paid by the developer for parkland or park improvements that have been placed in the McVicker Canyon Park Site Account as stated in the Development Agreement. The developer shall also provide approximately 140 acres of natural open space

4.0 DEVELOPMENT STANDARDS

Development standards for La Laguna have been established to provide criteria for the development of La Laguna. These development standards will insure a coordinated, comprehensive project, which results from large scale community planning and development.

These development standards supersede all applicable City ordinances and codes and during the term of the Development Agreement shall be deemed to be the "Applicable Law of the Project."

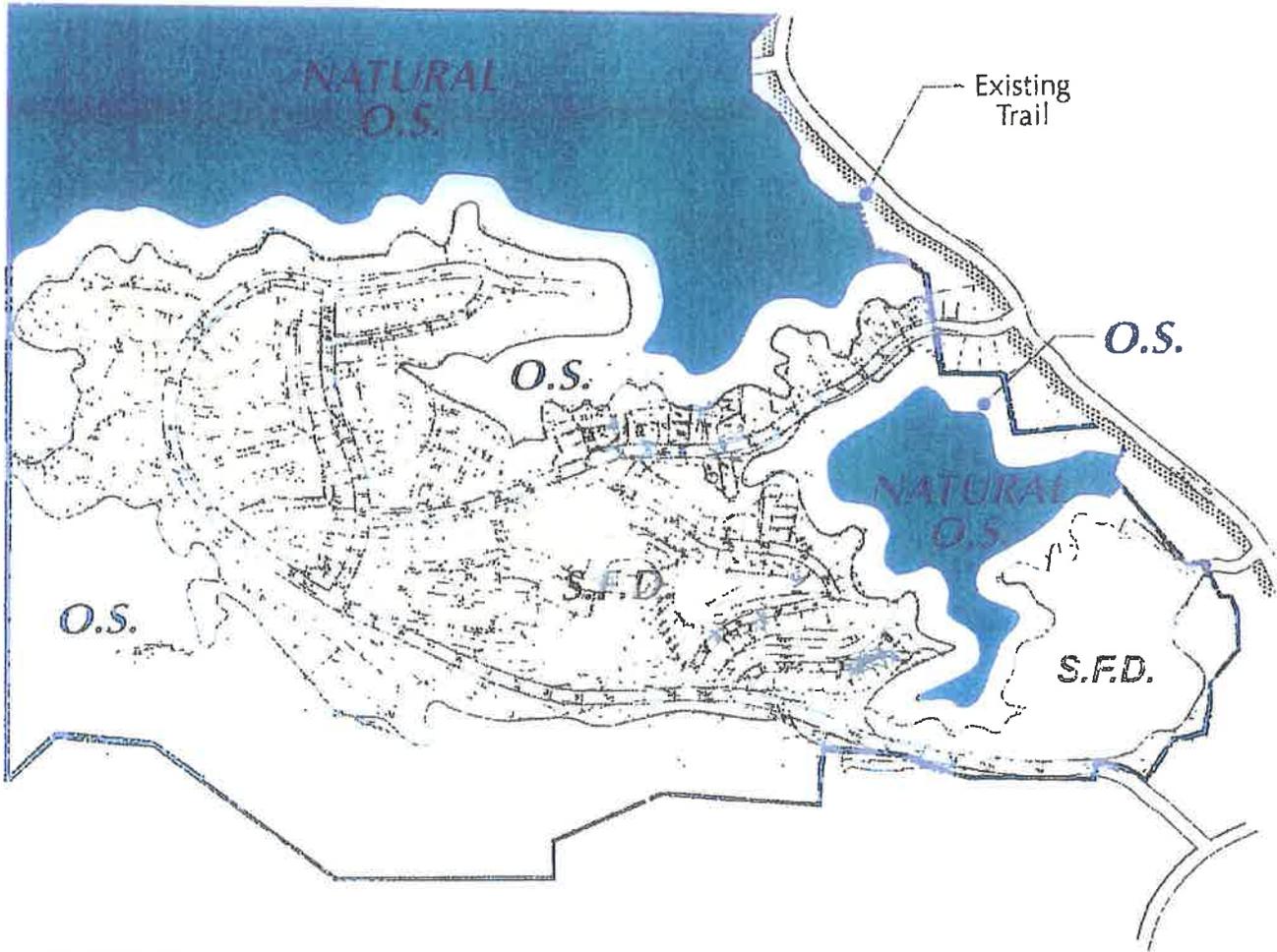
All subsequent development plans, design review plans, subdivision maps, grading permits, building permits or any other action requiring ministerial or discretionary approval will be required to substantially comply with these development standards. Those standards that are silent and are not specifically addressed in this document or the Development Agreement will revert to the City of Lake Elsinore Zoning and/or Municipal Code in effect at the time future projects are proposed. Exhibit 19 shows the Specific Plan land use designations for La Laguna. Each land use designation contains regulations and requirements in developing particular uses within the community. This section provides the specific development and density standards and regulations that will be applied for each type of development permitted within the La Laguna Estates Specific Plan. Unless otherwise stated, the Specific Plan will be the zoning document for the uses identified in the Specific Plan.

4.1 SINGLE FAMILY DETACHED RESIDENTIAL (SFD)

Single-family detached residential uses occupy 188.5 acres or roughly 38% of the La Laguna area. Minimum lot sizes within La Laguna will be 4,700 square feet with corner lots being a minimum of 5,000 square feet in Planning Area 1, and 6,000 square feet with corner lots being 7,700 square feet in all other planning areas. This equates to approximately 3.51 single family detached dwelling units per acre. The minimum lot sizes are necessary to implement the Development Plan contained in the approved Development Agreement and to minimize hillside grading.

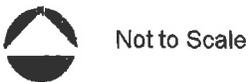
4.1.1 Permitted Uses

- a. Single-family detached dwelling units; one dwelling unit per building site.
- b. Accessory uses and structures as identified in the following section.
- c. Temporary uses and structures as identified in the following Section.
- d. Small family daycare and residential care facilities pursuant to Chapter 17.16 of the Zoning Code.



LEGEND

-  Single Family Detached
-  Open Space
-  Natural Open Space



Land Use Designations

**LA LAGUNA ESTATES SPECIFIC PLAN
Amendment No. 1**

4.1.2 Permitted Temporary Uses

The following temporary uses are permitted in the SFD Residential Area subject to the approval of the Community Development Director:

- a. Temporary on-site construction offices, including trailers and the storage of landscaping and building materials related to construction activities.
- b. Model homes and temporary real estate offices located within a subdivision.

4.1.3 Accessory Uses and Structures Permitted

The following accessory structures and uses incidental to any of the above uses shall be permitted in the SFD Residential Area:

- a. Arbors, trellises, patio covers, gazebos and similar shade structures of open construction.
- b. Decorative and masonry fences and walls to a maximum of 6 feet in height.
- c. Real estate signs, flags, future development signs, and directory signs, as permitted by the City Municipal Code.
- d. Swimming pools and spas.
- e. Home occupations (in accordance with Section 17.15 of the Lake Elsinore Municipal Code).
- f. Pedestrian and bicycle trails.
- g. Fences, hedges and walls constructed as acoustical barriers, pursuant to an approved acoustical engineer's report, shall have no height limit
- h. Mailboxes.

4.1.4 Uses Subject to a Conditional Use Permit

It is recognized that certain uses while similar in characteristics to the above permitted uses may have the potential to impact surrounding properties and therefore require additional discretionary approval and consideration. Uses permitted subject to approval of a use permit, pursuant to Chapter 17.74 of the Zoning Code, in the SFD Residential Areas shall be as follows:

- a. Large family daycare homes in compliance with the provisions of Chapter 17.16 of the Zoning Code.

- b. Keeping of exotic animals or birds, or more than three (3) dogs and/or cats, on the same lot as a permitted dwelling for pets only and not for commercial purposes. The Planning Commission shall impose adequate limitations to assure that the residential character of the property and neighborhood are maintained.
- c. Horticultural uses, including growing of fruit, nuts, vegetables, and ornamental plants for commercial purposes.
- d. Tennis and racquet courts.

4.1.5 SFD Standards

The development standards for development within the SFD Residential areas are outlined below and the following development standards shall apply except as otherwise established by an approved variance. Amendment No. 1 includes provisions that allow reduced yard setbacks under specified conditions, and establishes a minimum dwelling size.

CHAPTER 17.23

<u>Category</u>	<u>Zoning Code</u>	<u>Specific Plan</u>
-----------------	--------------------	----------------------

<i>Lot Area</i>		<i>Ph. 1/Ph. 2-6 Only</i>
A. Interior Lots..	6,000 s.f.	4,700*/6000 s.f.
B. Corner Lots	7,700 s.f.	5,200/7200s.f

Street Frontage Width

<i>Interior Lots</i>	60'	50'/60'
<i>Corner lots</i>	65'	55'/65'
<i>Knuckle/cul-de-sac</i>	40'	40' All Phases
**Flag lots	25'	25' All Phases

*The minimum lot size in Planning Area 1 shall be 4700 square feet with an average lot size of 7,580 square feet.

**Provided the average width of the principle portion of the lot is 60'

Setbacks

A. Front yard		
Main dwelling	20'	***20'/20'
Garage	20'	****20'/20'

***A setback of no less than 10 feet may be used provided architectural designs are substantially upgraded.

****A setback of no less than 17 feet is allowed for garages that install roll-up doors.

- B. Side yard**
 Main dwelling and interior lot lines5'5' All Phases
 Public ROW.....15'15' All Phases
- C. Rear yard**
 Main dwelling20'18' Phase 1 Only/ 20' All Phases
- Lot Coverage* 50% All Phases
Building Height30' All Phases
Minimum dwelling unit size.....1,000 s.f. living area/1,400 s.f. overall

Minimum dwelling unit size will be 1,400 square feet. To insure a diverse mix of units, 20% of the total units will exceed the minimum dwelling unit size by 15%.

Projections into Required Setbacks Eaves, chimneys, balconies and other similar architectural features may project a maximum of 3 feet into any required front, rear or side yard area. Covered patios, trellis or canopies unenclosed on at least two sides, shall be setback a minimum of 5 feet from the rear and side yard setback.

Fences and Walls Within front setback, 3.5 feet maximum. Within other setback areas, the maximum height shall be six feet except that this may be exceeded when higher walls are required for the purpose of noise mitigation or for other health and safety reasons. Specific wall

Parking 2 covered spaces per dwelling unit minimum.
Cul-de-sac Length A maximum cul-de-sac length of 1,000 feet shall be allowed in SFD Residential areas.

4.2 OPEN SPACE

This Section includes land designated on the Land Use Plan as open space. A substantial amount of the La Laguna project is designated for open space uses. Approximately 140.3 gross acres or 29% of the site has been reserved as Natural open space and 141.7 acres as open space.

Recreation uses, such as a golf driving range, field archery ranges, commercial stables and other similar outdoor uses may be established in open space areas subject to approval of a Conditional Use Permit. Infrastructure uses and facilities which are necessary for the development or protection of surrounding urban areas are permitted in open space areas of the La Laguna community.

4.2.1 Open Space Permitted Uses

- a. Infrastructure service facilities and easements or extensions necessary for the development of the adjacent urban areas, included but not limited to the following:**
 - 1. Roads**
 - 2. Flood control works, drainage, and flood control channels, creeks, rivers, reservoirs, basins and floodplains, including riparian habitat areas.**
 - 3. Subterranean utility transmission lines, water reclamation lakes and ponds.**
 - 4. Water reservoirs.**
- b. Public or quasi-public uses including but not limited to:**
 - 1. Greenbelts, hiking/riding trails, paseos, and fire breaks.**
 - 2. Nature study areas.**
 - 3. Parks.**
- c. Manufactured slopes and fuel modification areas.**
- d. Land which would endanger the health, safety, and public welfare of the residents, to include:**
 - 1. Areas where terrain is too steep to build upon or where grading of the land may endanger public health and safety due to erosion by flooding.**
 - 2. Areas subject to flooding or inundation from storm water.**
 - 3. Geologically unstable areas.**
 - 4. Greenbelt areas which are formed by land development by preserving the land as a natural area.**
- e. Similar uses to those listed in this section, which in the opinion of the Community Development Director, would not be detrimental or incompatible with the intent and purpose of this Zone, as set forth herein.**

4.2.2 Open Space Uses Subject to a Conditional Use Permit

It is recognized that certain uses, while similar in characteristics to the above permitted uses, may have the potential to impact surrounding properties and therefore require additional discretionary approval and consideration. Open space areas within La Laguna, specifically McVicker Canyon, have the potential to afford special recreational opportunities. Uses permitted subject to approval of a Conditional Use Permit, pursuant to Chapter 17.74 of the Zoning Code, in the open space areas shall be as follows:

- a. Commercial and recreation support uses, include but are not limited to the following:
 1. Golf courses and country clubs.
 2. Tennis courts.
 3. Stables and equestrian centers.
 4. Other similar open space and passive or active recreation uses which are found to be consistent with similar uses as those listed in this section, which in the opinion of the Community Development Director, would not be detrimental or incompatible with the intent and purpose of this Zone, as set forth herein.
 5. Other uses and structures customarily incidental or necessary to the main uses.
 6. Non-profit entity facilities.
- b. All uses not mentioned above are prohibited.

4.2.3 Open Space Standards

The development standards for development within the open space areas are outlined below and the following development standards shall apply except as otherwise established by an approved variance.

Building site areaNo minimum.

Building heightThirty-five (35) feet.

Building site coverageFifty (50)% maximum.

Building setbacksAll buildings and structures shall be setback from all building site lines a distance equal to the height of the building or structure, but not less than twenty (20) feet minimum.

- Off-street parking requirements**Off-street parking shall be provided as required in Section 17.66 of the Zoning Code.
- Signs**Signs shall be permitted in accordance with Section 17.94 of the Zoning Code.
- Lighting**All lighting, exterior and interior, shall be designed and located to minimize power consumption and confine direct rays to the premises.
- Trash and storage areas**All storage, including cartons, containers, recycling containers and trash shall be shielded from view within a building or area enclosed by a masonry wall not less than seven (7) feet in height. No such area shall be located closer than fifty (50) feet of any residential planning area.
- Screening**Screening, at a total height of not less than six (6) feet, shall be installed along all site boundaries where the premises abut residential planning areas. Along streets and intersections and parking areas abutting circulation routes, screening shall be a minimum of thirty-six (36) inches within twenty (20) feet of any intersection. A screen, as referred to above, shall consist of any one or any combination of solid masonry wall, berms, solid fences constructed of wood or similar material and landscaping in the form of evergreen or deciduous trees and shrubs.
- Maintenance**All open space lots shall be owned and Maintained by a Homeowners Association (HOA) or other entity.

4.3 NATURAL OPEN SPACE

This Section includes land designated on the Land Use Plan as natural open space. A substantial amount of the La Laguna project is designated for open space uses. Approximately 140.3 gross acres or 29% of the site has been reserved as natural open space and 141.7 acres as open space.

Uses in the natural open space areas will be in conformance to the Habitat Mitigation Program.

4.3.1 Natural Open Space Permitted Uses

- a. Hiking and riding trails and related improvements.
- b. Interpretive signs.
- c. Environmental restoration and enhancement projects.
- f. Any uses proposed in Rice Canyon will be in conformance to the Habitat Mitigation Program.

4.3.2 Natural Open Space Standards

All uses shall be reviewed and approved by Conditional Use Permit.

5.0 DESIGN GUIDELINES

5.1 PURPOSE AND INTENT

The Design Guidelines for the La Laguna Estates Specific Plan serve to establish the design parameter that will ensure a high quality, cohesive and integrated design concept for the community.

More specifically, the purposes of these Design Guidelines are:

- a. To provide the City of Lake Elsinore with the necessary assurance that the Specific Plan area will develop in accordance with the quality and character proposed;
- b. To provide guidance to developers, builders, engineers, architects and landscape architects in order to maintain the desired design quality;
- c. To provide guidance to City staff, the Planning Commission and City Council in the review of future development projects in the Specific Plan area; and
- d. To provide guidance in the formation of Covenants, Conditions and Restrictions for the use of land in the Specific Plan area.

The Design Guidelines provided herein are intended as a living document. They are intended to be flexible and are therefore illustrative in nature. Over time, they may need to respond to unanticipated conditions, such as changes in taste, community desires and the marketplace. The Design Guidelines shall motivate design efforts towards meeting the City's quality standards during project review.

To ensure that the guidelines are carefully considered and implemented in a manner that will bring La Laguna a sense of its own character and ambiance, a central "Historical California" theme has been devised. It is further intended that this theme be expressed in coordination with the project setting, which serves as a basis around which key elements such as road placement, lot siting, streetscape, slope rehabilitation, entry monumentation and general in-tract landscaping can be expressed.

5.1.1 Project Theme

In conceiving a theme for La Laguna, the intent is to establish an environment that responds to the increasing urban setting of Lake Elsinore. For this reason, La Laguna shall reflect the "Historical California" theme, **which allows for a harmonious blend of Spanish Colonial, Mediterranean and Monterey architecture** and the historical landscape aspects of Southern California reminiscent of Santa Barbara, Pasadena, Los Angeles and San Juan Capistrano. This theme can be reflected in architecture, signage, landscaping and entry treatments.

5.2 COMMUNITY THEME GUIDELINES

The Community Theme Guidelines are intended to provide for the development of residential neighborhoods, open spaces and streetscapes having a distinctive visual identity to promote interrelationships between complementary land uses and community open space features.

The major elements of the Community Theme Plan include landscaping, walls, signage and monumentation, street furniture and open space/pedestrian linkage features as described below. **Exhibit 20** illustrates the general location of required community landscaping and monumentation. All development proposals within the community must be in conformance with the intent of the theme guidelines and shall incorporate community theme elements as appropriate.

5.2.1 General Landscaping

A Conceptual Landscape Plan for the entire La Laguna site shall be provided prior to the approval of the first Tentative Tract Map for the project. The Landscape Plan shall present the overall theme and give special regard to the streetscape, fencing, and walls, entry monumentation, signage and lighting. This plan shall be subject to the approval of the City Council as part of the Tentative Tract Map submittal. Landscaping shall be provided as outlined below, subject to the following general criteria:

- a. Plant materials will consist of low maintenance trees, shrubs and ground covers shown in the Plant Palette and approved by the City of Lake Elsinore's Landscape Architect.
- b. Landscaping shall consist of native or naturalized drought tolerant species which can provide for wildlife habitat with a gradual transition to more ornamental species along development edges.
- c. Flowering shrubs and groundcover as listed in the Plant Palette **Table 5**, will accent each themed neighborhood and streetscape within the community.

5.2.2 Community and Neighborhood Entry Monuments

- a. Adequate landscaped areas shall be provided for Community Entry and Neighborhood Entry Monument locations as identified in **Exhibits 20, 23-25**. The Community Entry Monuments will serve as the primary "gateways" into the La Laguna development, and should be located along primary entry points of vehicular and pedestrian circulation, see **Exhibit 23**.
- g. Appropriate sight distance will be maintained at all corner cut-offs within the Entry Monument locations. Future phasing shall incorporate additional Neighborhood Entry Monuments as necessary to convey similar concepts and strategic locations shown in **Exhibits 20, 23-25**.
- h. Neighborhood Entry Monuments will be designed to incorporate (6) six unique and separate Monument and Streetscape themes for La Laguna Community.

PLANT PALETTE:

STREET TREES:

DECIDUOUS STREET TREES - To be planted on North/South streets.

- Scheme I Koelreuteria bipinnata • Chinese Flame Tree
- Scheme II Liquidambar styraciflua • American Sweet Gum

EVERGREEN STREET TREES - To be planted on East/West streets.

- Scheme I Podocarpus gracilior • Fern Pine
- Scheme II Magnolia grandiflora 'Majestic Beauty' • Magnolia
- McVICKER ROAD Quercus ilex • Holly Oak

INTERIOR SLOPE PLANTING (for slopes over 3' high):

SLOPE TREES:

Interior Slopes shall receive:
Two (2) trees per 1,000 square feet or one (1) tree per 30 lineal feet, whichever is greater; 75% to be five (5) gallon in size, the remainder to be (15) gallon in size.

SHRUBS:

40% coverage or 25 shrubs per 1,000 square feet which ever is greater; 70% to be one (1) gallon in size, with the remainder to be (5) gallon in size.

NON-IRRIGATED NATIVE EROSION CONTROL MDX

PRIMARY SLOPE PLANTING (for slopes over 3' high):

TREES:

Two (2) trees per 1,000 square feet or one (1) tree per 30 lineal feet, whichever is greater; 75% to be five (5) gallon in size, the remainder to be (15) gallon in size.

SHRUBS:

40% coverage or 25 shrubs per 1,000 square feet which ever is greater; 70% to be one (1) gallon in size, with the remainder to be (5) gallon in size.

Clearing, reducing, and/or spreading out of downhill or the surrounding slopes of brush that may provide the fuel for fires. Provide native fire-resistant plant materials. All groundcover or shrubs within thirty feet (30') of a structure shall not be more than three feet (3') in height. Trees and non-native evergreen shrubs shall not be allowed within ten feet (10') of chimneys and should not otherwise present unusual fire hazards. Projects within fire hazard zones shall be subject to the yearly City weed abatement program. See Lake Elsinore Landscape Guidelines "Fire Prevention" per section V-15, for further information.

SECONDARY SLOPE PLANTING (for slopes over 3' high):

TREES:

Two (2) trees per 1,000 square feet or one (1) tree per 30 lineal feet, whichever is greater; 75% to be five (5) gallon in size, the remainder to be (15) gallon in size.

SHRUBS:

40% coverage or 25 shrubs per 1,000 square feet which ever is greater; 70% to be one (1) gallon in size, with the remainder to be (5) gallon in size.

Clearing, reducing, and/or spreading out of downhill or the surrounding slopes of brush that may provide the fuel for fires. Projects within fire hazard zones shall be subject to the yearly City weed abatement program. See Lake Elsinore Landscape Guidelines "Fire Prevention" per section V-15, for further information.

H.O.A. SLOPE PLANTING (for slopes over 3' high):

Interior Slopes shall receive:

Two (2) trees per 1,000 square feet or one (1) tree per 30 lineal feet, whichever is greater; 75% to be five (5) gallon in size, the remainder to be (15) gallon in size.

SHRUBS:

40% coverage or 25 shrubs per 1,000 square feet which ever is greater; 70% to be one (1) gallon in size, with the remainder to be (5) gallon in size.

KEY:

- COMMUNITY ENTRY MONUMENTATION
- NEIGHBORHOOD ENTRY MONUMENTATION
- TRAIL CONNECTIVITY NODE
- McVICKER CANYON PARK COMMUNITY TRAIL



- i. Each Neighborhood Entry Monument will utilize similar construction materials and colors in an effort to match thematic elements designed into Community Entry Monument, see **Exhibits 23-25**.
- e. Design Review will be required for both entrances as adequate sight distance, emergency access, stacking distance and landscape treatment shall be analyzed.

5.2.3 General Streetscape

Landscape plays a significant role in establishing the character of La Laguna. Plantings rich in color and texture support architectural character, soften building massing, reinforce desirable views and blend the development with the native landscape. The intent of the overall design is to draw upon the existing natural open space feeling and significant landscape features of the site in order to create an informal rustic character. All landscape and irrigation designs shall incorporate drought tolerant plant materials and water efficient irrigation systems.

- a. Plants for the La Laguna Estates Specific Plan environment shall be Selected for stress-durability, drought tolerance, adaptability to soil type, suitability for the climate, longevity, speed of growth and regeneration from damage.
- b. Plantings shall reflect the "Historical California" theme of the project including tree-lined streets, themed neighborhood entries and streetscapes, and architectural elements designed into Entry Monuments. **Table 5**, the Plant Palette, includes the plants that are suitable for the site and is not intended to be comprehensive, but rather is provided as a guide for developers and landscape architects within La Laguna.
- c. Final plant materials are not limited to the list provided in **Table 5** and will be selected during the preparation of working drawings for review and approval by the City's Landscape Architect. Future phasing shall incorporate additional themed landscaping as indicated in **Table 5 Plant Palette**.

5.2.4 Residential Neighborhood Streetscape

It is important that the themed character of La Laguna be reflected in the design of all monument features and landscaping. In addition to the Community Entry Monuments and landscaping associated with those streetscapes, La Laguna shall incorporate six (6) separate and unique landscape themes (schemes) that help to distinguish each neighborhood from the Community as a whole. It is important that many of the construction elements and colors used in the Community Entry Monument be applied to each Neighborhood Entry Monument. Each neighborhood streetscape and monument will convey a landscape scheme representative of the landscapes found in the Southern California vernacular: Meadow/Prarie, Oak Woodland, Cacti/Succulent, Mediterranean Scrub, Riparian Woodland, and Perennial Shrubland.

- a. Each neighborhood shall incorporate Neighborhood Entry Monuments that set the theme for each individual neighborhood. These monuments set the stage for a streetscape that will incorporate the planting palette of that scheme as well as utilizing a significant evergreen and deciduous street tree.
- b. Each residential lot shall receive a minimum of one (1) fifteen (15) gallon street tree planted in the right of way and one (1) fifteen (15) gallon size tree planted in the front yard. See **Exhibit 27** for example.
- c. Corner lots shall receive a minimum of two (2) fifteen (15) gallon size trees planted in the right of way and one (1) fifteen (15) gallon size tree planted in the front yard. Reverse frontage landscaping visible from the street shall incorporate plants selected from **Table 5** according to scheme type.
- d. Tree varieties shall be chosen from the neighborhood themed landscaping planting palettes found in **Table 5**.
- e. Trees shall be clustered near property lines periodically to maximize a matched streetscape alley appearance. Accent trees which contrast with the chosen street tree by virtue of their form and flowering characteristics may be utilized at cul-de-sacs, knuckles and intersections to provide emphasis and interest. Examples of accent and specimen trees are shown in **Table 5** for each landscape scheme.

**TABLE 5
PLANT PALETTE**

Plants in **bold** are 'theme' plants, and should be prominent at the neighborhood entries. Plants having an asterick (*) denote those that go dormant and/or should be cut back severely in winter.

Parkway Landscaping

Primary Monument Trees

Populus nigra (Lombardy Poplar)
Platanus racemosa (Sycamore Tree)
Pyrus calleryana 'Aristocrat' (Ornamental Pear)
Rhus lancea (African Sumac)

Primary Street Tree – (Mc Vicker Canyon Park Access Rd.)

Podocarpus gracilior (Fern Pine)

Neighborhood Street Trees – (Scheme Combinations)

Scheme 1	<i>Koelreuteria bipinnata</i> (Chinese Flame Tree)
	<i>Podocarpus gracilior</i> (Fern Pine)
Scheme 2	<i>Platanus acerfolia</i> (London Plan Tree)
Scheme 3	<i>Geijera parvifolia</i> (Australian Willow)

- Scheme 4 *Liquidamber styraciflua* (American Sweet Gum)
 Magnolia grandiflora 'Majestic Beauty' (Magnolia)
- Scheme 5 *Platanus acerfolia* (London Plan Tree)
 Podocarpus gracilior (Fern Pine)
- Scheme 6 *Pyrus calleryana* (Ornamental Pear)

Neighborhood Entry Monument Trees

- Scheme 1 Accent Backdrop Mass – *Lagerstroemia indica* 'Muskogee' (Crape Myrtle)
- Scheme 2 Multi-Branched Specimen – *Quercus agrifolia* (Coast Live Oak)
- Scheme 3 Multi-Branched Specimen – *Prosopis glandulosa* (Honey Mesquite)
 Upright Accent Palm – *Washingtonia filifera* (California Fan Palm)
- Scheme 4 Multi-Branched Specimen – *Arbutus unedo* (Strawberry Tree)
- Scheme 5 Multi-Branched Specimen – *Platanus racemosa* (Sycamore Tree)
 Small Accent Tree – *Cercis occidentalis* (Western Redbud)
- Scheme 6 Accent Backdrop Mass – *Prunus blireiana* (Purple Leaf Plum)

Shrubs

Primary Monument Shrubs

Combination of Scheme 2 and Scheme 3 below

Neighborhood Entry Monument/Streetscape Shrubs

Scheme 1 – Meadow/Prarie

LARGE SHRUBS (6' AND LARGER)

***Buddleia species**
Ceanothus species and hybrids
Grevillea species
***Viburnum tinus* 'Spring Bouquet'**

White Butterfly Bush
 Wild Lilac
Grevillea
Spring Bouquet Laurustinus

MEDIUM SHRUBS (3'-6')

Baccharis 'Centennial'
Ceanothus griseus horizontalis
Grevillea lanigera
Rosmarinus officinalis and hybrids
***Salvia greggii* and cultivars**

Coyote Brush
 Carmel Creeper
 Woolly Grevillea
 Rosemary
Autumn Sage

SMALL SHRUBS AND PERENNIALS

***Achillea* hybrids**
Anigozanthos species
 **Artemesia* 'Powis Castle'
Bergenia cordifolia
Erigonum fasciculatum
Helictotrichon sempervirens
Hemerocallis hybrids (evergreen)

Yarrow mixture
 Kangaroo Paws
 Powis Castle Wormwood
 Bergenia
 California Buckwheat
 Blue Oat Grass
 Daylily - mixed colors

<i>Heuchera sanguinea</i>	Coral Bells
<i>Iris douglasiana</i> 'Pacific Coast Hyb.'	Pacific Coast Iris
<i>Iris germanica</i>	Tall Bearded Iris
<i>Rosmarinus officinalis</i> and hybrids	Rosemary
<i>Rudbeckia f. sullivantii</i> 'Goldsurm'	Rudbeckia

GROUNDCOVERS

<i>Carex comans</i>	New Zealand Hair Sedge
<i>Campanula poschcharskyana</i>	Serbian Bellflower
* <i>Eschscholzia californica</i>	California Poppy
<i>Festuca rubra</i>	Creeping Red Fescue
<i>Festuca ovian</i> 'Glauca'	Blue Fescue
<i>Geranium incanum</i>	Carpet Geranium
<i>Gaillardia graniflora</i> 'Goblin'	Blanket Flower
<i>Iberis sempervirens</i>	Evergreen Candytuft
<i>Pratia pedunculata</i>	Blue Star Creeper
<i>Rosmarinus officinalis</i> 'Prostratus'	Prostrate Rosemary
<i>Sisyrinchium bellum</i>	Blue-Eyed Grass

VINES

<i>Jasminum polyanthum</i>	Pink Jasmine
* <i>Macfaydena unguis-cati</i>	Cat'sclaw Vine
* <i>Parthenocissis tricuspidata</i>	Boston Ivy

Scheme 2 – Oak Woodland

LARGE SHRUBS (6' AND LARGER)

<i>Arctostaphylos</i> 'Howard McMinn'	Manzanita
<i>Ceanothus</i> 'Dark Star'	Wild Lilac
<i>Cotoneaster lacteus</i>	Cotoneaster
<i>Heteromeles arbutifolia</i>	Toyon
<i>Mahonia</i> 'Golden Abundance'	Mahonia
<i>Rhamnus californica</i>	Coffeeberry

MEDIUM SHRUBS (3' -6')

<i>Arctostaphylos edmundsii</i>	Little Sur Manzanita
<i>Ceanothus griseus horizontalis</i>	Carmel Creeper
<i>Mahonia aquifolium</i>	Oregon Grape
<i>Ribes speciosum</i>	Fuschia-flowering Gooseberry

SMALL SHRUBS AND PERENNIALS

<i>Bergenia cordifolia</i>	Bergenia
<i>Heuchera sanguinea</i>	Coral Bells
<i>Iris douglasiana</i> 'Pacific Coast Hyb.'	Pacific Coast Iris
<i>Iris germanica</i>	Tall Bearded Iris
<i>Mahonia aquifolium</i> 'Compacta'	Compact Oregon Grape
<i>Mahonia repens</i>	Creeping Oregon Grape
* <i>Penstemon</i> species	Penstemon

GROUNDCOVERS

<i>Campanula poschcharskyana</i>	Serbian Bellflower
<i>Fraaaria vesca</i>	Alpine strawberry
<i>Heuchera sanguinea</i>	Coral Bells
<i>Salvia sonomensis</i>	Creeping Sage

VINES

Campsis radicans
* *Parthenocissis tricuspidata*

Common Trumpet Creeper
Boston Ivy

Scheme 3 – Cacti/Succulent

LARGE SHRUBS (6' AND LARGER)

Westringia fruticosa

Coast Rosemary

MEDIUM SHRUBS (3'-6')

Baccharis 'Centennial'
Calliandra species *Fairy Duster*
Opuntia species
Salvia greggii and cultivars
Tagetes lemmonii

Coyote Brush
Prickly Pear
Autumn Sage
Mountain Marigold

SMALL SHRUBS AND PERENNIALS

Agave species
Aloe species
Anisacanthus cultivars
Crassula falcata
Euphorbia milii
Hesperaloe parviflora
* *Penstemon* species
Yucca species

Agave
Aloe
Kangaroo Paws
Sickle Plant
Crown of Thorns
Red Yucca
Penstemon
Yucca

GROUNDCOVERS

Sedum species
Senecio mandraliscae
* *Verbena* species

Stonecrop
Groundsel
Verbena

VINES

Bignonia capreolata
* *Parthenocissis tricuspidata*

Crossvine
Boston Ivy

POTTED ACCENTS

Aloe species

Aloe

Scheme 4 – Mediterranean Scrub

LARGE SHRUBS (6' AND LARGER)

Arbutus unedo 'Compacta'
Ceanothus species and hybrids
Cotoneaster lacteus
Grevillea species
Heteromeles arbutifolia
Lavatera bicolor
Myrtus communis 'Compacta'

Compact Strawberry Tree
Wild Lilac
Cotoneaster
Grevillea
Toyon
Tree Mallow
Dwarf Myrtle

MEDIUM SHRUBS (3'-6')

Cistus purpureus
Cistus species
Echium fastuosum
Grevillea lanigera

Common Rockrose
Rockrose
Pride of Madiera
Woolly *Grevillea*

<i>Grevillea</i> species	Grevillea
<i>Rosmarinus officianalis</i> and hybrids	Rosemary
<i>Salvia greggii</i> and cultivars	Autumn Sage

SMALL SHRUBS AND PERENNIALS

*<i>Centranthus ruber</i>	Red Valerian
<i>Cistus salviifolius</i>	White Rockrose
<i>Heuchera sanguinea</i>	Coral Bells
<i>Iris douglasiana</i> 'Pacific Coast Hyb.'	Pacific Coast Iris
<i>Iris germanica</i>	Tall Bearded Iris
<i>Lavandula stoechas</i> 'Otto Quast'	Spanish Lavender
<i>Lavandula</i> species	Lavender
<i>Mimulus</i> species	Monkeyflower
<i>Rosmarinus officinalis</i> and hybrids	Rosemary

GROUNDCOVERS

<i>Epilobium californica</i>	California Fushia
<i>Pelargonium peltatum</i>	Ivy Geranium
<i>Rosmarinus officinalis</i> 'Prostratus'	Prostrate Rosemary

VINES

<i>Clytostoma callestegioides</i>	Purple Trumpet Vine
<i>Distictis buccinatoria</i>	Blood-red Trumpet Vine
* <i>Parthenocissis tricuspidata</i>	Boston Ivy

POTTED ACCENTS

<i>Citris</i> species (Dwarf)	Citrus
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Scheme 5 – Riparian Woodland

LARGE SHRUBS (6' AND LARGER)

<i>Grevillea</i> species	Grevillea
<i>Heteromeles arbutifolia</i>	Toyon
<i>Rhamnus californica</i>	Coffeeberry
<i>Ribes speciosum</i>	Fushia-flowering Gooseberry

MEDIUM SHRUBS (3'-6')

<i>Ceanothus griseus horizontalis</i>	Carmel Creeper
<i>Juncus patens</i>	California Rush
<i>Mahonia aquifolium</i>	Oregon Grape
<i>Ribes viburnifolium</i>	Catalina Perfume Currant
<i>Rosmarinus officinalis</i> 'Prostratus'	Rosemary
<i>Salvia</i> species	Sage

SMALL SHRUBS AND PERENNIALS

<i>Aquilegia formosa</i>	Red Columbine
<i>Iris douglasiana</i> 'Pacific Coast Hyb.'	Pacific Coast Iris
<i>Iris germanica</i>	Tall Bearded Iris
<i>Mahonia aquifolium</i> 'Compacta'	Compact Oregon Grape
<i>Mahonia repens</i>	Creeping Oregon Grape
* <i>Penstemon</i> species	Penstemon
<i>Rosmarinus officinalis</i> and hybrids	Rosemary
<i>Sedum</i> 'Autumn Joy'	Sedum
<i>Sisyrinchium bellum</i>	Blue-Eyed Grass

GROUNDCOVERS

Campanula poschcharskyana
Cotoneaster salicifolius
Festuca californica
Festuca rubra
Heuchera sanguinea

Serbian Bellflower
Willowleaf Cotoneaster
California Fescue
Creeping Red Fescue
Coral Bells

VINES

Clematis species
* *Parthenocissis tricuspidata*

Clematis
Boston Ivy

POTTED ACCENTS

Asparagus densiflorus 'Sprengeri' **Sprenger Asparagus Fern**

Scheme 6 – Perennial Shrubland

LARGE SHRUBS (6' AND LARGER)

**Buddleia* species
Heteromeles arbutifolia
Myrtus communis 'Compacta'
***Viburnum tinus* 'Spring Bouquet'**

White Butterfly Bush
Toyon
Dwarf Myrtle
Spring Bouquet Laurustinus

MEDIUM SHRUBS (3'-6')

Echium fastuosum
Lavendula species
Perovskia 'Blue Spire'
Salvia greggii and cultivars

Pride of Madiera
Lavender
Russian Sage
Autumn Sage

SMALL SHRUBS AND PERENNIALS

Agapanthus species
**Centranthus ruber*
Cistus salviifolius
Erigonum latifolium
***Gaillardia grandiflora* 'Goblin'**
Hemerocallis hybrids (evergreen)
Heuchera sanguinea
Iris douglasiana 'Pacific Coast Hyb.'
Iris germanica
***Lavandula stoechas* 'Otto Quast'**
Lavandula species
Rosmarinus officianalis and hybrids

Lily of the Nile
Red Valerian
White Rockrose
Red Buckwheat
Blanket Flower
Daylily - mixed colors
Coral Bells
Pacific Coast Iris
Tall Bearded Iris
Spanish Lavender
Lavender
Rosemary

GROUNDCOVERS

Armeria maritima
Campanula poschcharskyana
Geranium incanum
Pelargonium peltatum

Sea Pink/Thift
Serbian Bellflower
Carpet Geranium
Ivy Geranium

VINES

Clytostoma callestegioides
Distictis buccinatoria
Jasminum polyanthum
* *Macfaydena unguis-cati*
* *Parthenocissis tricuspidata*

Purple Trumpet Vine
Blood-red Trumpet Vine
Pink Jasmine
Cat'sclaw Vine
Boston Ivy

Common Area Slopes (Permanently Irrigated)

Tree Groupings on Slopes

***Quercus agrifolia* (Coast Live Oak)**

Platanus acerifolia (London Plane Tree)

***Platanus racemosa* (Sycamore Tree)**

Prunus ilicifolia (Hollyleaf Cherry)

***Rhus lancea* (African Sumac)**

Shrub Massing on Slopes

LARGE SHRUBS (6' AND LARGER)

<i>Arctostaphylos</i> 'Howard McMinn'	Manzanita
<i>Ceanothus</i> 'Dark Star'	Wild Lilac
<i>Cotoneaster lacteus</i>	Cotoneaster
<i>Heteromeles arbutifolia</i>	Toyon
<i>Lavatera bicolor</i>	Tree Mallow
<i>Mahonia</i> 'Golden Abundance'	Mahonia
<i>Rhamnus californica</i>	Coffeeberry
<i>Tagetes lemmonii</i>	Mountain Marigold

MEDIUM SHRUBS (3'-6')

<i>Arctostaphylos edmundsii</i>	Little Sur Manzanita
<i>Ceanothus griseus horizontalis</i>	Carmel Creeper
<i>Cistus purpureus</i>	Common Rockrose
<i>Echium fastuosum</i>	Pride of Madiera
<i>Grevillea lanigera</i>	Woolly Grevillea
<i>Grevillea</i> species	Grevillea
<i>Mahonia aquifolium</i>	Oregon Grape
<i>Opuntia</i> species	Prickly Pear
<i>Ribes speciosum</i>	Fuschia-flowering Gooseberry
<i>Rosmarinus officianalis</i> and hybrids	Rosemary

SMALL SHRUBS AND PERENNIALS

* <i>Centranthus ruber</i>	Red Valerian
<i>Cistus salviifolius</i>	White Rockrose
<i>Mahonia aquifolium</i> 'Compacta'	<i>Mahonia aquifolium</i>
<i>Mahonia repens</i>	Compact Oregon Grape
* <i>Penstemon</i> species	Creeping Oregon Grape
	Penstemon

GROUNDCOVERS

<i>Lantana montevidensis</i>	Trailing Lantana
<i>Myoporum pacificum</i>	Myoporum
<i>Arctostaphylos</i> 'Emerald Carpet'	Manzanita

Fuel Modification Zones

See Fuel Modification Plan for thinning program
All manufactured slopes within Fuel Modification Zones refer to above list and avoid use of following plants:

Acacia species	Acacia
Cedrus species	Cedar
Cupressus species	Cypress
Dodonaea species	Hopseed Bush
Eucalyptus species	Eucalyptus
Juniperus species	Juniper
Pennisetum species	Fountain Grass
Pinus species	Pine
Bougainvillea	Bougainvillea
Phormium tenax	New Zealand Flax
Cortaderia seloana	Pampas Grass
Hakea suaveolens	Hakea
All ornamental grasses	
All berry vines	

5.2.5 Neighborhood Slope Planting

Shrubs and trees will be arranged in loose, informal groupings to create a natural, free-flowing appearance. Placement of plants will be sensitive to views, screening and ultimate mature appearance. Slope landscaping will be thoughtfully planned and implemented to accomplish the goals of soils stabilization, visual enrichment and ease of maintenance.

All slopes three feet or greater in height and with a "2:1 " or steeper gradient shall be landscaped as follows and approved by the City's Landscape Architect:

- a. Permanent Irrigation system utilizing low precipitation sprinkler heads.
- b. Groundcover and shrub massing consistent with the Fuel Modification Plan.
- c. Shrubs at minimum of one plant per 25 square feet (70% - 1 gallon and 30% - 5 gallon)
- d. Trees at a minimum of one plant per 500 square feet. (75% - 5 gallon and 25% - 15 gallon)

5.2.6 Walls, Signage and Monumentation

- a. Community walls will reflect the neighborhood theme and architecture, in utilizing the same materials for a consistent community image. These materials may consist of stone, view fencing materials, brick or decorative block, see **Exhibits 26 and 28** for examples. The horizontal form of continuous solid walls shall be softened by the use of pilasters and landscape materials chosen from the plant palette and in all cases shall be subject to Design Review approval and approval by the City's Landscape Architect.

- b. The SFA area may be screened by a combination of solid and view fencing materials to provide for view opportunities of the lake and open space areas.
- c. Fencing, bracketing, and posts construction shall comply with the UBC and the City Municipal Code at the time of construction.
- d. The locations, design and materials for all walls that are visible along public streetscapes and open space areas within the Specific Plan shall be subject to Design Review approval.
- e. Community Entry Monuments and other architectural features shall be constructed within the landscaped setback area of all locations identified on **Exhibit 20** and shall be subject to Design Review approval.
- f. Neighborhood Entry Monuments shall be located within the landscaped setback area for each neighborhood entry and shall be subject to Design Review approval. Future phasing shall incorporate additional themed monument designs as shown in **Exhibits 24 and 25** and locate the Neighborhood Entry Monuments at significant entrances into each individual neighborhood.

5.2.7 Street Lighting

Street lighting shall be indicated on street improvement plans and may be placed within the medians or within adjoining sidewalk and setback areas subject to the approval of the City Engineering department and the Community Development Director or its designee.

Street lighting within the medians shall be 30 feet in height and along local and other collector streets, shall be 25 feet in height. On-site lighting as well as lighting fixtures, shall comply with applicable requirements and policies of the City of Lake Elsinore.

Energy conservation, safety, and security will be emphasized when designing the lighting system.

5.2.8 Open Space/Pedestrian Linkages

- a. Bicycle lanes will be provided along the collector roads within the Specific Plan area, see Open Space and Recreation Plan **Exhibits 13a and 13b**.
- b. Bicycle lanes shall be connected to bicycle lanes provided on Grand and Lincoln Avenues.
- c. Sidewalks shall be provided adjacent to all collector and local streets within the Specific Plan area from adjacent developments to promote a Pedestrian-oriented community and allow for such access.
- d. Sidewalks shall be connected to pedestrian trails located in the Recreation areas where feasible.

- e. The McVicker Canyon Park Community Trail, as shown in **Exhibit 21**, is conceptual in nature. The final alignment and design shall be subject to the approval of Community Development Department staff prior to the recordation of Tract 30788.

5.2.9 Land Use Transitions

In order to create an aesthetically-pleasing and environmentally sensitive community, land use buffers are provided within La Laguna. The recommended treatment for the land use buffers are as follows:

5.2.9.1 Open Space/Manufactured Slope Transition

In those areas where grading will be required between residential areas and uphill natural slopes, an open space/manufactured slope transition area, such as that shown in the Fuel Modification Plan, **Exhibits 21 and 22** is proposed. This treatment will ensure proper revegetated slope conditions, provide for an aesthetic transition between natural and man-made conditions, and will serve to reduce fire hazards by creating Fuel Modification Zones. These manmade slope conditions will be revegetated with plants selected from the Specific Plan plant palette and approved by the City's Landscape Architect and not contain highly flammable plant species. Refer to **Table 5** for additional information.

5.2.9.2 Open Space/Pad Transition

This treatment as depicted in the Fuel Modification Plan, **Exhibit 21 and 22**, will arise when residential pads transition to natural slopes. This condition will occur in the residential areas adjacent to natural open space. The sensitive transition from graded areas into the natural terrain will maintain the view potential for residential lots to open space and scenic vistas and incorporate a Fuel Modification Zones along the development edge. These Fuel Modifications Zones will be maintained by the Homeowner's Association and account for seasonal thinning, pruning, and removal of highly flammable plant species.

PLANT PALETTE:

STREET TREES:

DECIDUOUS STREET TREES - To be planted on North/South streets.

- | | | | | |
|---|-----------|-------------------------|---|--------------------|
| ○ | Scheme I | Koelreuteria bipinnata | • | Chinese Flame Tree |
| ○ | Scheme II | Liquidambar styraciflua | • | American Sweet Gum |

EVERGREEN STREET TREES - To be planted on East/West streets.

- | | | | | |
|---|-----------|----------------------------------------|---|-----------|
| ○ | Scheme I | Podocarpus gracilior | • | Fern Pine |
| ○ | Scheme II | Magnolia grandiflora 'Majestic Beauty' | • | Magnolia |

- McVICKER ROAD
- | | | | |
|---|--------------|---|-----------|
| ○ | Quercus ilex | • | Holly Oak |
|---|--------------|---|-----------|

 INTERIOR SLOPE PLANTING (for slopes over 3' high):

SLOPE TREES:
Interior Slopes shall receive:
Two (2) trees per 1,000 square feet or one (1) tree per 30 lineal feet, whichever is greater; 75% to be five (5) gallon in size, the remainder to be (15) gallon in size.

SHRUBS:
40% coverage or 25 shrubs per 1,000 square feet which ever is greater; 70% to be one (1) gallon in size, with the remainder to be (5) gallon in size.

 NON-IRRIGATED NATIVE EROSION CONTROL MIX

 PRIMARY SLOPE PLANTING:

Revegetate at a minimum of 100 feet wide using irrigated plant materials in development areas along with the introduction of fire resistant and drought tolerant plant materials. Remove all existing ground cover/brush. All bare areas are to be hydroseeded and hand-planted with plants from the Plant Palette. Thinning, pruning and select removal of high fuel species in development areas is required for existing vegetation that is to be maintained.

 SECONDARY SLOPE PLANTING:

Clearing a 100-150 foot wide area of existing ground cover/brush which surrounds the primary zone. This zone acts as a buffer zone between areas of development and undisturbed open space. Removing of high fuel species and the extent of the transition to the natural landscape will depend on the plant material present, prevailing wind patterns and topography.

 H.O.A. SLOPE PLANTING (for slopes over 3' high):

Interior Slopes shall receive:
Two (2) trees per 1,000 square feet or one (1) tree per 30 lineal feet, whichever is greater; 75% to be five (5) gallon in size, the remainder to be (15) gallon in size.

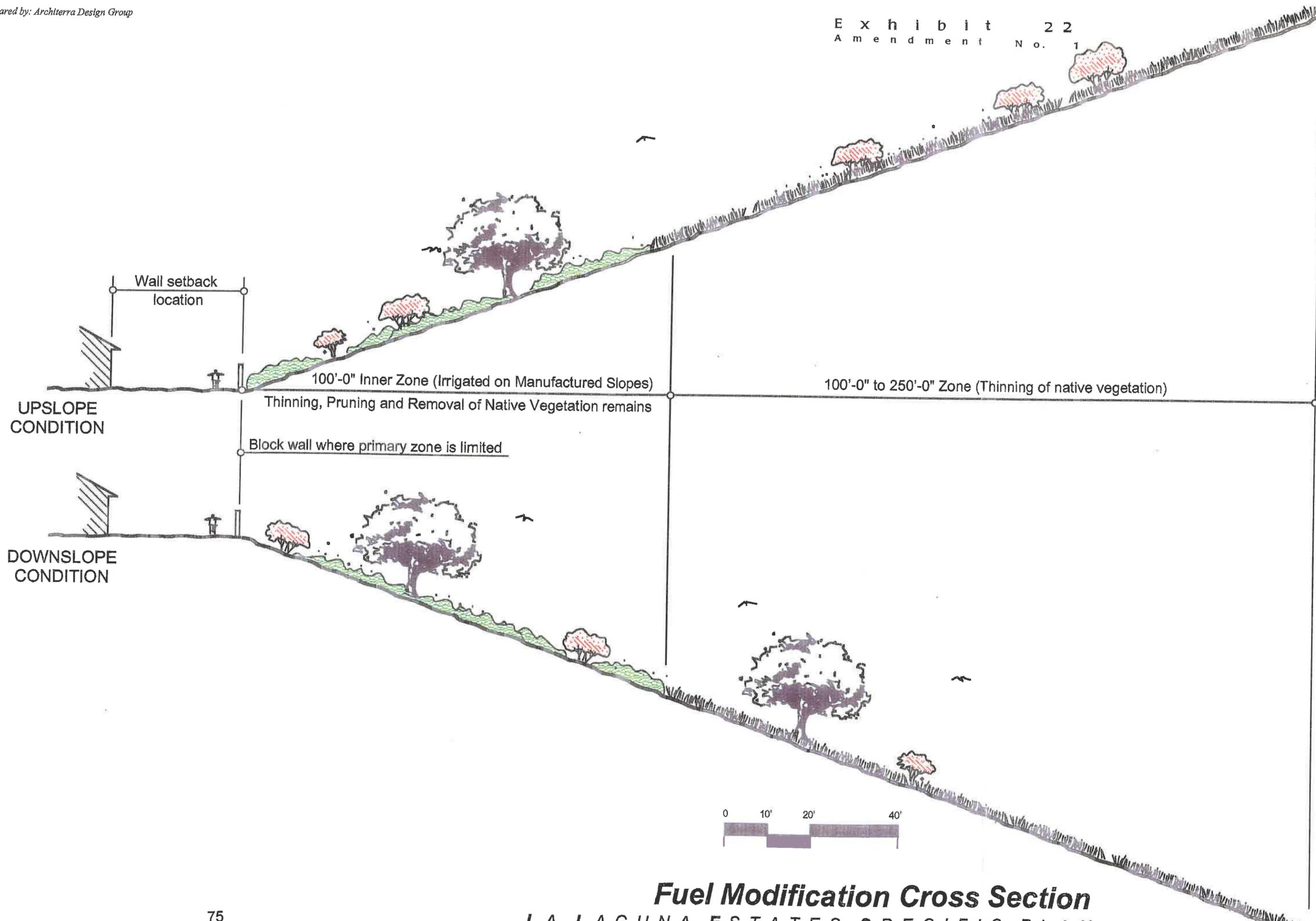
SHRUBS:
40% coverage or 25 shrubs per 1,000 square feet which ever is greater; 70% to be one (1) gallon in size, with the remainder to be (5) gallon in size.



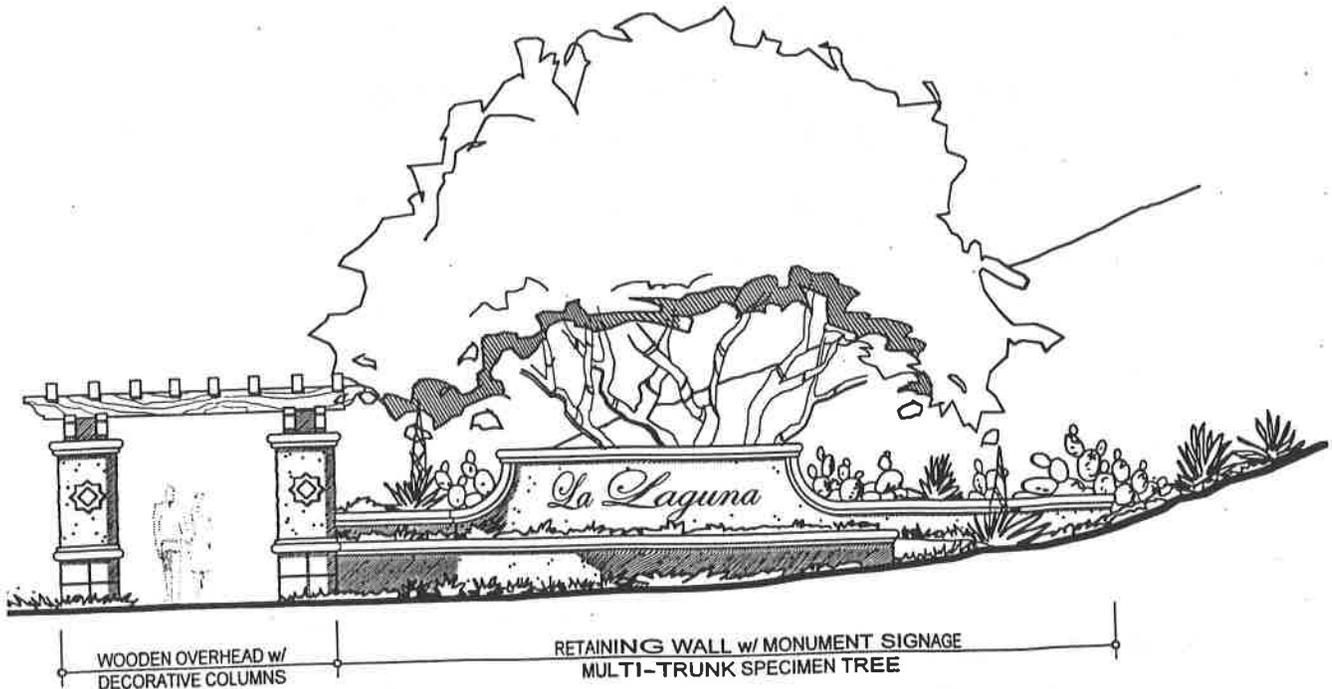
McVICKER CANYON PARK COMMUNITY TRAIL

FIRE ACCESS EASEMENT WITH ADDITIONAL ACCESS POINTS SHOWN ON ENGINEERING PLANS.

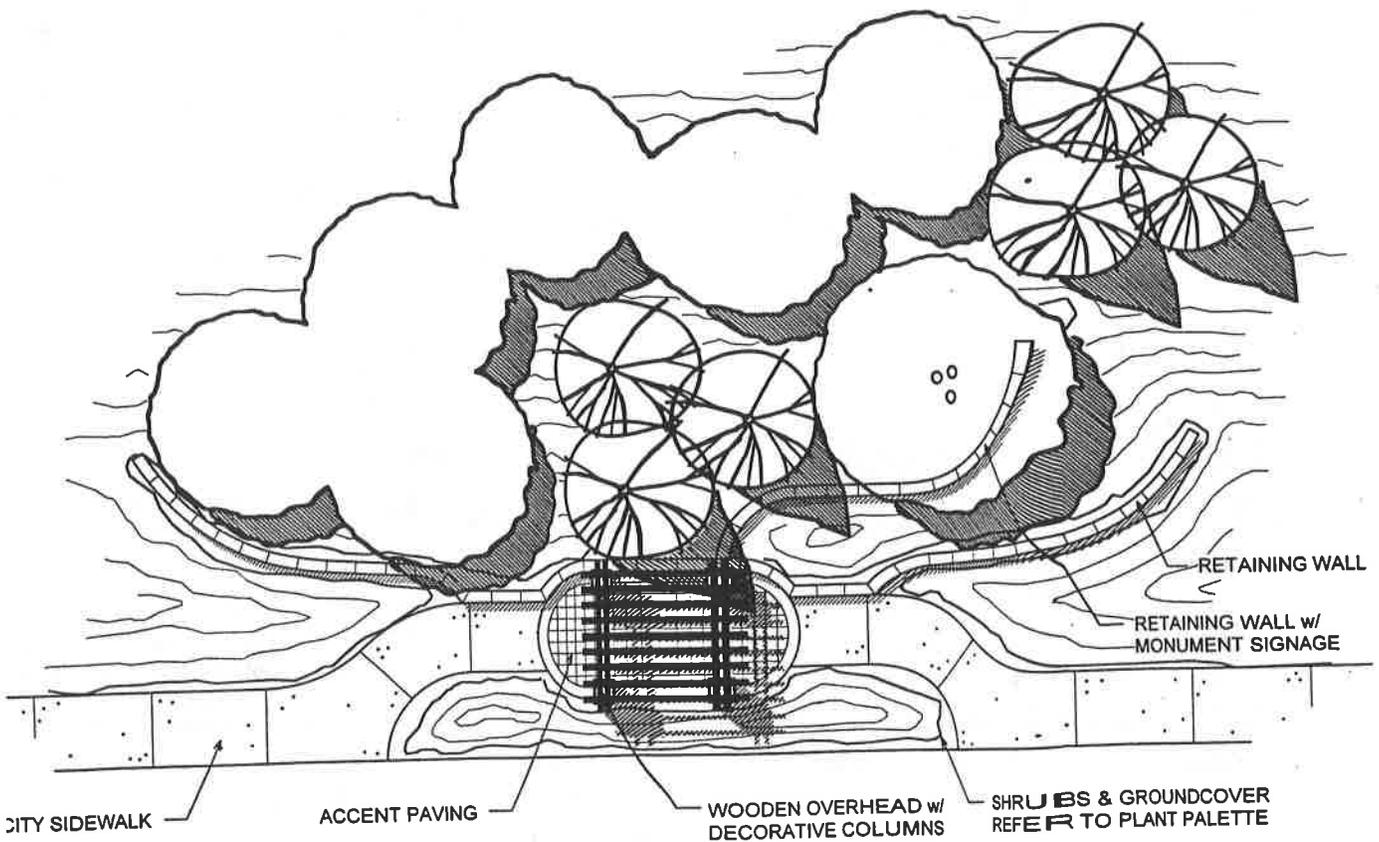




Fuel Modification Cross Section

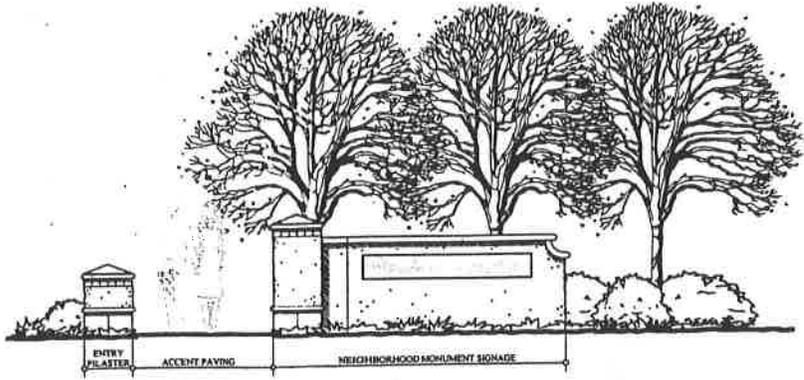


ELEVATION

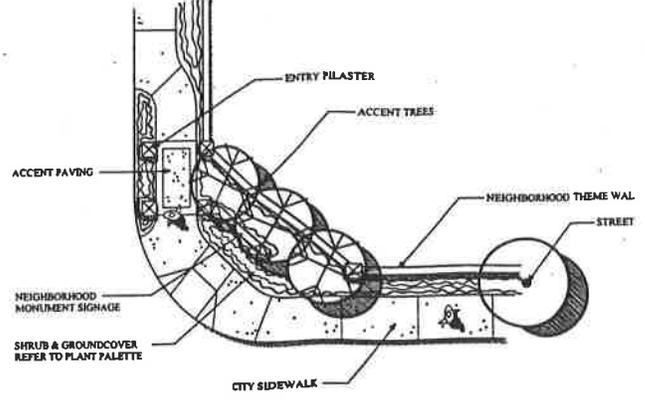


Primary Community Monumentation

LA LAGUNA ESTATES SPECIFIC PLAN

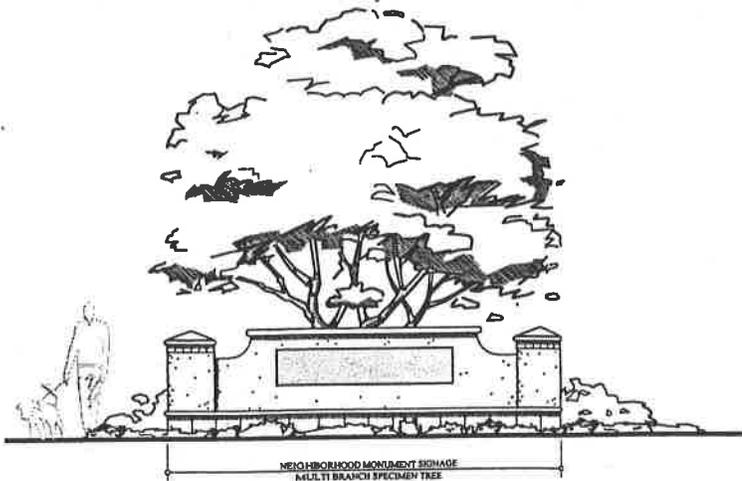


ELEVATION

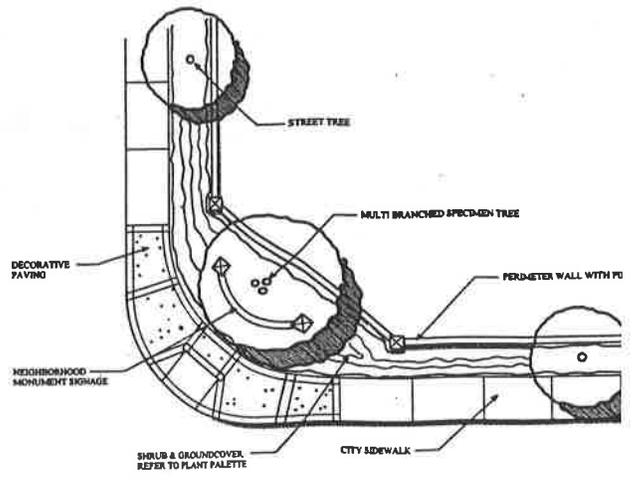


PLAN VIEW

SCHEME 1 - MEADOW / PRARIE

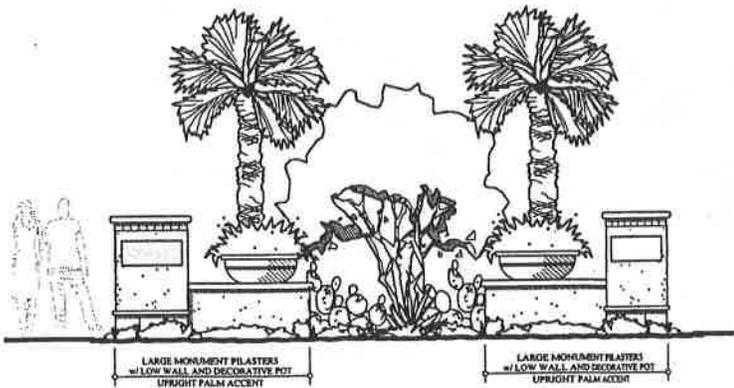


ELEVATION

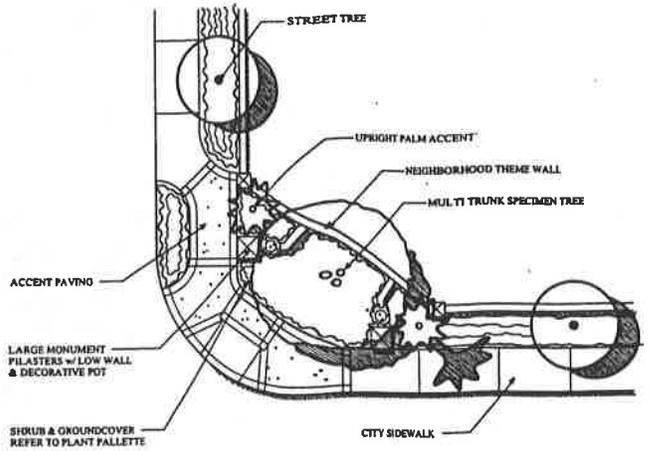


PLAN VIEW

SCHEME 2 - OAK WOODLAND



ELEVATION

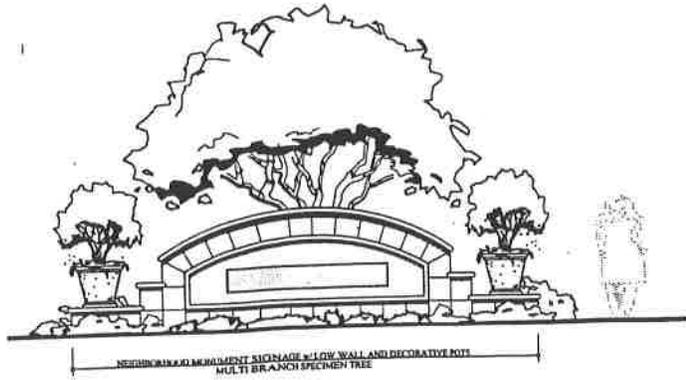


PLAN VIEW

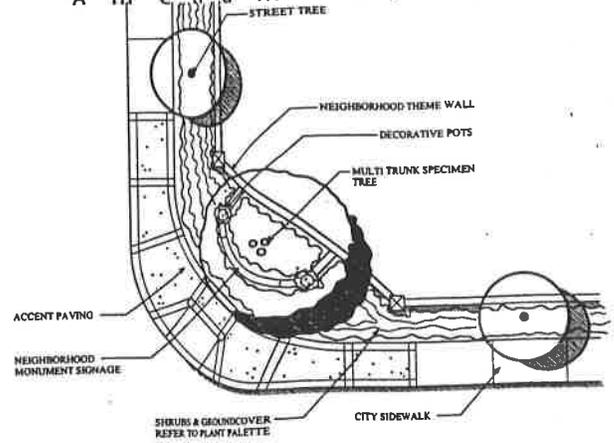
SCHEME 3 - SUCCULENT / CACTI

Neighborhood Monumentatio

LA LAGUNA ESTATES SPECIFIC PLA

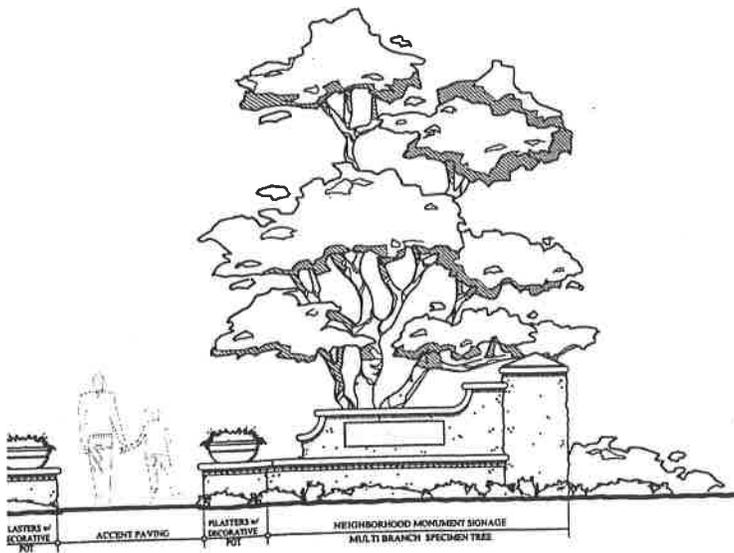


ELEVATION

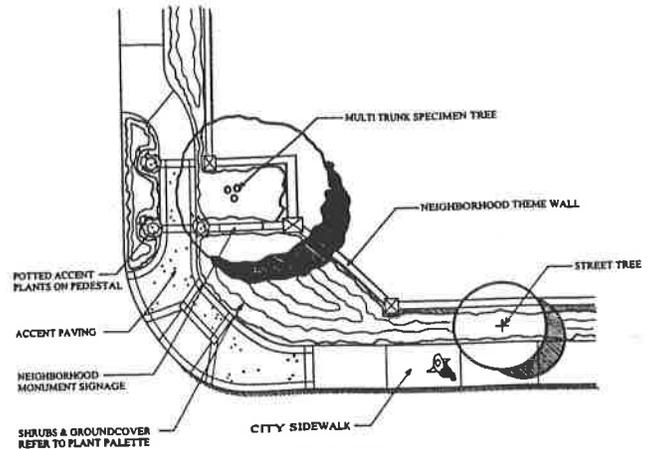


PLAN VIEW

SCHEME 4 - MEDITERRANEAN SCRUB

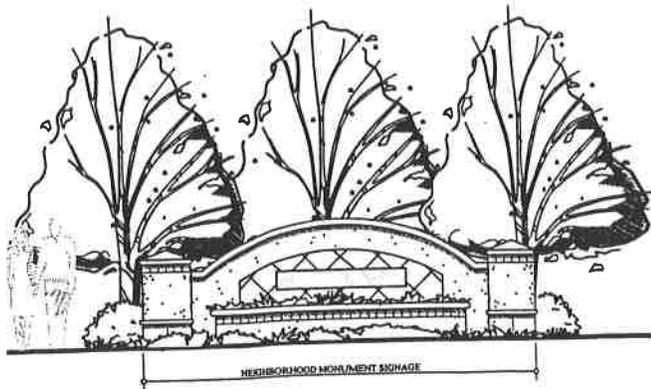


ELEVATION

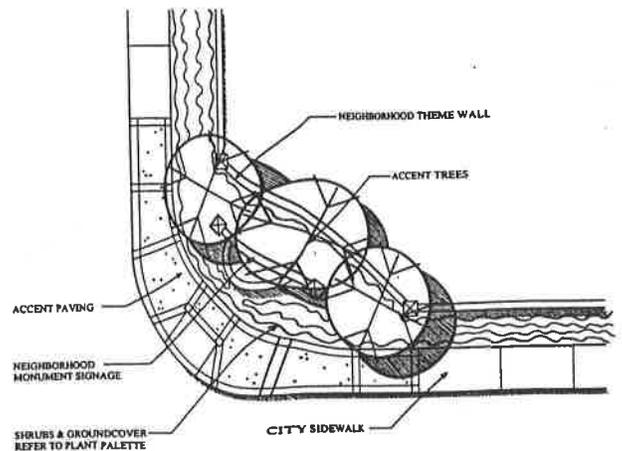


PLAN VIEW

SCHEME 5 - RIPARIAN WOODLAND



ELEVATION



PLAN VIEW

SCHEME 6 - PERENNIAL SHRUBLAND

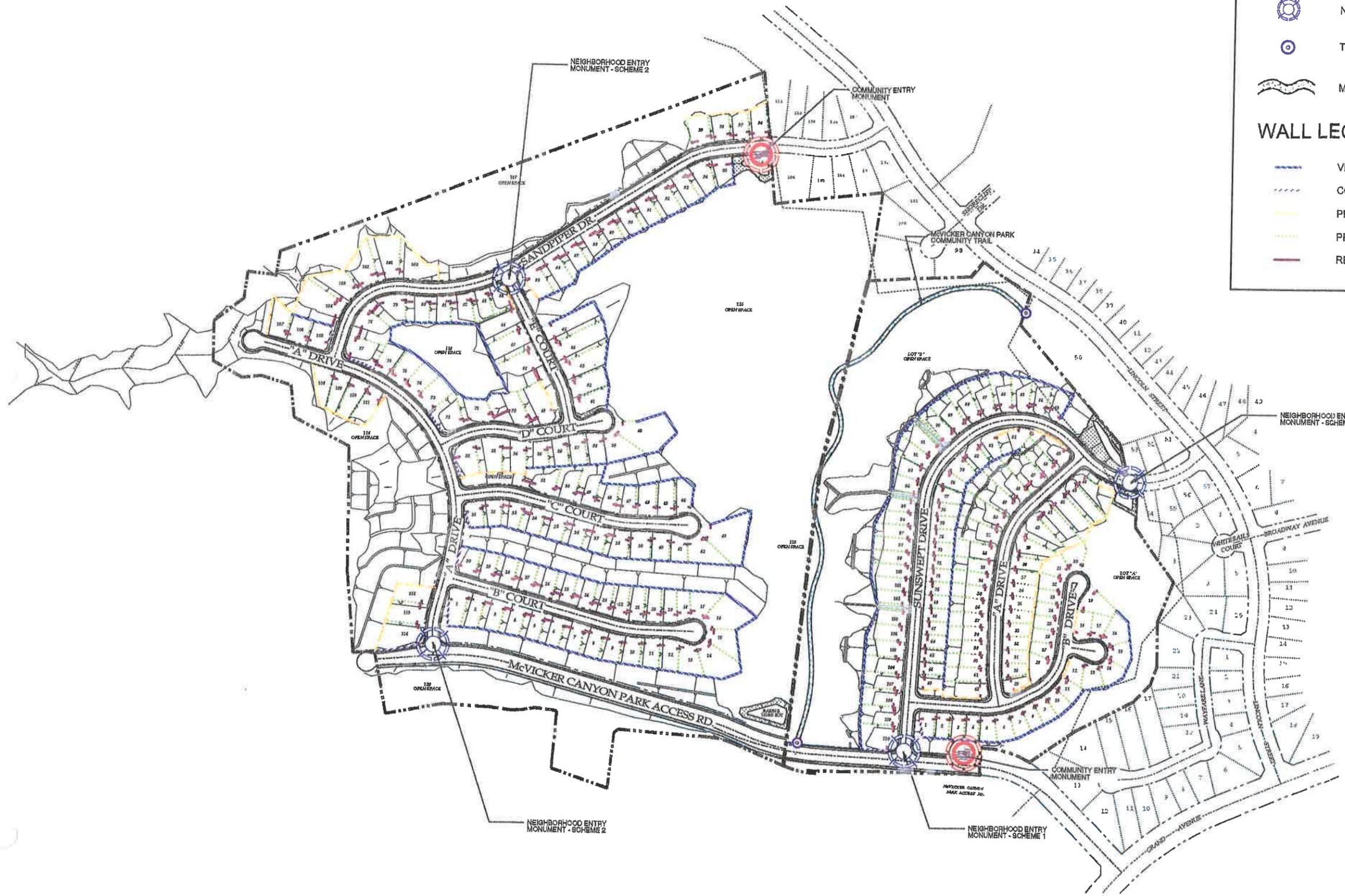
Neighborhood Monumentation

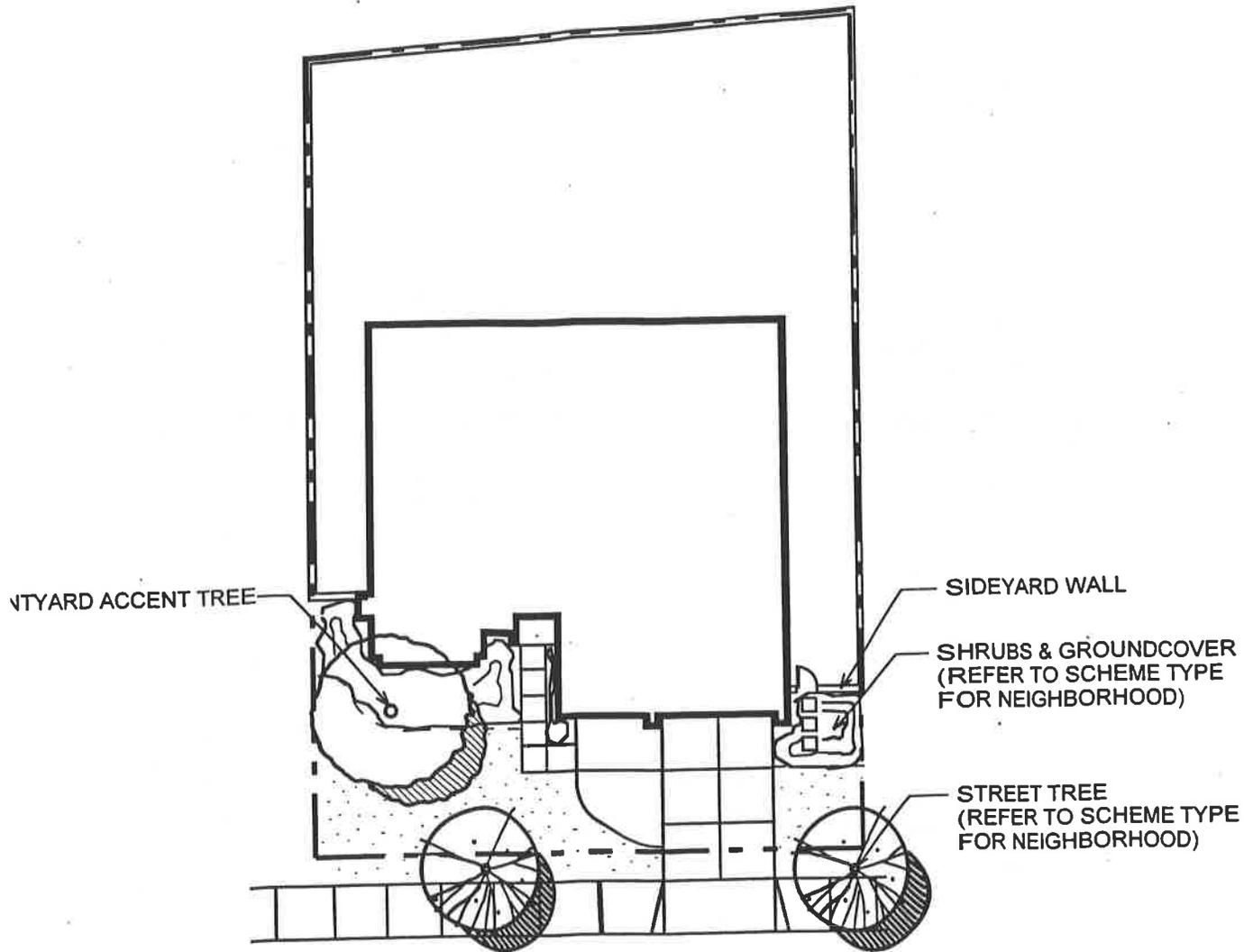
LA LAGUNA ESTATES SPECIFIC PLAN

KEY:

	COMMUNITY ENTRY MONUMENTATION
	NEIGHBORHOOD ENTRY MONUMENTATION
	TRAIL CONNECTIVITY NODE
	McVICKER CANYON PARK COMMUNITY TRAIL

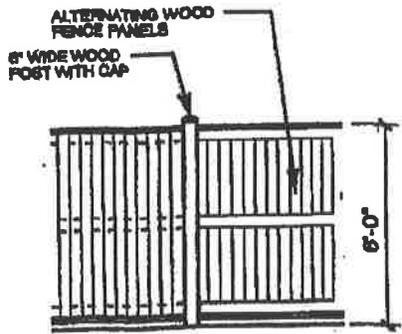
	VIEW FENCE.
	COMMUNITY THEME WALL.
	PRODUCTION BLOCK WALL.
	PRODUCTION SIDEYARD FENCE.
	RETURN WALL.



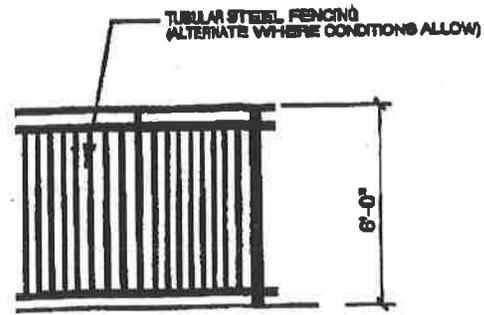


Frontyard Typical Landscaping

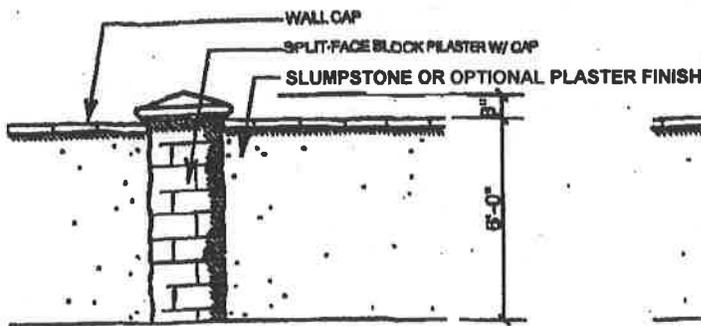
L A L A G U N A E S T A T E S S P E C I F I C P L A N



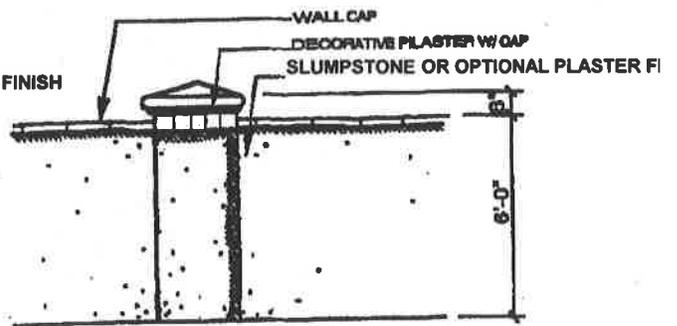
SIDEYARD WOOD FENCE
N.T.S.



RESIDENTIAL THEME VIEW FENCING
N.T.S.



NEIGHBORHOOD PRODUCTION WALLS
N.T.S.



NEIGHBORHOOD THEME WALLS
N.T.S.

Fencing shall comply with the provisions of Section 5.3.7.1 (Walls and Fences)

Wall And Fencing Profiles

L A L A G U N A E S T A T E S S P E C I F I C P L A N

5.3 ARCHITECTURAL GUIDELINES

The concept for the La Laguna architectural theme has been derived predominantly from two styles which have long influenced California architecture from a historical standpoint, a mix of Spanish Colonial, Monterey and Mediterranean. The objective of these design guidelines is to inspire and stimulate contemporary interpretations of these styles and establish design parameters for the development of La Laguna.

The architectural expression of La Laguna will flavor the Spanish Colonial, Monterey and Mediterranean style of architecture reflecting the rich heritage of Southern California. Examples of this style of architecture for Phases II through VI are shown in **Exhibits 29 and 30a**. While intending to establish a consistent architectural theme for La Laguna, flexibility of design expression is encouraged. The illustrations in these exhibits are offered as visual aids in understanding the intended character and appropriate design usage. **Exhibit 30b** illustrates the actual usage of this theme within the project. Compliance with these Design Guidelines will be determined by the Community Development Director. Residential development shall comply with the following guidelines:

5.3.1 General Intent

- a. One particular style shall not dominate the entire Specific Plan area, but rather an environment shall be created that integrates building designs in order to give an area its own character.
- b. Pitch and form of roofs are visible features which can add impact to the streetscape. Various designs may be employed, but flat roofs will not be permitted.
- c. A strong emphasis shall be given to creating units with a strong indoor/outdoor relationship.
- d. All mechanical equipment shall be screened from view by walls or fences similar in design to the building architecture or by landscaping adequate in size to provide proper screening.
- e. All roofing materials shall be of fire retardant materials. Shake roofs and asphalt roofing materials are prohibited.
- f. Buildings shall be appropriate in mass and scale to the site on which they are placed.
- g. A mix of two-story and single homes shall be encouraged in Phases II through VI. Homes shall be limited to one story in Phase I.
- h. The side and rear elevations of homes shall be well designed and given enhanced architectural treatment, especially when visible from public rights-of-ways.



HORIZONTAL BANDING OF VERTICAL WINDOWS. CONTRASTING TRIM.



FRENCH DOORS TO RELATE TO THE OUT-OF-DOORS.



CALIFORNIA RANCH - HORIZONTAL EMPHASIS. ROOF OVERHANGS.



ENTRY PORCHES CREATE OUTDOOR ROOMS. STUCCO EXTERIOR.

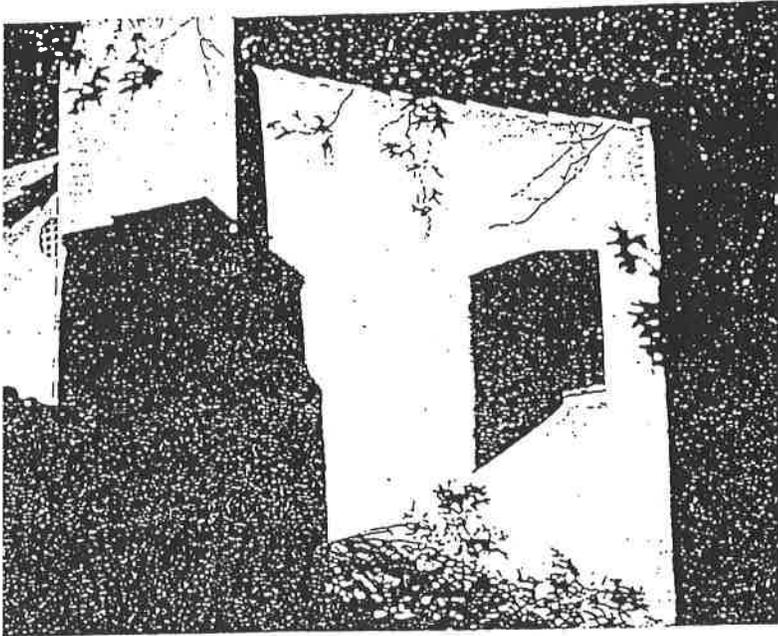


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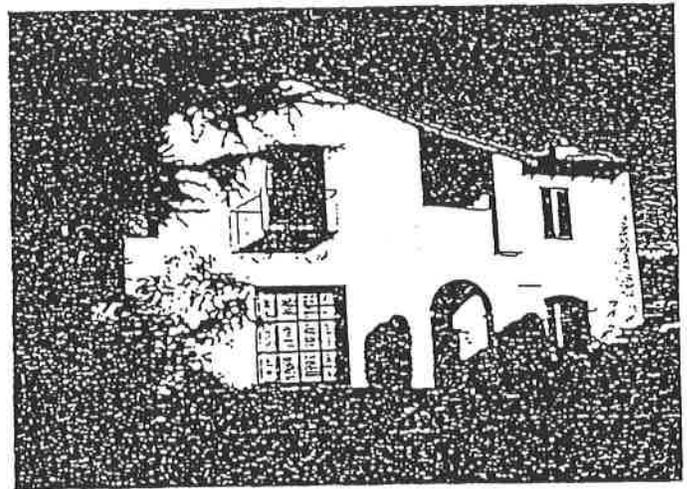
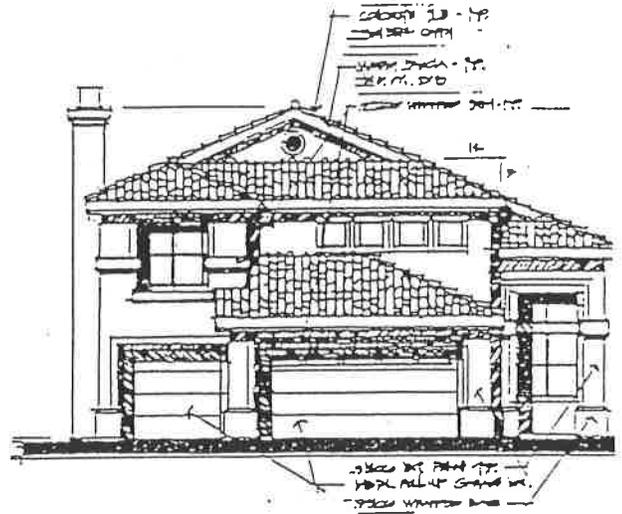


L A L A G U N A E S T A T E S S P E C I F I C P L A N

Architectural Renderings 1 Story



RECESSED WINDOW, ARTICULATED CHIMNEY, GRILLED AIR VENT.



SPANISH COLONIAL REVIVAL - SIMPLE AND ELEGANT.



not to scale



L A L A G U N A E S T A T E S S P E C I F I C P L A N

Architectural Renderings 2 Story



1B - SANTA BARBARA

4C - MONTEREY

3A - SPANISH

2C - MONTEREY

STREETSCAPE PLAN
LA LAGUNA
ESTATES - SMALL
 LAKE ELANONI, CALIFORNIA
 K. HOVNIANIAN - FORECAST HOMIES

LA LAGUNA ESTATES SPECIFIC PLAN
 Amendment No. 1

ds
 DANIELA ASSOCIATES ARCHITECTS & PLANNERS
 1001 W. 14TH AVENUE, SUITE 100, DENVER, CO 80202
 © 2005 DANIELA ASSOCIATES ARCHITECTS & PLANNERS
 FEBRUARY 4, 2005

- i. Final building plans shall be submitted prior to the recordation of Final maps.
- j. Create natural separations by careful land planning of streets utilizing natural land features and open areas. Creative use of cul-de-sacs and loop streets coupled with open space can achieve the separations essential in the creation of identity areas.
- k. Utilize whenever practical, street furniture such as benches, lighting, signs, landscaping etc., to compliment and enforce the theme of an area.
- 1. It is understood that over time market demand for certain architectural styles and trends change. Alternative architectural styles and treatments maybe proposed to meet current market demands subject to Design Review approval.

5.3.2 Building Massing, Scale, and Orientation

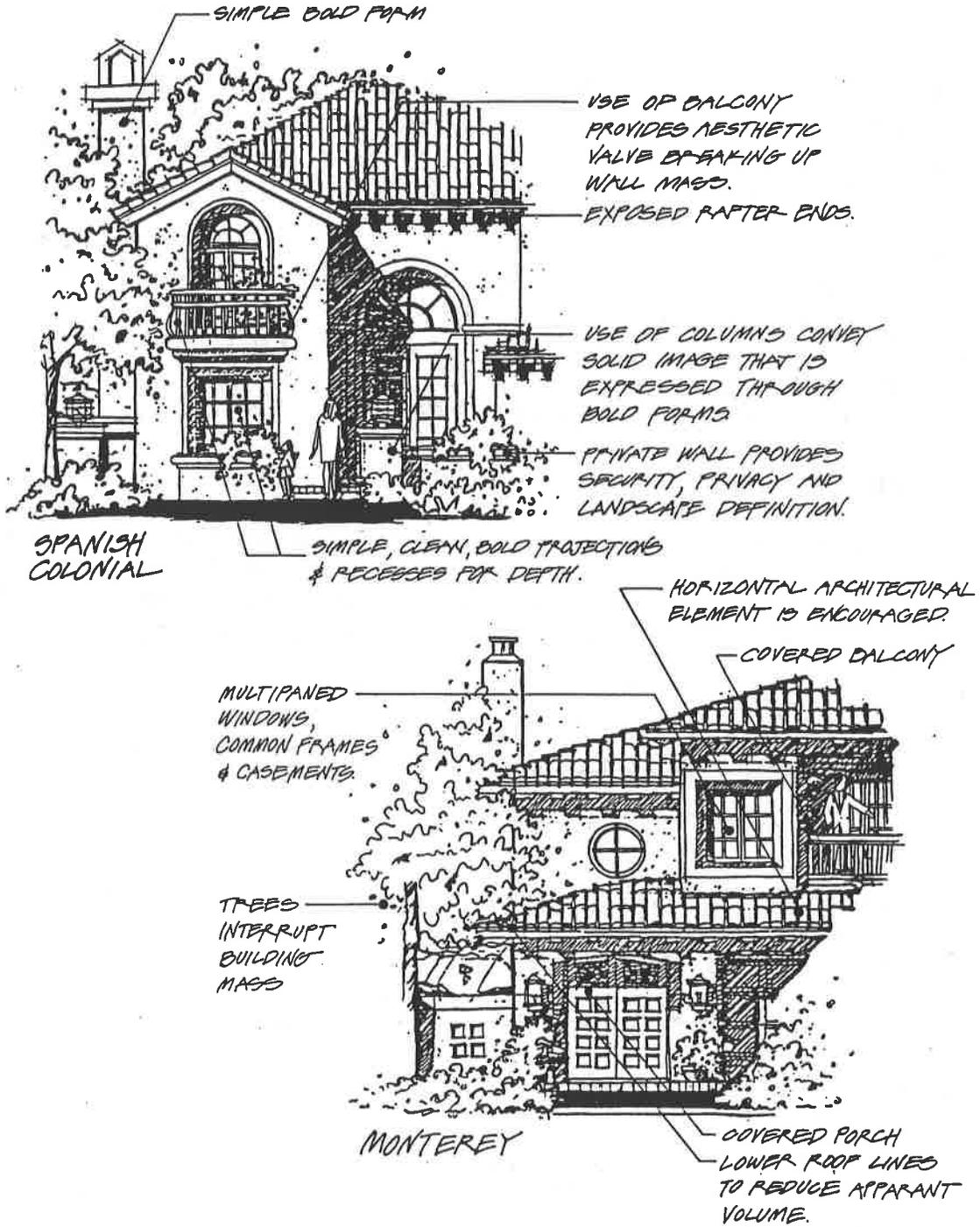
The architectural image of La Laguna will be perceived primarily from public spaces such as streets and open space areas. Therefore, building massing, scale and roof forms are the primary design components and require careful articulation. **Exhibit 31** identifies typical building massing and scale for Phases II-VI of the project site.

Appropriate:

- a. Projections and recesses to provide shadow and depths.
- b. Simple bold forms are encouraged.
- c. Broad pitches and extensive overhangs.
- d. Orient structures to maximize cool breezes.
- e. Angles provided in plan and elevation for visual interest.
- f. Vary one and two stories along development edges to soften transition.
- g. Cantilevered two story balconies.
- h. Covered porches or balconies.
- i. Orient active living areas to the south with properly designed overhangs and trellis' or other sun control devices.

Inappropriate:

- a. Large expanses of vertical or horizontal flat wall planes.



not to scale

Building Massing & Scale

LA LAGUNA ESTATES SPECIFIC PLAN

5.3.3. Building Materials and Colors

Building materials will be of natural materials to reflect the natural elements of the surrounding environment. These materials include plaster or stucco, wood, masonry, adobe and concrete. Exposed wood shall be protected from excessive moisture and sun exposure. The crisp use of tile, brick, stone and masonry are permitted as design accents and trim. Color is intended to act as a primary theme conveying element and reflective of the Spanish/Monterey architectural styles of Southern California. In general the values shall remain light, although darker colors are encouraged to highlight the character of the building. Architectural elements located along development edges.

5.3.4. Windows and Doors

Recessed doors, windows and wall openings are characteristic elements of the allowed architectural styles and convey the appearance of thick protective exterior walls. Fully recessed openings are encouraged as well as pedimented windows and doors to add articulation to the wall surface. Some examples of windows and doors are provided in **Exhibit 32**.

Appropriate:

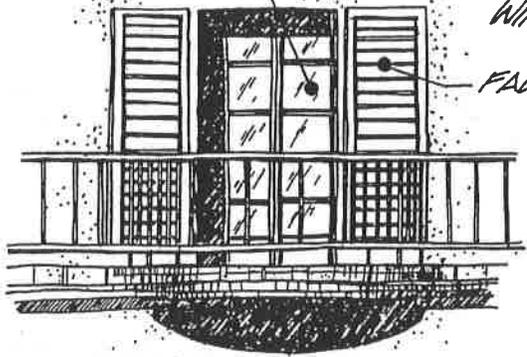
- a. Recessed windows and doors.
- b. Canvas awnings.
- c. Operable windows are encouraged to allow cross ventilation.
- d. Traditional Dutch and French doors.
- e. Decorative doors
- f. Color accented window frames and doorways.
9. Wrought iron accents.
- h. Arched windows and doorways and windows with shutters.

Inappropriate:

- a. Reflective glass and metal awnings .

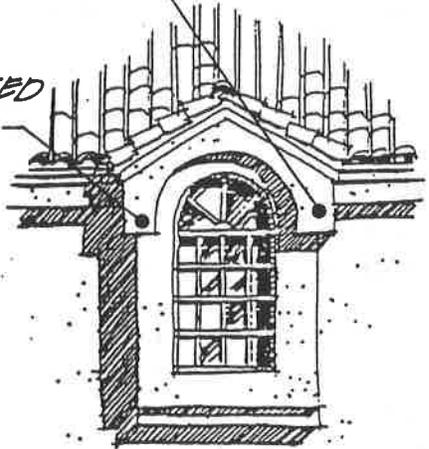
PROJECTING WINDOWS ADD ARTICULATION TO WALL SURFACES

RECESSED DOORS



COLOR ACCENTED WINDOW FRAMES

FALSE SHUTTERS



FULLY RECESSED WINDOWS



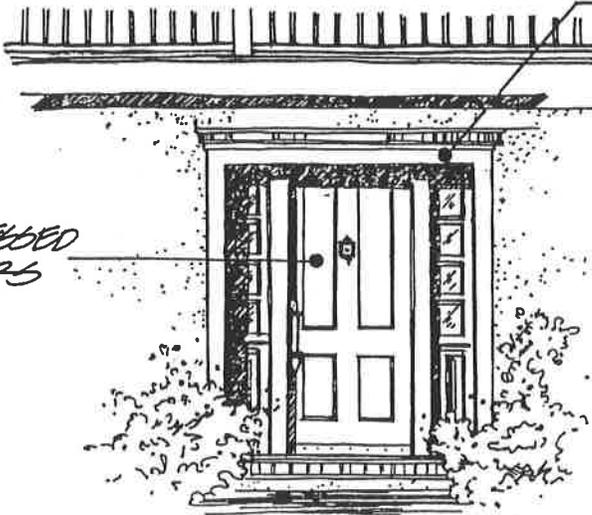
OPERABLE WINDOWS (i.e. CASEMENT, SLIDING) TO ALLOW CROSS VENTILATION

FALSE SHUTTERS

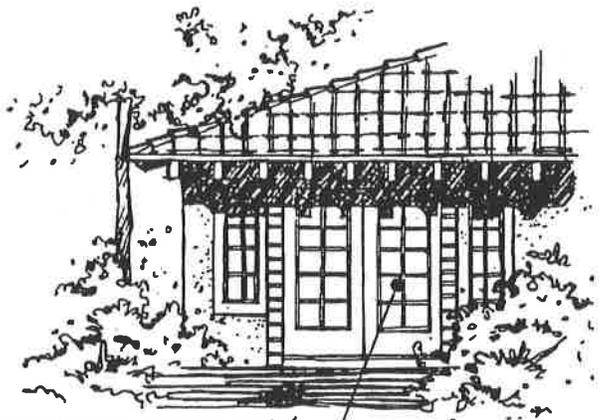


WOOD TRIM PAINTED TO MATCH STUCCO OR LIGHT SEMI-TRANSPARENT STUCCO

RECESSED DOORS



DIVIDED WINDOW & DOOR LIGHTS



not to scale

Windows And Doors

5.3.5. Roof Forms and Materials

Simple pitched gable, hip or shed roof forms with pitches from 4:12 to 7:12 shall be the principal roof forms in La Laguna. All pitched roof materials shall be clay tile or concrete tile, terne metal or copper as approved by the City to ensure continuity in colors, texture and character. Please refer to **Exhibit 33**.

Appropriate:

- a. Hipped or gabled roofs.
- b. Conceal gutters and downspouts.
- c. Low pitched roofs (4:12) minimum and (7:12) maximum.
- d. Flat concrete tile or barrel tile roofs.
- e. Combine one and two story elements.

Inappropriate:

- a. Flat roofs
- b. Wood shingles.
- b. Asphalt roofing materials.

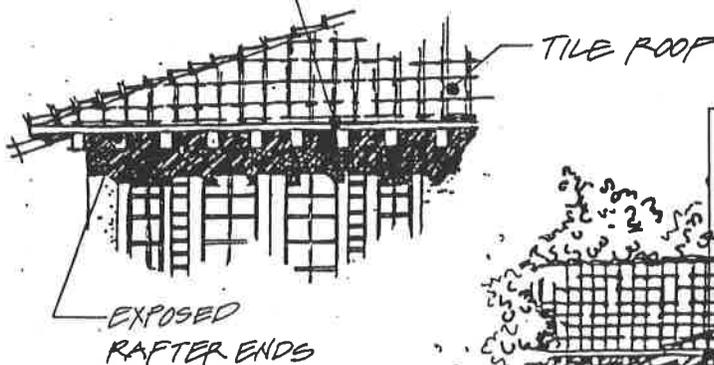
5.3.6. Building Heights and Setbacks

The design of front elevations for the attached housing area in La Laguna shall express in architectural form the building as a cluster of individual homes rather than as a single building. Consideration shall be given to the design of rear elevations as viewed from public spaces by providing a definite variation in plan and roof forms. Please refer to **Exhibit 34**.

- a. Roof expressions shall be varied along the street
- b. Orient houses to respond to controls and devices for solar radiation utilization and wind protection.

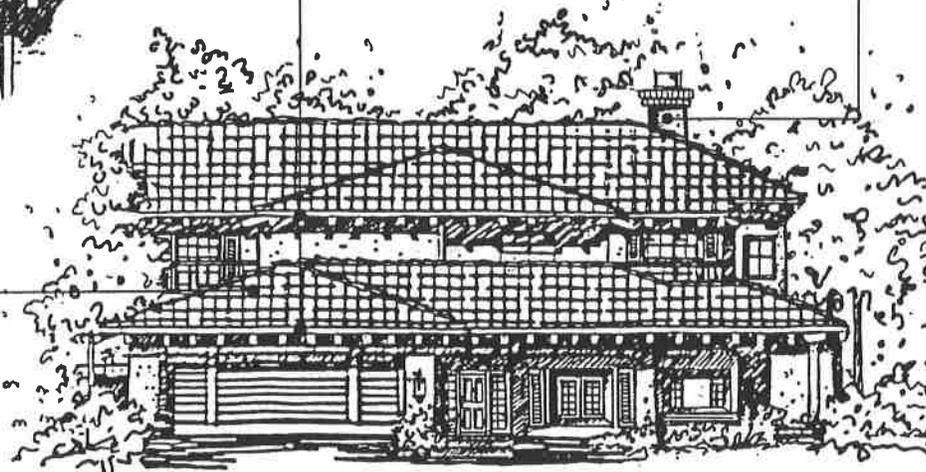
ROOF OVERHANGS SHALL HAVE WOOD FASCIA PAINTED OR STAINED. TO COORDINATE WITH THE BUILDING.

CHIMNEYS ARE ENCOURAGED TO BE SIMPLE IN DESIGN, WITH SAME MATERIAL AND TEXTURE AS THE MAIN BUILDING TO ENSURE CONSISTENCE IN CHARACTER AND STYLE.



LARGE ROOF OVERHANGS

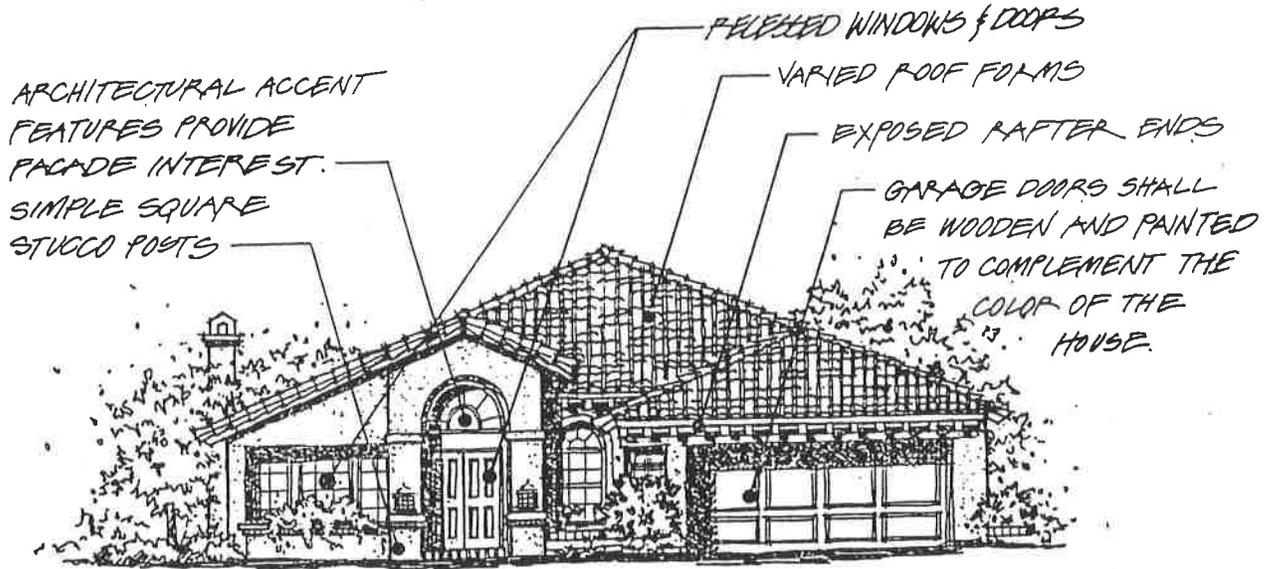
VARIETY OF ROOF FORMS COMBINED WITH AN OFFSET IN ROOF PLANES, CREATE INTEREST AND THE EFFECT OF SHADOWING.



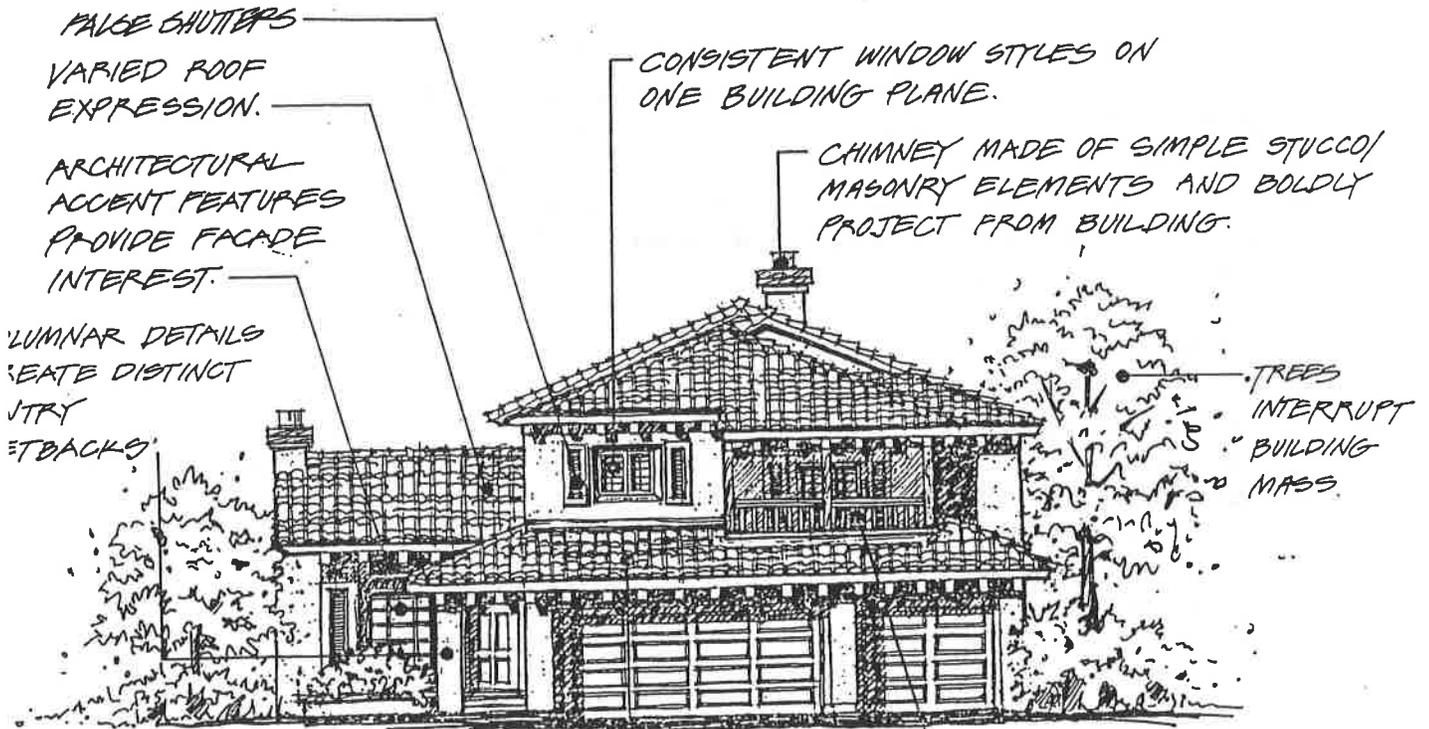
not to scale

Roof Forms & Materials

LA LAGUNA ESTATES SPECIFIC PLAN



SPANISH COLONIAL ONE STORY



MONTEREY TWO STORY

VARIED ROOF FORMS CREATE INTEREST AND HELP REDUCE BUILDING MASS.

CANTILEVERED BALCONY AND SIMPLE RAIL DETAIL.



not to scale

Building Heights & Setbacks

LA LAGUNA ESTATES SPECIFIC PLAN

5.3.7 Architectural Forms and Details

5.3.7.1 Walls and Fences

Private walls and fences are encouraged to provide security, privacy and landscape definition. Fencing between homes, along side yards, and returns when viewed from public streets shall be of stucco, slumpstone, sand, Spanish lace or smooth or flat finish stucco consistent in treatment with the adjacent buildings. Slump block or masonry and accent banding or painted wood is encouraged. Unpainted, plain concrete block walls, chain link, wire, steel and unfinished wooden fences are prohibited. Wood fencing is permitted along side and rear lot lines when not visible from public streets. Fencing, bracketing and posts construction shall comply with UBC standards and the City Municipal Code at the time of construction.

5.3.7.2 Garage Doors

Garages are a major visual element in residential developments. Ornamentation is strongly encouraged as it relates to the architecture and serves to provide variety along the streetscape. Design treatments include color accents and architectural features such as moldings, small roofs, pediments, overhangs and projections to recess the garage door. Staggered setbacks to adjacent doors in the attached area are encouraged and roll-up doors are permissible in all residential areas. Corrugated metal doors are inappropriate.

5.3.7.3 Mailboxes

When utilized, common collection mailboxes within a residential area shall be installed pursuant to the requirements of Building and Safety and the US Postal Service. The location of the mailboxes shall be subject to the approval of the US Postal Service and or Community Development Director or its designee prior to installation. Common mailboxes shall be located in decorative housings which incorporate similar materials, colors and textures utilized on the housing areas in which it serves.

6.0 ADMINISTRATION AND SUBSEQUENT ENTITLEMENTS

This Section is provided to define the relationship between the Specific Plan and other City Codes and the process for obtaining approval of development projects.

6.1 ADMINISTRATION

The Administration Section defines the relationship between the Specific Plan and other City Codes.

6.1.1 La Laguna Estates Specific Plan

The La Laguna Estates Specific Plan, as filed in the Community Development Department of the City of Lake Elsinore, is hereby approved and adopted as the Land Use Regulations for the La Laguna Estates Specific Plan Area as defined according to the Legal Description.

6.1.2 Regulatory Effects

All subsequent development plans, design review plans, subdivision maps, grading permits, building permits or any other action requiring ministerial or discretionary approval will be required to substantially comply with these development standards. Those standards that are silent and are not addressed in this document or the Development Agreement will revert to the City of Lake Elsinore Zoning Code and/or Municipal Code in effect at the time future projects are proposed.

6.1.3 Interpretation

Unless otherwise provided, any ambiguity concerning the content or application of the La Laguna Estates Specific Plan shall be resolved by the Community Development Director or designee.

6.2 SUBSEQUENT ENTITLEMENTS

6.2.1 Subdivision Maps

Subdivision of the property shall be accomplished by Tentative Tract Map, Vesting Tentative Tract Map, Parcel Map or Vesting Parcel Map in accordance, with the procedures and requirements of the Subdivision Map Act and the City's Municipal Code. Subdivision maps shall be reviewed by the Planning Commission and approved by the City Council.

6.2.2 Conditional Use Permits

Conditional uses are permitted uses which require additional discretionary City review. Conditions of Approval may be established as part of the Conditional Use Permit. Only

those conditional uses listed in the La Laguna Specific Plan shall be permitted. Conditional Use Permit applications are subject to Planning Commission approval.

6.2.3 Temporary Uses

Only those temporary uses listed in Chapter 4.0, DEVELOPMENT STANDARDS, for the various land use designations shall be permitted.

6.2.4 Design Review

All future development shall undergo the City's Design Review process in accordance with the City's Municipal Code at the time of construction. Design Review ensures that development occurs in a manner which enhances the character and quality of the community. It also ensures that the scale, spatial relationships, and architectural treatment of structures including materials, colors, and design, visually contribute to the overall character of the community. The Design Review process also applies to the ancillary elements of projects such as signage and landscape treatments in order to ensure that the overall development maintains the same integrity of design as approved for the primary structure.

6.2.5 Environmental Review

Further environmental clearances are not required for any future residential project if said project substantially complies with the regulations and standards of the La Laguna Specific Plan, in accordance with Section 65457 (a) of the California Government Code. Further environmental clearances may be required if future submittals substantially deviate from the Specific Plan.

6.2.6 Density Transfer Provisions

With the approval of the Community Development director the transfer of residential density from one development area to another is permitted based upon the following provisions:

- a. Transfers of density and acreage are permitted within a residential land use designation so long as the maximum overall permitted number of 660 residential units is not exceeded.
- b. Density may be transferred internally within an individual development area regardless of location or designation if it is determined that the development area can accommodate the increased density without significant adverse impacts.

6.3 AMENDMENTS TO THE SPECIFIC PLAN

It is the intent of this Chapter to set criteria for interpretation of the La Laguna Estates Specific Plan and to define types of changes that will require Amendment to the Specific Plan.

Except as otherwise provided, all changes to the La Laguna Specific Plan shall require an amendment to the Specific Plan document except the items below. The Community Development Director shall determine whether the particular amendment can be approved administratively by the Community Development Director or designee or the amendment is considered substantial enough to warrant review by the Planning Commission and City Council.

Addition of new information to the Specific Plan maps or text that does not change the effect of any regulation. New information may include more detailed, site specific information. If this information demonstrates that development area boundaries are inaccurately designated, based upon the goals and objectives of the Plan, said boundaries may be adjusted to reflect a more accurate depiction of on-site conditions, without requiring a Specific Plan Amendment. Administrative changes do not require Amendments to the Specific Plan.

7.0. IMPLEMENTATION AND FINANCING

7.1 IMPLEMENTATION

Given that market demands are unknown at this time, it is difficult to project precisely when and how on-site utility improvements, public services and construction will occur. Consequently, prior to approval of the Tentative Tract Map for each phase, the applicant shall provide the City with a Detailed Phasing, Improvement, and Financing Plan. Said Plan shall describe all on- and off-site roadway and utility improvements and public services necessary to accommodate buildout of that particularly tentative tract map and phase. Said Plan shall also describe when the improvements and public services will be provided, how they will be maintained, and recommend feasible funding mechanisms and sources.

7.2 FINANCING

The La Laguna Development Agreement, CFD 88-3 and the Funding and Acquisition Agreement are integral parts to this Specific Plan and include, among other items, those "backbone" improvements to service those properties located within CFD 88-3. Presently, all backbone improvements have been provided.

The La Laguna project is expected to provide its own on-site improvements, public improvements, and utility hook-ups to accommodate future development. The Developer is responsible for provision of utility improvements and public improvements, and their maintenance consistent with the La Laguna Development Agreement. Possible methods for financing the provision and maintenance of utility improvements and public improvements could include:

- a. Homeowner's Associations
- b. Lighting and Landscape Maintenance District Overlay
- c. Community Facilities District
- d. Mello-Roos Special Taxes

8.0 GENERAL PLAN CONSISTENCY

State law requires that a specific plan be consistent with the adopted General Plan. It also requires that Specific Plans discuss the ways in which the proposed plan implements the goals, policies and objectives of the Lake Elsinore General Plan and a brief discussion of the ways in which the La Laguna Estates Specific Plan implements these goals, policies and objectives. The City of Lake Elsinore adopted its General Plan November 27, 1990 (Resolution No. 90-114). The La Laguna Estates Specific Plan implements the goals and objectives of the Lake Elsinore General Plan in the following manner:

8.1 LAND USE ELEMENT GOALS AND OBJECTIVES

GOAL 1.0 **To achieve the development of a well-balanced and functional mix of residential, commercial, industrial, open space, recreational and institutional land uses.**

OBJECTIVE 1.1 Encourage the development and maintenance of a broad range of housing types for all income groups and age categories.

SPECIFIC PLAN IMPLEMENTATION: The Specific Plan provides for the establishment of two residential land use categories which will allow for the development of housing for all income groups and age categories.

OBJECTIVE 1.2 Encourage the development of commercial land uses and the revitalization of existing commercial uses that strengthen the City's economic base and offer a range of enterprises that serve the needs of residents and visitors.

SPECIFIC PLAN IMPLEMENTATION: Commercial uses are not compatible with the proposed Specific Plan

OBJECTIVE 1.3 Encourage industrial land uses to diversify Lake Elsinore's economic base.

SPECIFIC PLAN IMPLEMENTATION: Industrial uses are not compatible with the proposed Specific Plan

OBJECTIVE 1.4 Provide for open space and recreational land uses to meet the needs of the community.₃

SPECIFIC PLAN IMPLEMENTATION: The Specific Plan provides for the preservation of 43% of the site as natural open space. Recreational opportunities are reserved for the areas in McVicker and Rice Canyons.

- OBJECTIVE 1.5** Provide for institutional land uses to meet the social, economic, cultural, spiritual and educational needs of the residents.
- SPECIFIC PLAN IMPLEMENTATION:** The Specific Plan provides for the institutional land uses as outlined in the Assessment District established for the area.
- OBJECTIVE 1.6** Encourage a jobs-to-housing balance of one job for every .82 households by the year 2010.
- SPECIFIC PLAN IMPLEMENTATION:** The Specific Plan provides for the development of 660 dwelling units, which will help meet the jobs-to housing balance ratio.
- GOAL 2.0** **To maintain the City's role as a year-round resort destination.**
- OBJECTIVE 1.7** Provide for new development around the lake that offers increased recreational activities for residents and tourists.
- SPECIFIC PLAN IMPLEMENTATION:** The project is not located around the lake area.
- OBJECTIVE 1.8** Ensure that new development provides open space, parkland, and amenities that contribute to a high quality of life for residents and tourists.
- SPECIFIC PLAN IMPLEMENTATION:** The Specific Plan provides Recreation uses including equestrian uses will be a possibility as identified in this Specific Plan.
- GOAL 3.0** **To achieve a physical environment in which development of the land respects the City's natural environment.**
- OBJECTIVE 1.9** Ensure the consideration of environmental and geologic features in the planning process.
- SPECIFIC PLAN IMPLEMENTATION:** The EIR and mitigation monitoring program address issues pertinent to environmental and geologic considerations and provide mitigation measures as appropriate.
- OBJECTIVE 1.10** Require physical and visual buffers between land uses characterized by differing functions and density to ensure land use compatibility.
- SPECIFIC PLAN IMPLEMENTATION:** Landscape buffers and berms shall screen arterial streets from residential and natural open space areas and a combination of buffering techniques such

as open space areas, landscaping; building setbacks and building orientations will be provided to ensure land use compatibility.

GOAL 4.0 To provide infrastructure and services to support existing and future land uses.

OBJECTIVE 1.11 Ensure that impacts on infrastructure from new development do not exceed the City's ability to provide essential facilities and services; and plan for the correction of existing infrastructure and service deficiencies.

SPECIFIC PLAN IMPLEMENTATION: The EIR and Mitigation Monitoring Program address issues pertinent to public services, infrastructure and facilities and provide mitigation measures as appropriate and in conformance to the CFD 88-3.

8.2 OPEN SPACE/CONSERVATION ELEMENT GOALS AND OBJECTIVES

GOAL 1.0 To identify, protect and conserve natural resources.

OBJECTIVE 1.1 Preserve important biological habitats and protect plant and animal species of concern.

SPECIFIC PLAN IMPLEMENTATION: The EIR and Mitigation Monitoring Program address issues pertinent to biological habitats and considerations and provide mitigation measures as appropriate.

OBJECTIVE 1.2 Increase and preserve natural and planted vegetation on public and private lands.

SPECIFIC PLAN IMPLEMENTATION: Much of the site will remain as natural open space.

OBJECTIVE 1.3 Promote water conservation and ensure that the quality of water resources is not degraded as a result of urbanization of the City.

SPECIFIC PLAN IMPLEMENTATION: In order to conserve water, the project shall comply with water conservation measures as established by the EVMWD.

OBJECTIVE 1.4 Promote storm water discharge pollution programs to reduce urban pollutants in storm water runoff.

SPECIFIC PLAN IMPLEMENTATION: Increase awareness of storm water pollution. Provide handouts and education for lawn watering and fertilizing, etc.

OBJECTIVE 1.5 Promote the conservation of scarce energy resources and reduce the community's reliance on traditional energy resources.

SPECIFIC PLAN IMPLEMENTATION: The Developer will consult with SCGC and SCE to select efficient applications for energy conservation techniques for La Laguna.

GOAL 2.0 **To achieve and maintain state and national ambient air quality standards.**

OBJECTIVE 2.1 Promote land use patterns that reduce daily automotive trips and Reduce trip distance for work, shopping, school and recreation.

SPECIFIC PLAN IMPLEMENTATION: Pedestrian circulation is provided by a network of pedestrian pathways throughout residential neighborhoods. Class 11 Bicycle lanes have been incorporated along the Collector Road serving La Laguna.

OBJECTIVE 2.2 Reduce air pollutant emissions.

SPECIFIC PLAN IMPLEMENTATION: The EIR and Mitigation Monitoring measures as deemed appropriate.

GOAL 3.0 **To prevent the loss of significant historical and cultural resources.**

Objective 3.1 Identify and promote the preservation and conservation of paleontological and archaeological sites.

SPECIFIC PLAN IMPLEMENTATION: Any possible impacts associated with project development will be fully mitigated.

Objective 3.2 Assure the recognition of the City's heritage through preservation of the City's significant historical sites and structures.

SPECIFIC PLAN IMPLEMENTATION: None have been identified on site.

GOAL 4.0 **To identify and preserve open space areas for public safety, recreation, scenic quality and preservation of natural resources.**

SPECIFIC PLAN IMPLEMENTATION: The Plan has been designed to preserve, to the greatest extent feasible, ridgelines and scenic vistas.

OBJECTIVE 4.2 Promote the establishment of permanent open space areas and preservation of significant physiographic features.

SPECIFIC PLAN IMPLEMENTATION: Significant areas of Rice Canyon and the Canyon centrally located in the site have been preserved.

GOAL 5.0 **To encourage the conservation and efficient production of lands with minerals deposits.**

OBJECTIVE 5.2 Control the extraction of mineral resources to ensure minimal disturbance to the environment and surrounding land uses.

SPECIFIC PLAN IMPLEMENTATION: A Mining Reclamation Plan for the project in conformance with SMARA and the project EIR will be prepared.

GOAL 6.0 **To identify, protect and preserve prime agricultural land from premature conversion to urbanized areas.**

OBJECTIVE 6.1 Encourage continued production of prime agricultural soils, groves And other agriculture activity.

SPECIFIC PLAN IMPLEMENTATION: None have been identified.

8.3 PARKS AND RECREATION ELEMENT GOALS AND OBJECTIVES

GOAL 1.0 **To provide a range of recreational opportunities for all residents and visitors.**

OBJECTIVE 1.1 Provide a combination of local park acreage, park facilities and parks and recreation programs to serve the different needs of the community.

SPECIFIC PLAN IMPLEMENTATION: The potential for recreation areas and equestrian uses have been provided within the Plan.

OBJECTIVE 1.2 Provide parkland and recreational opportunities to complement the Tourist orientation of the community.

SPECIFIC PLAN IMPLEMENTATION: The provision of public parks within the project will complement the tourist orientation of the community.

OBJECTIVE 1.3 Encourage the development of private recreational facilities in Lake Elsinore.

SPECIFIC PLAN IMPLEMENTATION: The project site will preserve over 141 acres as natural open space, and lies adjacent to McVicker and Oak Tree Park facilities. The project shall pay all parkland dedication fees at the time of building permit issuance,

less any credits for land or fees previously paid relative to existing park facilities.

OBJECTIVE 1.4 Establish a primary trail network that links, City, County of Riverside and state park and recreation facilities.

SPECIFIC PLAN IMPLEMENTATION: The provision for a community trail has been provided within the Plan.

8.4 PUBLIC SAFETY AND URBAN SERVICES ELEMENT GOALS AND OBJECTIVES

GOAL 1.0 To ensure a high level of public safety for the community.

OBJECTIVE 1.1 Provide effective and cost-efficient police, fire and emergency medical service to the City to minimize potential injury, loss or destruction of persons and property and to provide a safe and secure environment for the City's residents and visitors.

SPECIFIC PLAN IMPLEMENTATION: The La Laguna Estates Specific Plan has incorporated a number of features to help deter incidents of crime including providing adequate lighting. Please refer to the Environmental Impact Report prepared for the project.

OBJECTIVE 1.2 Minimize the risk of loss of life, injury, property damage, and economic and social displacement due to seismic and geologic hazards resulting from earthquakes and geologic constraints.

SPECIFIC PLAN IMPLEMENTATION: As per CEQA regulations Section 15124, when the EIR becomes certified, the EIR will contain necessary sections to identify potential hazards associated with seismic and geologic events. This has been fully mitigated.

OBJECTIVE 1.3 Minimize the risk of injury to residents and visitors and of property damage due to flooding.

SPECIFIC PLAN IMPLEMENTATION: The Development Plan and regulations of the La Laguna Estates Specific Plan provide for a storm drain system. Additional measures shall be undertaken on a project level basis as required by code.

OBJECTIVE 1.4 The City shall work towards reducing the level of risk to persons and property from hazardous waste within the City.

SPECIFIC PLAN IMPLEMENTATION: The project is subject to all federal, state and local requirements for the handling of any hazardous wastes associated with the project, although none are anticipated.

OBJECTIVE 1.5 Coordinate with the County of Riverside and other appropriate agencies to provide effective response to an emergency; minimize property damage in a disaster; and enhance citizen awareness of evacuation routes and actions to be taken in the event of an emergency through education.

SPECIFIC PLAN IMPLEMENTATION: The project has been reviewed by and will implement all conditions imposed by the County of Riverside and other appropriate agencies for emergency services.

GOAL 2.0 To ensure public infrastructure supports existing and future land uses.

OBJECTIVE 2.1 Coordinate with the water districts to provide domestic water supplies and fire flow water requirements to meet existing and future demand.

SPECIFIC PLAN IMPLEMENTATION: All conditions pertaining to water requirements as specified by EVMWD shall be followed.

OBJECTIVE 2.2 Ensure that wastewater/sewer flows are accommodated and provide facilities to meet existing and future development.

SPECIFIC PLAN IMPLEMENTATION: All conditions pertaining to wastewater requirements as specified by EVMWD shall be followed.

OBJECTIVE 2.3 Coordinate with the County of Riverside in the establishment of a long-term solid waste management plan.

SPECIFIC PLAN IMPLEMENTATION: The project is subject to all requirements of the City of Lake Elsinore for solid waste disposal.

OBJECTIVE 2.4 Coordinate planning and development proposals including General Plan Amendments, changes in land use classifications, development agreements, annexations, public financing and redevelopment proposals as well as applicable determinations of consistency with the general plan with the school district serving the planning area in an effort to assist the school district in providing school facilities to meet the needs of the community in a timely manner.

SPECIFIC PLAN IMPLEMENTATION: The provisions for school facilities is covered by the CFD with the payment of fees.

OBJECTIVE 2.5 Ensure that adequate electrical, natural gas and telecommunication systems are provided to meet the demand of new and existing development.

SPECIFIC PLAN IMPLEMENTATION: The project will provide for all required infrastructure and public utilities.

OBJECTIVE 2.6 Encourage the County of Riverside County/City Public Library System to provide sufficient library services and facilities.

SPECIFIC PLAN IMPLEMENTATION: As provided for in the Development Agreement, a fee will be collected to fund municipal public services.

8.5 COMMUNITY DESIGN ELEMENT GOALS AND OBJECTIVES

GOAL 1.0 To develop and reinforce an image of the City related to its Regional and natural setting and its tourist orientation.

OBJECTIVE 1.1 Encourage the preservation of the countryside retreat image.

SPECIFIC PLAN IMPLEMENTATION: The provision of open space features within the project will complement the countryside retreat image of the City.

GOAL 2.0 To preserve, strengthen, or develop the positive qualities of individual districts or neighborhoods and enhance their image and function.

OBJECTIVE 2.1 Encourage new residential development to establish identifiable neighborhoods.

SPECIFIC PLAN IMPLEMENTATION: The development of La Laguna encourages the residential character of the neighborhoods with similar product types (single family dwelling units) of consistent and compatible quality. Design guidelines for architecture, signage, landscaping and streetscapes will provide guidance in developing identifiable neighborhoods.

OBJECTIVE 2.2 Promote and strengthen business and commercial center Identity through architecture, landscaping and signage.

SPECIFIC PLAN IMPLEMENTATION: The project area does not contain commercial uses.

GOAL 3.0 To preserve elements of the natural environment in the community.

OBJECTIVE 3.1 Promote site design and building construction that preserves Significant landforms.

SPECIFIC PLAN IMPLEMENTATION: This has been provided for with the conservation of Rice Canyon and significant areas of natural open space surrounding the development areas.

GOAL 4.0 **To develop a circulation system that creates community image and identity.**

OBJECTIVE 4.1 Establish methods to maintain a country road image in developed areas.

SPECIFIC PLAN IMPLEMENTATION: The project has incorporated the provisions of the Circulation Element of the General Plan.

OBJECTIVE 4.2 Identify the principle gateways of the community and establish arrival statements in the landscape and architectural setting.

SPECIFIC PLAN IMPLEMENTATION: Community entry statements have been provided for as shown in Exhibit 19.

GOAL 5.0 **To protect and enhance public views of significant natural features and of developed land.**

OBJECTIVE 5.1 Establish practices that ensure development features enhance public views

SPECIFIC PLAN IMPLEMENTATION: The project development will be subject to design review as identified in the Specific Plan for La Laguna.

OBJECTIVE 5.2 Encourage developments to locate public streets and public facilities to take advantage of views of natural features.

SPECIFIC PLAN IMPLEMENTATION: The land use plan has sited development areas to take advantage of onsite views and natural features.

GOAL 6.0 **To remove visual blight.**

OBJECTIVE 6.1 Continue and improve efforts to upgrade the visual qualities of developed property.

SPECIFIC PLAN IMPLEMENTATION: The design guidelines and the development of a planned community provide for a high quality environment.

OBJECTIVE 6.2 Identify and encourage preservation of areas or structures with historic significance.

SPECIFIC PLAN IMPLEMENTATION: None have been identified onsite.

8.6 CIRCULATION ELEMENT GOALS AND OBJECTIVES

GOAL 1.0 To provide a street network to move people and goods safely and efficiently throughout Lake Elsinore.

OBJECTIVE 1.1 Maintain a minimum level of service C at intersections during non-peak hours and level of service D at intersections during peak hours.

SPECIFIC PLAN IMPLEMENTATION: Implementation of mitigation measures provided in the EIR will mitigate onsite intersections to a Level of Service C.

OBJECTIVE 1.2 Establish measures to minimize unsafe circulation conditions.

SPECIFIC PLAN IMPLEMENTATION: The circulation system has been designed to provide safe and convenient automobile access throughout the community.

OBJECTIVE 1.3 Preserve the quality of residential neighborhoods by maintaining the legally enforceable speed limits and by discouraging the flow of truck traffic and through traffic.

SPECIFIC PLAN IMPLEMENTATION: The project has incorporated the provisions of the Circulation Element of the General Plan.

GOAL 2.0 To promote a public transportation system that is safe, convenient and effective.

OBJECTIVE 2.1 Develop a strategy to meet the needs of the transit-dependent, residents and visitors of the City.

SPECIFIC PLAN IMPLEMENTATION: The project has incorporated the provisions of the Circulation Element of the General Plan.

GOAL 3.0 To promote alternatives to motorized transportation

OBJECTIVE 3.1 The City shall promote the design and location of future land uses to encourage access by non-automotive means.

SPECIFIC PLAN IMPLEMENTATION: Class 11 bicycle lanes have been provided on major roadway systems

GOAL 4.0 To provide a supply of parking to meet the needs of residents

and visitors to the City.

OBJECTIVE 4.1 Ensure that the public parking needs of the City are met.

SPECIFIC PLAN IMPLEMENTATION: None are required onsite.

8.7 HOUSING ELEMENT GOALS AND OBJECTIVES

GOAL 1.0 To provide decent housing opportunities and a satisfying living environment for residents of Lake Elsinore.

OBJECTIVE 1.1 Achieve the construction of 1,352 new housing units during the next five years. (This objective equals the market rate demands plus 20% of the non-market rate need.)

SPECIFIC PLAN IMPLEMENTATION: La Laguna proposes to be phased over a fifteen-year period.

GOAL 2.0 To conserve and improve the condition of the existing Affordable housing stock.

OBJECTIVE 2.1 Encourage conservation of existing affordable rental housing Throughout the City, including dwellings occupied by households assisted through local, state or federal programs.

SPECIFIC PLAN IMPLEMENTATION: This project will not displace any existing affordable rental housing in the City.

OBJECTIVE 2.2 Prevent the physical decline of existing residential neighborhoods.

SPECIFIC PLAN IMPLEMENTATION: The La Laguna Estates Specific Plan employs design guidelines to prevent this from occurring as well as the establishment of Codes, Covenants and Restrictions by individual Homeowner Associations.

OBJECTIVE 2.3 Achieve the rehabilitation of 50 dwelling units during the next five years.

SPECIFIC PLAN IMPLEMENTATION: The project has incorporated The provisions of the Housing Element of the General Plan.

GOAL 3.0 To assist in the development of housing to meet the needs of low and moderate income households.

OBJECTIVE 3.1 Facilitate the development of at least 200 dwelling units during the Next five years to provide the City's fair share of low and moderate Income households in accordance with Article 10.6 of the California Government Code.

SPECIFIC PLAN IMPLEMENTATION: The project will comply with City mandated housing programs.

GOAL 4.0 **To address, and where appropriate and legally possible, constraints to the maintenance, improvement and development of housing.**

OBJECTIVE 4.1 Achieve reasonable processing times and fees and encourage incentives for the provision of quality housing opportunities.

SPECIFIC PLAN IMPLEMENTATION: The project has incorporated the provisions of the Development Agreement for La Laguna.

GOAL 5.0 **To promote housing opportunities for all persons regardless of race, religion, sex marital status, ancestry, national origin, or color.**

OBJECTIVE 5.0 Coordinate with state and county agencies involved in ensuring compliance with fair housing laws.

SPECIFIC PLAN IMPLEMENTATION: The project development will adhere to all applicable fair housing laws.

GOAL 6.0 **To encourage the incorporation of energy conservation features in the design of all new housing development and the installation of conservation devices in existing developments.**

OBJECTIVE 6.0 Evaluate each residential proposal of more than 50 dwelling units for opportunities to conserve energy.

SPECIFIC PLAN IMPLEMENTATION: Mitigation measures established through the mitigation monitoring program serve to conserve energy.

8.8 NOISE ELEMENT GOALS AND OBJECTIVES

Goal 1.0 **To reduce noise impacts from transportation noise sources.**

Objective 1.1 Reduce transportation noise through a variety of methods, including coordination with various agencies, proper design of transportation facilities, and coordination of traffic routing.

SPECIFIC PLAN IMPLEMENTATION: The plan provides for the use of community walls, berms or barriers which will serve to reduce noise.

Additionally, traffic related noise impacts within the project have been minimized by keeping the bulk of traffic away from local streets and residential neighborhoods.

GOAL 2.0 **To incorporate noise considerations into land use planning decisions.**

OBJECTIVE 2.1 Establish acceptable limits of noise for various land uses throughout the community.

SPECIFIC PLAN IMPLEMENTATION: The project has incorporated the provisions of the EIR and Mitigation Monitoring Program in relation to noise.

GOAL 3.0 **To develop measures to control non-transportation noise impacts.**

OBJECTIVE 3.1 Reduce noise generated by non-transportation sources.

SPECIFIC PLAN IMPLEMENTATION: Noise attenuation measures will be planned as required to comply with existing noise standards. Construction activities will comply with City noise ordinance restrictions.

9.0 DEFINITIONS

For the purpose of carrying out the intent of the La Laguna Specific Plan, words, phrases, and terms shall be deemed to have the meaning ascribed to them as below. **Any definitions not provided** here shall be as provided in the City of Lake Elsinore Municipal Code.

The word "Council" or "City Council" shall mean the City Council of the City of Lake Elsinore, which is the governing body of the City.

The word "County" shall mean the County of Riverside.

The word "Commission" shall mean the City of Lake Elsinore Planning Commission.

The words "Approved by the Director" or "Director," shall mean the Community Development Director of the City of Lake Elsinore acting in person or through a subordinate to whom the authorization to act has been delegated.

The word "shall" is mandatory; the word "may" is permissive.

The word "State" shall mean the State of California.

The word "permitted" means permitted without the requirement for a discretionary permit but subject to all other applicable regulations.

The words "Zoning Code" or "Code" shall mean the Comprehensive Zoning Code of the City of Lake Elsinore.

Access, Primary. The principal pedestrian walkway system to a dwelling unit.

Access, Secondary: An access other than the primary access.

Accessory structure: A subordinate building located on a building site, the use of which is customarily incidental to that of the main building or to the use of the land.

Accessory use: A use customarily incidental and accessory to the principal use of the land, or to a building or other structure but not necessarily located on the same building site as the principal use.

Acres, Gross: The area of a lot or parcel calculated to the center of all adjoining streets, including arterials.

Acres, Net. The area of a lot or parcel calculated after excluding the ultimate right-of-way width of all adjoining public streets.

Basement: A story partly underground and having more than one-half of its height above the ground-level grade.

Building: A structure having a roof supported by columns or walls.

Building height: The vertical distance measured from the ground-level grade to the top of the building directly above that point.

Building line: An imaginary line on a building site specifying the closest point from an ultimate right-of-way or a property line where a main building may be located.

Building site: A parcel or contiguous parcels of land which was established in compliance with the building site requirements of this specific plan.

Building site area: The total area, measured horizontally as a level plane, of the land within the boundaries of a building site not including any street right-of-ways, vehicular easements or other easements that prohibit the surface use of the property except open space landscape or recreational easements; and not including any portion which does not meet applicable district regulations when a building site is divided by such a right-of-way or easement.

Building site coverage: The area of the land within the perimeter of all structures located on the building site, not including the area under unenclosed eaves and unenclosed post-supported overhangs, patios, courts, malls, swimming pools, and off-street parking facilities, divided by the building site area.

Carport. A roofed structure, or a portion of a building, open on one or more sides, primarily for the parking of automobiles.

Cellar: A portion of a building partly or wholly underground and having more than one-half of its height below the ground-level grade. A cellar shall not be considered a story.

Centerline: A line described in the first situation that applies in the following instances:

- a. A section line, half-section line or quarter-section line whenever a mapped highway is plotted on the "Master Plan of Arterial Highways" along a section, half-section or quarter section line.
- b. A line shown as a centerline on a map entitled "Precise Plan of Highway Alignment," and any amendments thereto.
- c. A line shown as a centerline on a recorded tract map, an approved record of survey map or a parcel map.
- d. A line in the center of the ultimate street right-of-way.

Common area - residential. The area within a residential development that is not occupied by residential buildings and which is owned in common by homeowners in the development, and which is available for common use or enjoyment by all property

owners in the development and their invitees (e.g. common parking facilities, recreation areas, landscaped areas, open space areas, and natural areas).

Community facility: A noncommercial use established primarily for the benefit and enjoyment of the population of the community in which it is located.

Community information center. A temporary or permanent structure principally used as an information pavilion and/or temporary real estate sales offices for the sale of homes in La Laguna, including parking and related facilities.

Conditional Use Permit. Requires additional discretionary approval by the Planning Commission and is subject to the provisions of Chapter 17.74 of the Zoning Code. Refer to Sections III and V of the Specific Plan text.

Conservation easement. Synonymous with all open space definitions provided herein.

Conventional subdivision: A subdivision consisting primarily of streets and lots. Commonly owned or special use areas may be included but are secondary and supplementary to the subdivision's design.

Day nursery (including preschool and nursery schools): Any group of buildings, building or portion thereof used primarily for the daytime care of six or more children at any location other than their normal places or residence, excluding any children who normally reside on the premises.

Density. The number of dwelling units per gross acre.

Development: Residential, commercial, industrial, community facility or other construction, including necessary grading, landscaping and parking, together with the land upon which the building or structures are constructed.

Development unit: A portion of a development plan or tentative tract map within which all lots and amenities are constructed or developed at one time or in contiguous interrelated phases as a unit of the overall proposed development.

Driveway. A vehicular passageway for the exclusive use of the occupants of a project or property and their guests. A driveway shall not be considered a street.

Dwelling, single-family. A building containing one dwelling unit per building site.

Dwelling unit. One or more rooms in a structure, including a kitchen, designed for occupancy by one family for living and sleeping purposes, and including factory built and mobile homes when such mobile home bears an insignia of approval issued by the California Department of Housing and Community Development or a housing seal number from the Federal Department of Housing and Urban Development (HUD).

Easement. A recorded right of interest in the land of another, which entitles the holder thereof to some use, privilege or benefit out of or over said land.

Exterior property line: A property line abutting a public or private street.

Family. One person, with or without resident domestic employees, occupying one dwelling unit; or two or more people related by blood, marriage or adoption, with or without domestic employees, occupying one dwelling unit; or a group of not more than six unrelated people, with or without domestic employees, occupying one dwelling unit; or a licensed family care home, foster family home, or maternity home, as defined in Title XXII, Sections 30011, 30013, 30015 of the California Administrative Code, serving six or fewer persons, when such care is provided on a twenty-four hour-per-day basis; or a family day care home, as defined in Title XXII, Section 30019(a) of the California Administrative Code.

Flag lot: See Panhandle lot definition.

Flood, One-hundred-year.- The highest level of flooding that has an average frequency of occurrence in the order of one in one hundred years at a designated location, considering regional meteorological and hydrological conditions characteristic of the geographical region involved. This also means that the level of flooding having a one percent probability of occurrence in any year.

Floodplain: The land area adjacent to a watercourse which is subject to overflow of floodwaters.

Floodway. The channel of a stream or other watercourse and that part of the flood plain reasonably required for passage of a flood of given magnitude.

Garage, private: A building, or a portion of a building, used primarily for the parking of automobiles belonging to the occupants of the property.

General Plan: Refers to the City of Lake Elsinore General Plan as approved November 1990, and elements thereof, as they may pertain to the La Laguna Estates Specific Plan.

Grade, ground level. The average level of the finished ground surface surrounding a building.

Gross residential density. The density of a residential project computed by dividing the total number of dwelling units in the project by the gross area of the project.

Interior property line: A property line which does not abut a private or public street.

Kennel: Any property where four or more dogs, or cats, or any combination thereof, over the age of four months, are kept or maintained for any purpose.

Key lot: Any parcel shown on a recorded tract map, record of survey recorded pursuant to an approved division of land, parcel map, lot line adjustment or recorded Certificate of Compliance, having side property line(s) abutting the rear property line(s) of adjacent parcels.

Local agency: An agency for the local performance of governmental or proprietary function within limited boundaries. "Local agency" does not include the state, a city, or a county. "Local agency" does include but is not limited to school districts, sanitary and sanitation districts, and water districts.

Lot: Any parcel shown on a recorded tract map, a record of survey recorded pursuant to an approved vision of land, lot line adjustments, a parcel map, or recorded Certificate of Compliance. A lot is not necessarily a building site.

Lot coverage: The area of the land within the perimeter of all structures located on the building site, not including the area under unenclosed eaves and unenclosed post-supported overhangs, patios, courts, malls, swimming pools, and off-street parking facilities, divided by the building site area.

Main building(s): The building(s) containing the main or principal use(s) of the premises, or occupied for the purpose of operating or administering the main or principal use(s).

Manufactured Open Space: Any manufactured parcel of land which provides a scenic amenity to the community. This shall include major manufactured slopes when adjacent to natural open space.

Master Plan of Arterial Highways (MPAH): A component of the Circulation Element of the Riverside County General Plan designating adopted and proposed routes for all commuter, secondary, primary, and major highways and transportation corridors within the County of Riverside.

Minimum Lot Area: The minimum square feet of land area for each lot.

Net residential area: The area of land remaining in a project, measured in acres or square feet, after deduction of the area contained in streets (both public and private), schools, public parks, flood control works and any other use, easement or encumbrance which prevents the surface use of the property for a building site or construction of structures.

Open space (Natural): Any parcel or area of land or water which is essentially unimproved and devoted to the preservation of plant and animal life, providing scenic and aesthetic values and an area which serves as links between major recreation and open space preservation areas.

Panhandle lot (Flag lot): A building site wherein the only vehicular access to the site is by way of a corridor or vehicular access way which serves no other property, is less than forty feet wide and is more than forty feet long. In cases where panhandle/flag lots occur, on-street parking shall be provided at a minimum of one (1) space per unit/lot and may be aggregated within the community.

Planned development. A residential subdivision wherein residences, common open areas and landscaping, common private recreation facilities, and pedestrian and vehicular access and circulation patterns are arranged as a unified comprehensive plan

with an identifiable theme or concept and with adequate provisions for permanent maintenance of the common facilities.

Project. A land development readily recognizable as a unit, e.g., a residential neighborhood, condominium, apartment, shopping center, office or business park development, recreation lake, golf course or similar land developments.

Preliminary landscaping plan: A plan indicating the general location, size, type of plant materials, hardscape and ground cover to be located in the yards and other open areas of a development.

Public: Belonging and open to, and enjoyed, controlled, used and maintained by and for, the public generally.

Public agency: The United States, the State of California, the County of Riverside, the City of Lake Elsinore, special districts, and any other governmental entity authorized by law to perform functions for the public or segment thereof.

Recreation areas: Open space areas which offer active and passive recreation and/or scenic attraction of a local and regional significance.

Residential single-family. Refers to any residential zoning district or residential development wherein each dwelling unit is situated on a residential lot of record and no lot contains more than one dwelling unit. Single-family residential includes either attached or detached single-family dwellings, and may include conventional subdivisions and planned developments.

Riding and hiking trails: Any trail or walkway designed for and used by equestrians or pedestrians.

Right-of-way: An area or strip of land either public or private, on which an irrevocable right of passage has been recorded for the use of vehicles or pedestrians or both.

Sales Office: Real estate office which is used for sales leasing and information.

Setback area: The area between the building line and the property line, or when abutting a street, the ultimate right-of-way line.

Setback distance: The distance between the building line and the property line, or when abutting a street, the back of curb.

Sign: Any device used for visual communication or attraction, including any announcement, declaration, demonstration, display, illustration, insignia, vehicle or symbol used to advertise or promote the interests of any person, together with all parts, materials, frame and background.

Site Plan: A plan showing the details of building locations, structures, parking, vehicular access, landscaping and architectural design for a project or building site.

Story: That portion of a building included between the upper surface of any floor and the upper surface of the floor next above, except that the topmost story shall be that portion of a building included between the upper surface or the topmost floor and the ceiling or roof above.

Street. A public or private vehicular right-of-way other than an alley or driveway, including both local streets and arterial highways.

Street opening: A curb break, or a means, place or way provided for vehicular access between a street and abutting property.

Structure: Anything constructed or erected requiring a fixed location on the ground or attached to something having a fixed location on the ground except business signs, tennis court fences, and other fences around unenclosed outdoor recreation facilities, landscape facilities, and other minor improvements. A mobile home on a permanent foundation is a structure.

Tot lot: An improved and equipped play area which is intended for children up to seven (7) years of age. Tot lots include facilities as play apparatus, paved areas for wheeled toys, benches, sand areas, small wading pools, and turn area.

Use: The purpose for which land or a building is occupied, arranged, designed or intended, or for which either land or building is or may be occupied or maintained.

Yard: The open space within a building site that is unoccupied and unobstructed by any structure or portion of a structure from 30 inches above the finished grade upward; except that eaves, fences, walls used as fences, poles, posts and other customary yard ornaments, accessories and furniture may be permitted in any yard subject to the regulations for the district in which it is located.

k. DEVELOPMENT AGREEMENT SUMMARY

1. Project to be reviewed in accordance with the ordinances, rules, regulations and official policies and regulations as of the effective date, July 18, 1990.
2. Developer to cooperate in the formation of a Mello-Roos District.
3. The developer shall dedicate to the City an improved park site of approximately 15 acres in size. Park site to be offered for dedication before March 31, 1994.
4. By the establishment of the Mello-Roos District, payment of fees, and installation of improvements in accordance with the Funding and Acquisition Agreement, the developer shall have fulfilled its entire obligation in regards to the following:
 - (a) Park and recreational facilities
 - (b) Fire protection facilities
 - © Storm drainage and flood control facilities
 - (d) Streets and traffic control facilities.
5. Developer shall be entitled to develop the property in accordance with the Development Parameters, Exhibit "H."
6. Development mitigation fees are to be paid by the developer.
7. Developer shall not be subject to any capital improvement fees enacted or increased after the effective date.
8. Fees applicable to the project shall not be modified or renegotiated as a condition of approval of the tentative map or any other project approval.
9. Subdivision maps filed within the term of the agreement shall be automatically extended for the term of the Development Agreement.