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RAMSGATE

SPECIFIC PLAN

Sixth Revision
Approved August 14, 2007
Adopted August 28, 2008



Lead Agency:
City of Lake Elsinore

Project Sponsor:
Wasson West, L.P.

Prepared By:
Albert A. Webb Associates

City Council
Approved 8-14-07
(Carrie Donahoe)

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CITY OF LAKE ELSINORE
PLANNING DIVISION

RAMSGATE SPECIFIC PLAN

6TH REVISION

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1.0 EXECUTIVE SUMMARY

This Sixth Revised Ramsgate Specific Plan has been prepared for the development of approximately 1,366.2 gross acres within the City of Lake Elsinore in southwestern portion of Riverside County.

Ramsgate is a planned community – a community that contains a mixture of open space, residential, and public uses as well as roads and trails that have been carefully planned to create a dynamic environment in which residents can live, attend school and partake in recreational activities. This Sixth Revised Ramsgate Specific Plan describes all aspects of the planned community and will serve to guide its development. Included in the appendices are the conditions of approval placed on the project by City Council.

Ramsgate will enjoy the benefits of a planned community. The project will fulfill a demonstrated need in the area for additional dwelling units especially to support the commercial and retail development occurring within one mile of the project. The infrastructure and other public facilities will be sufficiently sized to meet the demands of the community at buildout. In addition, specific planning and design elements will be applied to create a varied yet cohesive project.

It is the intent of the Ramsgate project to be varied in character, yet provide complimentary land uses to existing and proposed project components. Additional objectives of the project include:

- To satisfy anticipated market needs and public demand by providing a diversity of housing types and site locations which will be marketable within the developing economic profile of the City of Lake Elsinore.
- To target the residential product types and concepts to emerging, growing and mature families.
- To include design segments in the residential products that respond to forecastable demands in the market area and incorporate design standards related to traditional and contemporary neighborhoods.

- To create a community identity for the Ramsgate project through a consistent application of architectural standards, landscape standards, and recreational facilities standards.
- To preserve natural open space as habitat for sensitive wildlife species.

The objective of the Sixth Revision to the Ramsgate Specific Plan is:

- To increase the size of the Specific Plan by adding an additional 74.6 acres of residential development to the southwestern portion of the project.
- To provide for an additional 274 dwelling units appealing to different affordability niches.

2.0 INTRODUCTION

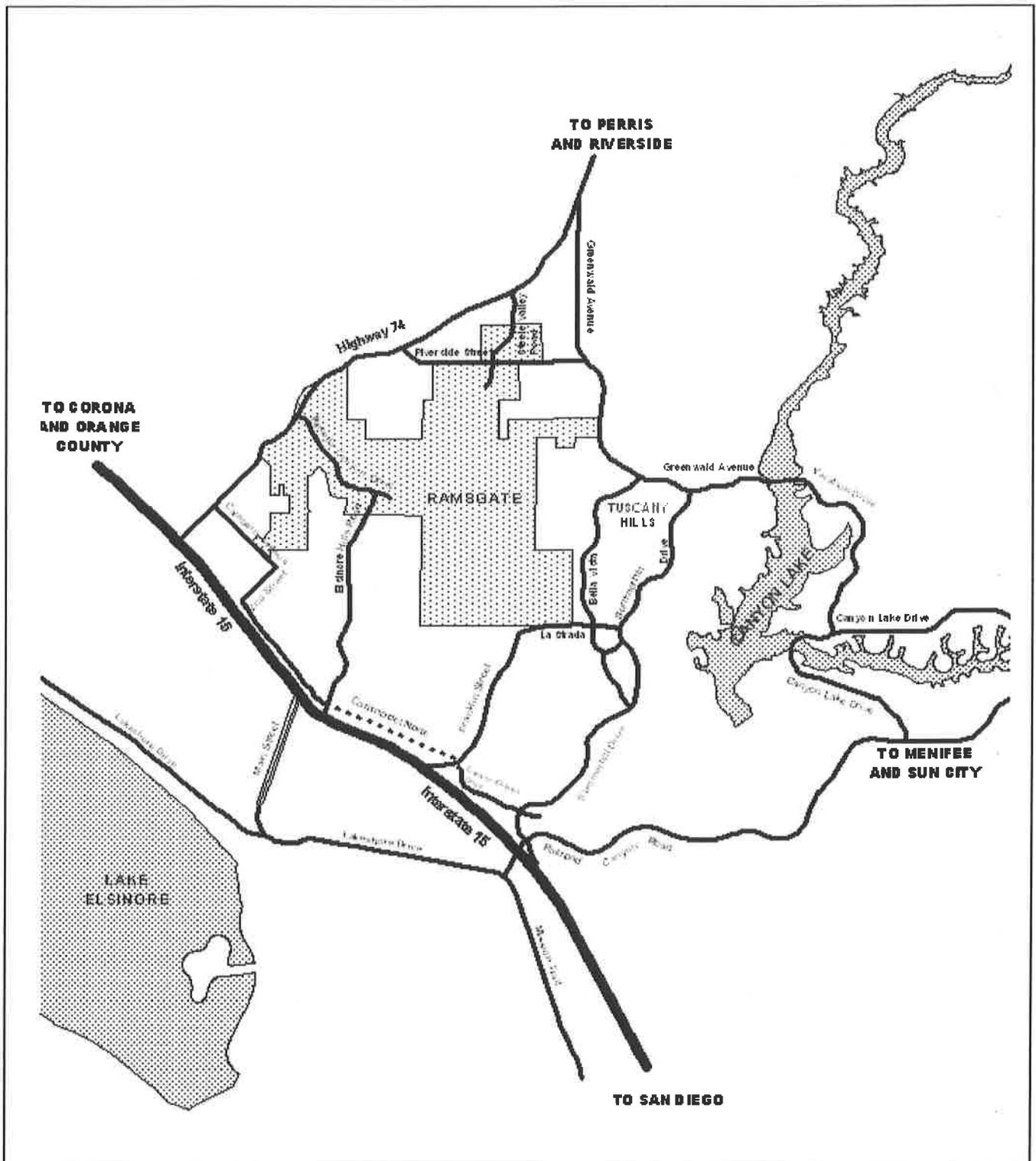
2.1 Site Location/Description

Ramsgate is located within the City of Lake Elsinore in the southwestern portion of the County of Riverside. *Exhibit 1, Regional Location Map*, is a regional location map that shows the relationship of the site to the Southern California environment.

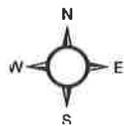
The Ramsgate planning area contains approximately 1,366.2 gross acres and is located principally within Township 5 South Range 4 West, San Bernardino Baseline and Meridian. The site is approximately one mile north of Interstate 15 and directly south of Highway 74. Highway 74 generally serves as the main access to Ramsgate from the west. Riverside Street bisects the project site in the north and future extension of La Strada from Tuscany Hills to the east will provide access to Ramsgate, as will the future extension of Elsinore Hills Road to the south. *Exhibit 2, Vicinity Map*, is a vicinity map which illustrates the project location within a local context.

2.2 Project Overview

The Sixth Revised Ramsgate Specific Plan area consists of 1,366.2 gross acres and contains a total of 2,759 dwelling units. Approximately 682 acres will be preserved in its natural state. In addition, 33 acres of active park land has been dedicated and one public school site is proposed. However, if the school site is developed with single-family residential uses in lieu of the school, it will be developed with 70 dwelling units and the total number of dwelling units within the specific plan will be increased to 2,829 dwelling units. The proposed land use plan for the site consists of the uses outlined in Table 1 below.



ALBERT A.
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Not to Scale

Exhibit 2
Vicinity Map
Ramsgate Specific Plan

**TABLE 1
LAND USE PLAN**

USE	AMENDMENT NO. 5		AMENDMENT NO. 6	
	ACREAGE	UNITS	ACREAGE	UNITS
Single Family	358.8	2,064	422.5	2,338
Multi Family	15.5	421	15.5	421
School Site (PA 6)	N/A		N/A	
School Site (PA 1)	N/A		N/A	
School Site (PA 2)	14.3		14.3	
Park Site (PA 6)	N/A		N/A	
Park Site (PA 1)	32.9		32.9	
Park Site (PA 9)	N/A		N/A	
Park Sites (PA 10)	3.0		3.0	
Park Sites (PA 11)	N/A		5.6	
Open Space	702.5		707.8	
Commercial Site (PA 3)	N/A		N/A	
Commercial Site (PA 1)	2.1		2.1	
Commercial Site (PA 1)	N/A		N/A	
SUBTOTAL	1,127.0		1,203.7	
Local & Collector Public Street Circulation	162.5		162.5	
TOTAL	1,291.6	2,485¹	1,366.2	2,759²

2.3 Project History

The original Ramsgate Specific Plan was adopted by the Lake Elsinore City Council in June 1984. An EIR (SCH No. 83071309) was prepared to address the environmental impacts related to implementation of the Specific Plan and adopted by the City Council in June 1984.

When the Ramsgate Specific Plan – First Amendment was initiated, it proposed 2,850 residential units, two school sites, a community park, two commercial areas and open space uses on 1,190

¹ Should the school site be developed with residential uses, in lieu of the school, it will be developed as medium low density residential with 70 dwelling units and the total number of dwelling units within the specific plan will be increased to 2,555 dwelling units.

² Should the school site be developed with residential uses, in lieu of the school, it will be developed as medium low density residential with 70 dwelling units and the total number of dwelling units within the specific plan will be increased to 2,829 dwelling units.

acres. After the First Amendment to the specific plan was approved and concurrent with eight tentative tract maps, the City requested revising the text to incorporate corrections to typographical errors and the inclusion of the maps. The adjacent tentative tract map (TT 25831) was approved as part of the specific plan (as Second Revised Ramsgate Specific Plan) at a later date. The third amendment to the specific plan (Third Revised Ramsgate Specific Plan) provided for the inclusion of the eight tentative tract maps (TT 25472 through 25479) and Tentative Tract 30698. The fourth amendment of the Ramsgate Specific Plan incorporated changes in the development potential of the specific plan due to the conveyance of approximately 682 acres to the County of Riverside in 2003 for permanent preservation as natural open space. The fifth amendment of the Ramsgate Specific Plan added 52.6 acres associated with TT 33725 to the northeastern portion of the specific plan. This sixth amendment of the Ramsgate Specific Plan incorporates changes in the development potential of the specific plan due to the addition of 74.6 acres into the southwestern portion of the specific plan.

2.4 Project Approvals

On March 27, 1990, the City Council held a public hearing on the first proposed amendment to the Ramsgate Specific Plan. At that hearing the City Council took the following actions:

- Adopted Resolution 90-24, recommending certification of the Supplemental Environmental Impact Report (SCH 88090525) and addendum thereto.
- Adopted Ordinance 886, recommending adoption of the First Amendment to the Ramsgate Specific Plan.
- Adopted Ordinance 892, recommending adoption of the Development Agreement and on May 22nd, the City Council took further action in approving the Development Agreement as Resolution 90-3 for Tentative Tract Maps 25472 through 25479 and does not include Tentative Tract 25831 (which is now Tentative Tract 30698).

On August 28, 1990, the City Council held a public hearing on the second amendment to the Ramsgate Specific Plan. At that hearing the City Council took the following actions:

- Adopted Ordinance 902, recommending adoption of the Second Amendment to the Ramsgate Specific Plan due to Tentative Tract 25831 (which is now Tentative Tract 30698).
- Adopted Ordinance 900, recommending adoption of Zone Change 90-11.

The City Council held a public hearing on the third amendment to the Ramsgate Specific Plan in November 1991, and adopted the amendment at that time.

The City Council held a public hearing on the fourth amendment to the Ramsgate Specific Plan in August 2006, and adopted the amendment at that time.

On September 26, 2006, the City Council held a public hearing on the fifth amendment to the Ramsgate Specific Plan. At that hearing took the following actions:

- Adopted Resolution No. 2006-155, adopting Mitigated Negative Declaration No. 2006-04 and the Mitigation Monitoring Program pertaining thereto.
- Adopted Ordinance No. 1195 approving pre-annexation Zone Change No. 2006-05.
- Adopted Ordinance No. 1196 approving Zone Change No. 2006-07.
- Adopted Ordinance No. 1197 approving Ramsgate Specific Plan No. 89-1, Fifth Revision.

Development within the Ramsgate Specific Plan has proceeded since adoption of the third amendment through the following development approvals:

- Tentative Tract Map 25476, Revision No. 1 approved by the City Council on August 12, 2003
- Tentative Tract Map 25477, Revision No. 1 approved by the City Council on August 12, 2003
- Tentative Tract Map 25478, Revision No. 2 approved by the City Council on August 12, 2003
- Tentative Tract Map 25479, Revision No. 2 approved by the City Council on August 12, 2003
- Tentative Tract Map 30698 approved by the City Council on August 12, 2003
- Tentative Tract Map 25473, Revision No. 1 approved by the City Council on June 21, 2006.
- Tentative Tract Map 25475, Revision No.1 approved by the City Council on August 22, 2006.
- Tentative Tract Map 33725 approved by the City Council on September 26, 2006.

- Tentative Tract Map 34231 approved by the City Council on August 22, 2006.
- Design Review No. R 2004-07 for Fox & Jacobs was approved by the Director of Community Development on August 26, 2004.
- Amendment No. 1 to Design Review No. R 2004-07 was approved by the City Manager on April 4, 2005.
- Design Review No. R 2004-12 for Solana was approved by the Director of Community Development on November 4, 2004.
- Design Review No. R 2004-15 for Caraway was approved by the Director of Community Development on January 3, 2005.
- Design Review No. R 2004-22 for Augusta was approved by the Director of Community Development on February 1, 2005.
- Design Review No. R 2004-04 for the Fairfield Apartments was approved by the City Council on August 24, 2004.
- Design Review No. R2005-21 for the Centex products in Tentative Tract 25476 was approved by the Director of Community Development on March 13, 2006.
- Design Review No. R2005-22 for the Centex products in Tentative Tract 25477 was approved by the Director of Community Development on February 7, 2006.

2.5 Purpose

This Specific Plan has been prepared for the City of Lake Elsinore to address planning issues relevant to Ramsgate, and to meet all applicable regulatory requirements. Condition number 1 of the First Revised Ramsgate Specific Plan conditions of approval required revisions to the text to incorporate corrections, conditions of approval and typographical errors. This Sixth Revised Specific Plan defines the development plan and programs for the 1,366.2 gross acre property and provides regulations, conditions and programs necessary for development. The purpose of this amendment is to amend the Land Use Plan to increase the size of the Specific Plan by adding an additional 74.6 acres of residential development to the southwestern portion of the project. An annexation into the City of Lake Elsinore of the 74.6 acres is being processed concurrently with the processing of this amendment. The regulations contained herein are intended to be responsive to changing community needs and desires in order to function without the need for amendments and review.

3.0 SETTING

3.1 Topography

The topography of the Ramsgate project area consists of broad plains and a series of canyons running north to south. The most dominant of these landforms is Wasson Canyon, which flows southerly in Wasserman Canyon at the southwest boundary of the site. Elevations range from 1,352 to 1,852 feet above sea level. The central and southern portions of the site contain moderate to high relief (150 ± feet), with natural slope gradients up to 1:1.

3.2 Geology/Soils

Ramsgate is located on the west-central edge of the Perris Block and east of the Lake Elsinore Fault zone. In a regional sense, the area could be considered a resequent fault scarp, similar to a highly eroded bluff. This area contains deeply incised drainage (Wasson Canyon), ancestral drainage deposits, generally steep terrain, and remnants of the peneplain in the upper main drainage. The dominant rock type on-site is metamorphosed polytropic sediments, quartzites, limestones, and conglomerates of the Bedford Canyon Formation.

3.3 Hydrology

Ramsgate is located in the southern portion of the Santa Ana River Basin. The majority of the project drains directly into Lake Elsinore via Wasson Canyon and its tributaries. Groundwater was encountered within 30 feet of existing grade in the northern portion of the site and in Wasson Canyon.

3.4 Seismicity

The subject site is situated northeast of the Glen Ivy Fault, which is a branch of the Elsinore Fault. In addition, other active or potentially active faults are known to exist within a 60-mile radius of the site.

3.5 Biology

The primary vegetative community on the site is inland sage scrub. A mixed grass-herbland community is found on many of the relatively level areas of the site. Wasson Canyon and the other major drainages on the site support a riparian community.

Refer to the Ramsgate Specific Plan DSEIR, FEIR and Addendum to the First Amendment for detailed analysis of the biological resources.

3.6 Cultural / Scientific Resources

Record searches and a field investigation in 1981 identified two recorded sites and two field surveys previously undertaken in the study area. The analysis assessment can be found in the FEIR and the Ramsgate Specific Plan DSEIR and Addendum and the Addendums for the revised Tentative Maps. The recorded site identified a prehistoric campsite which was located during the field survey. In addition, several locations exhibiting evidence of prehistoric land use were also observed. Two historical sites were recorded and photographed. These sites appear to be involved in the processing of limestone somewhere near 1889. Two kilns, remnants of buildings and mining shafts were identified.

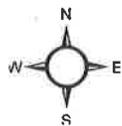
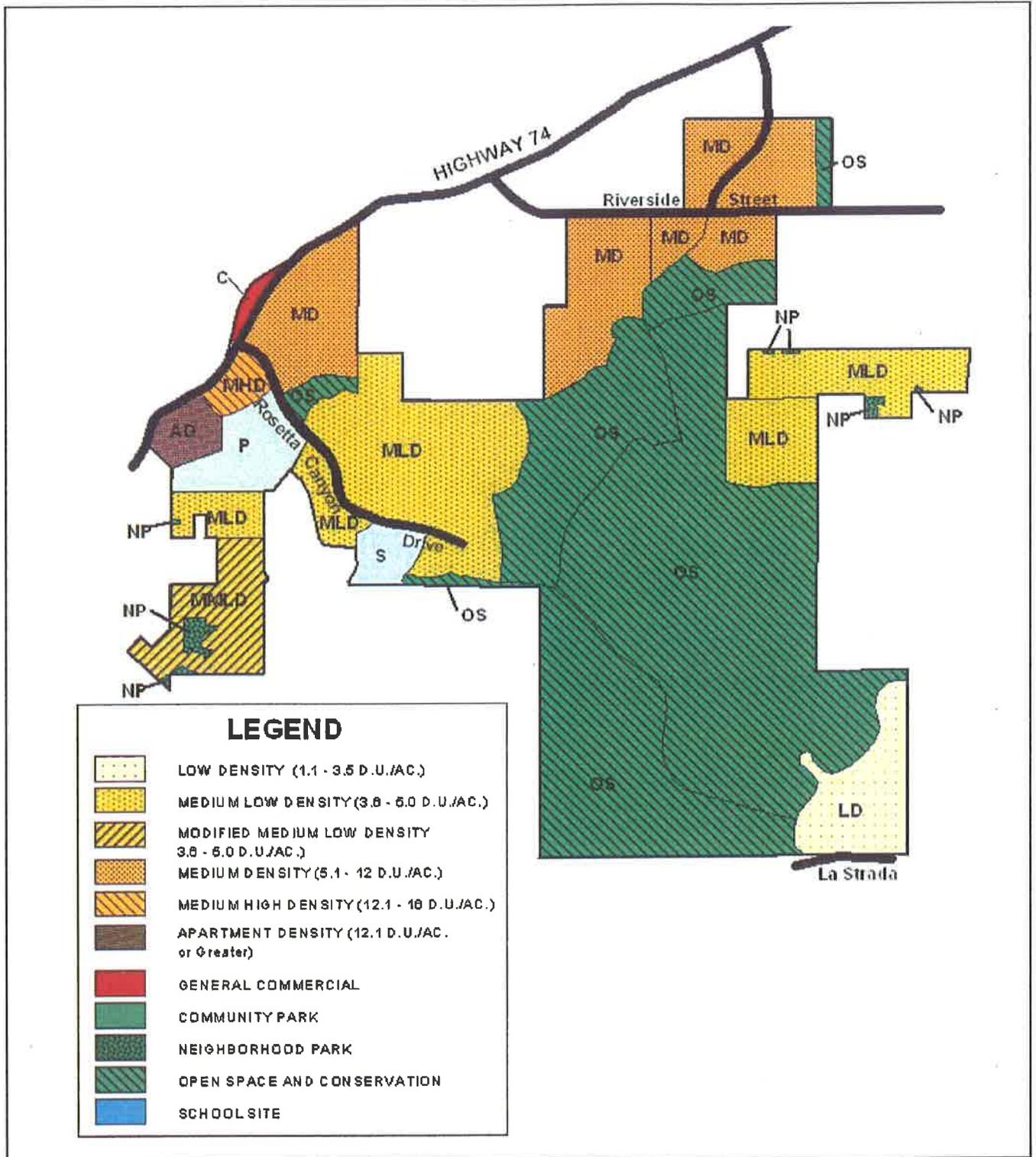
4.0 LAND USE PLAN

Exhibit 3, Land Use Plan, is the land use plan for the Ramsgate community. This plan shows the location of all major land use areas, roads, and other important elements of the community. When approved, it will guide land use decisions within each planning area. Table 2 summarizes the amount and distribution of land use within Ramsgate according to approved tentative tract maps.

**TABLE 2
STATISTICAL SUMMARY**

<u>P.A.</u>	<u>USE</u>	<u>ACRES</u>	<u>UNITS</u>	<u>DENSITY</u>
1	Community Park	32.9	-	-
1	Apartment Density	15.5	421	27.2
1	Medium Density	43.9	279	6.4
1	Medium High Density	13.6	204	15.0
1	Commercial	2.1	-	-
1	Open Space	10.7	-	-
		118.7	904	-
2	Medium Low Density	52.0	281	5.4
2	School Site ³	14.3	-	-
2	Open space	20.4	-	-
		86.7	281	-
3	Medium Density	53.9	320	5.9
3	Open Space	29.8	-	-
		83.7	320	-
4	Medium Density	31.8	234	7.4
4	Open Space	5.0	-	-
		36.8	234	-
5	Open Space	140.6	-	-
6	Medium Low Density	36.8	145	3.9
6	Open Space	148.0	-	-
		184.8	145	-
7	Low Density	56.9	185	3.3
	Open Space	158.3	-	-
		215.2	185	-

³ Should this site be developed with residential uses, in lieu of the school, it will be developed as medium low density residential with 70 dwelling units and the total number of dwelling units within the specific plan will be increased to 2,829 dwelling units.



Not to Scale

**TABLE 2
STATISTICAL SUMMARY
(Continued)**

<u>TT NO.</u>	<u>P.A.</u>	<u>USE</u>	<u>ACRES</u>	<u>UNITS</u>	<u>DENSITY</u>
8		Open Space	164.8	-	-
9		Medium Low Density	23.2	174	7.5
		Open Space/Passive Park	22.0	-	-
			45.2	174	-
10		Medium Low Density	47.0	242	5.1
		Open Space	2.6		-
		Park	3.0		-
			52.6	242	-
11		Medium Low Density	63.7	274	4.3
		Open Space	5.3		-
		Park	5.6		-
			74.6	274	-
All		Local and Collector Public Street Circulation	162.5	-	-
		TOTAL	1,366.2	2,759⁴	

NOTE: The developer may draw upon accumulated pool for use in other planning areas, subject to the provision that no planning area exceed its allocated number of units by more than 10% and the 2,759 dwelling unit figure may not be exceeded in the buildout of the Ramsgate project⁵.

In order to better understand the elements of the land use plan, the following section describes the land use plan in detail.

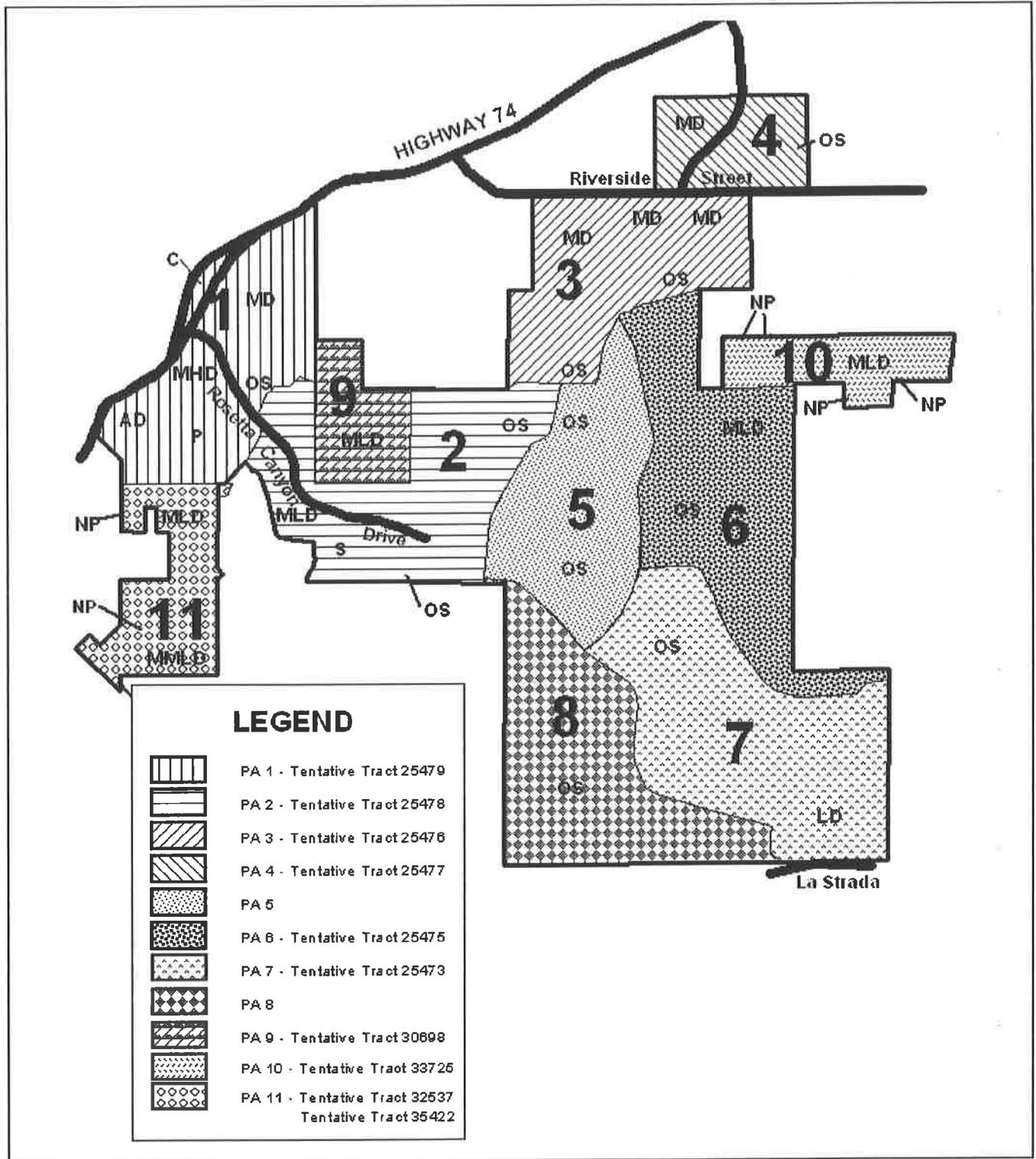
4.1 Land Use Plan

Ramsgate comprises 1,366.2 gross acres and will be developed as a planned community with a projected population of 7,449 persons⁵. This number is based on 2.7 persons per dwelling units as defined in the November 1990 General Plan. The current land use plan for Ramsgate consists of three primary land use designations: residential, school and park/open space. These uses are

⁴ Should this site be developed with residential uses, in lieu of the school, it will be developed as medium low density residential with 70 dwelling units and the total number of dwelling units within the specific plan will be increased to 2,829 dwelling units.

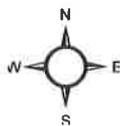
⁵ The estimated population will be 7,638 if the school site is developed with single-family residences in lieu of the school.

discussed according to the planning areas within site. *Exhibit 4, Planning Area Map*, identifies the planning areas within Ramsgate.



LEGEND

	PA 1 - Tentative Tract 25479
	PA 2 - Tentative Tract 25478
	PA 3 - Tentative Tract 25476
	PA 4 - Tentative Tract 25477
	PA 5
	PA 6 - Tentative Tract 25475
	PA 7 - Tentative Tract 25473
	PA 8
	PA 9 - Tentative Tract 30698
	PA 10 - Tentative Tract 33726
	PA 11 - Tentative Tract 32537 Tentative Tract 35422



Not to Scale

Planning Area 1 This planning area is located in the northwestern most portion of the site, south of Highway 74. Residential areas will include medium density and medium high density dwellings and an apartment site is provided adjacent to Highway 74. A 32.9-acre Community Park will provide recreational opportunities for Ramsgate's residents and the general public. As the result of the realignment of Highway 74, there is a 2.1 acre commercial site located on the north side of the highway as part of this planning area. The park will also include a new fire station for the City. Tentative Tract No. 25479 has been approved within this Planning Area and is under construction.

Planning Area 2 This planning area is comprised of medium low density residential areas on both sides of Rosetta Canyon Drive and open space areas devoted to Wasson Canyon. Tentative Tract No. 25478 has been approved within this Planning Area and is under construction. If constructed, an elementary school will serve local school children. Should this site be developed with residential uses, in lieu of the school, it will be developed as medium low density residential 70 dwelling units and the total number of dwelling units within the specific plan will be increased to 2,313 dwelling units.

Planning Area 3 Located in the north central portion of the project, this planning area will be highly visible to local residents and those persons traveling along the Riverside Street through the community. This area includes medium density residential uses and areas set aside as open space within Wasson Canyon. Approved Tentative Tract No. 25476 is located within this Planning Area.

Planning Area 4 This planning area is located in the northernmost portion of the community. This area is devoted to medium density residential units at 7.4 dwelling units per acre and a linear open space area adjacent to Wasson Canyon which is ultimately a tributary to Lake Elsinore. Tentative Tract No. 25477 is located within this Planning Area.

Planning Area 5 Located in the center of the community this planning area is devoted to natural open space for the preservation of habitat for sensitive wildlife species.

Planning Area 6 This planning area contains areas devoted to medium low density residential units and natural open space for the preservation of habitat for sensitive wildlife species. This Planning Area includes Tentative Tract No. 25475.

Planning Area 7 Located in the southeastern portion of the site, this area is adjacent to Tuscany Hills Planned Community. Land uses in this planning area are devoted to low density residential with natural open space uses. This Planning Area includes Tentative Tract No. 25473.

Planning Area 8 This planning area has been set aside as natural open space for the preservation of habitat for sensitive wildlife species

Planning Area 9 This planning area is made up of medium low density residential and an open space/passive park site. Approved Tentative Tract No. 30698 is located within this Planning Area.

Planning Area 10 This planning area is made up of medium low density residential with open space and park acreage. Tentative Tract No. 33725 is located within this Planning Area.

Planning Area 11 This planning area is made up of medium low density residential with open space acreage. Tentative Tract No. 32537 and Tentative Tract No. 35422 are located within this Planning Area.

4.2 Components of the Ramsgate Specific Plan

The following sections describe in greater detail the various components of the Ramsgate Specific Plan. Included in these descriptions are the circulation plan; public services and facilities plan; financing plan; conservation and open space plan; and discussions relating to residential.

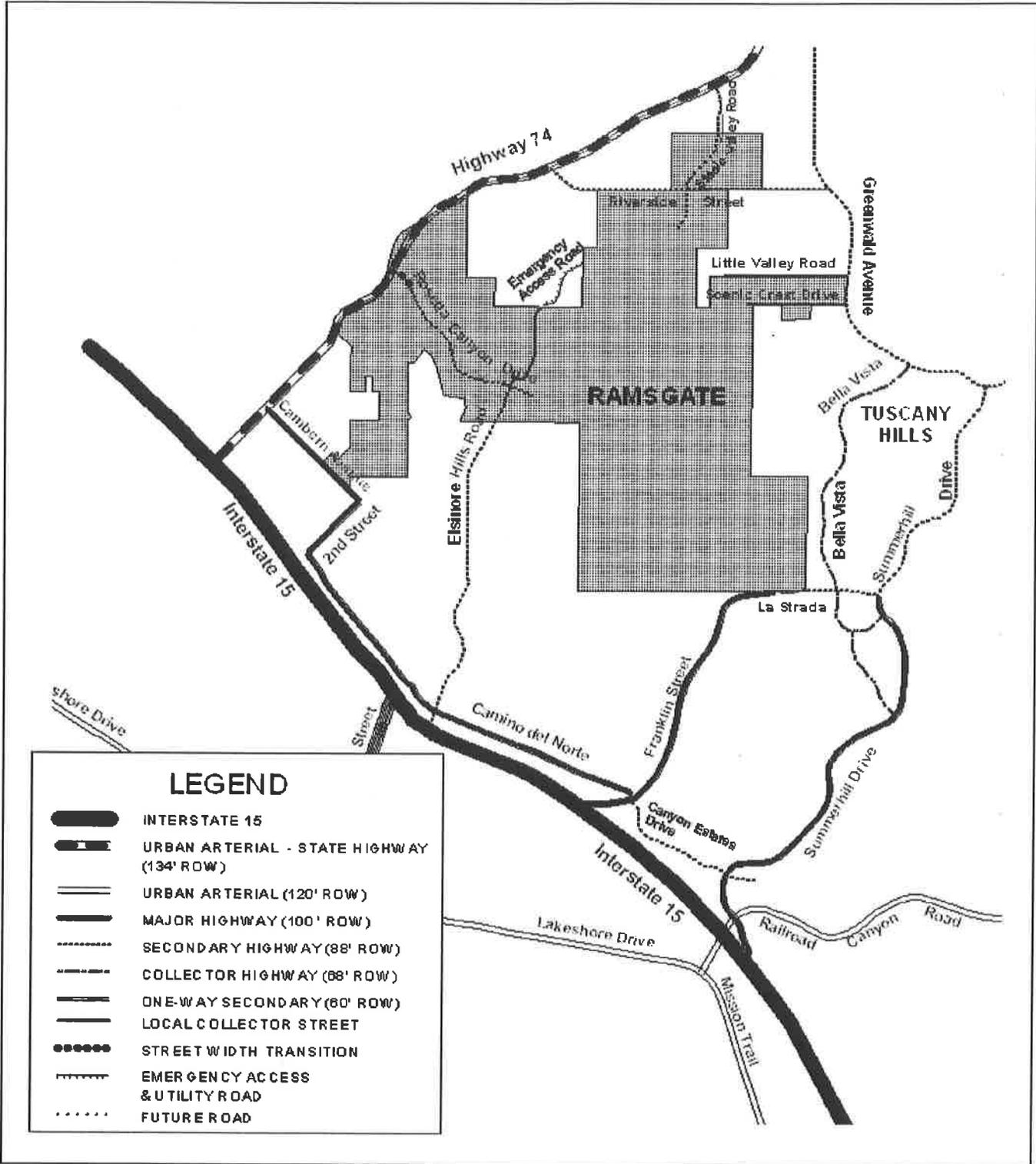
5.0 CIRCULATION

The Circulation system will be designed to provide safe and convenient automobile access throughout the community. The system will be hierarchical with four types of roads: State Highway 74, 4-lane arterials, 2-lane collectors, and local streets. The circulation plan, as previously approved at the subdivision map level, provides for alignments for arterial and collector roadways and their rights of way, as well as treatment of access points into the community and typical street sections. *Exhibit 5, Area Circulation*, illustrates the distribution of roadways throughout the project area as an area circulation exhibit. The following is a brief conceptual description of each of the roadway classifications proposed, although the final configuration of each road's cross-section will be determined at the tentative tract map stage.

5.1 Roadway Systems

A. State Highway 74 – Six (6) Lane Divided Major

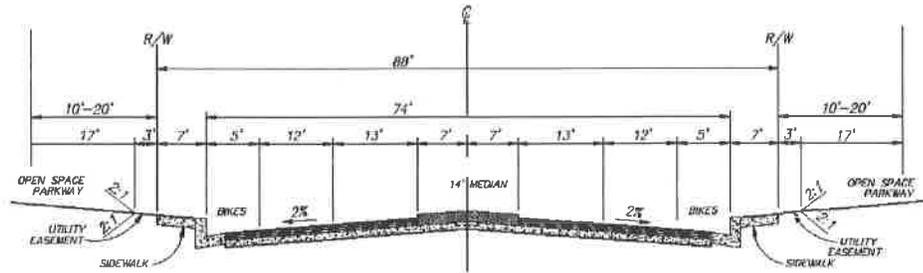
State Highway 74 is proposed as a six (6) lane divided major highway. The Circulation Plan proposes to upgrade State Highway 74 to a 134 foot right-of-way with a 110-foot paved section with concrete curb and gutter. Each travel direction would be comprised of three (3) driving lanes and an eight foot shoulder separated by a raised and landscaped 18-foot wide median. On street parking is prohibited. Highway 74 shall be developed with a landscaped open space border and shall be improved to State alignment and dimensions standards. *Exhibit 6, Cross-Sections*, illustrates the cross section.



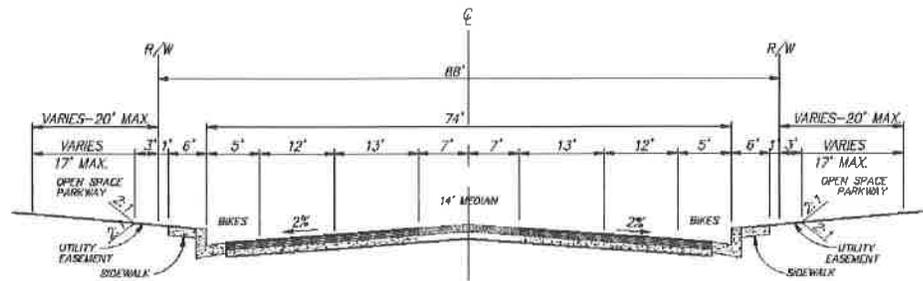
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WEBB
 ASSOCIATES
 ENGINEERING CONSULTANTS

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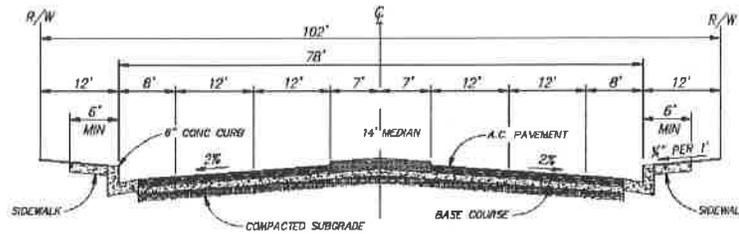
Exhibit 5
Area Circulation Exhibit
Ramsgate Specific Plan



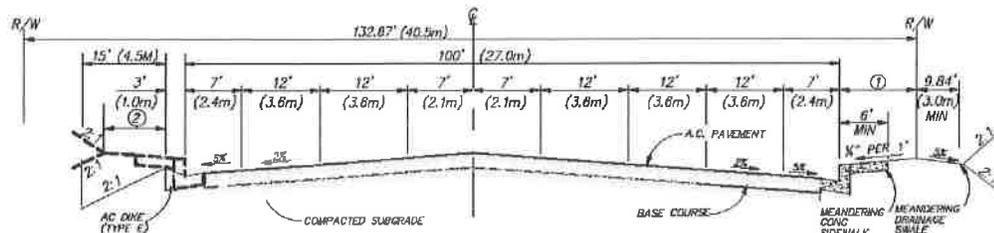
SECONDARY
(ROSETTA CANYON DRIVE)
NTS



SECONDARY
(RIVERSIDE STREET & STEELE VALLEY ROAD)
NTS



SECONDARY
(MAIN ENTRY - ROSETTA CANYON DRIVE @ HWY 74)
NTS



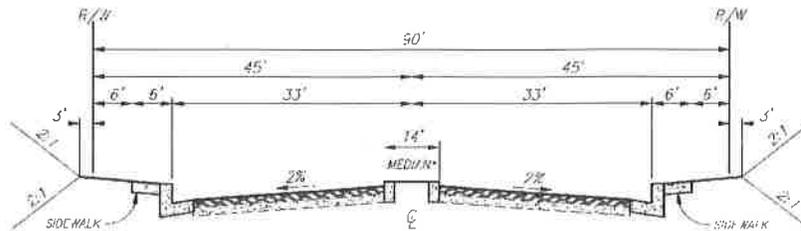
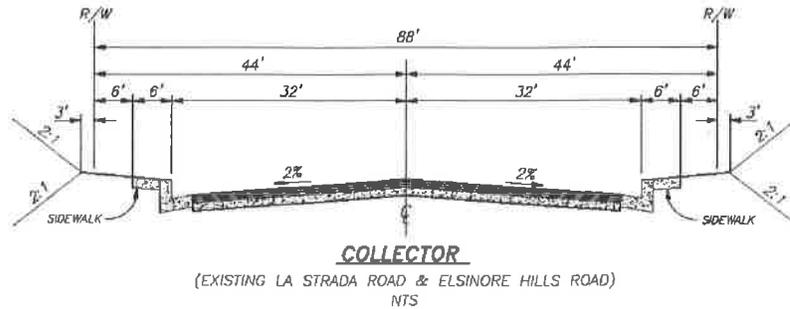
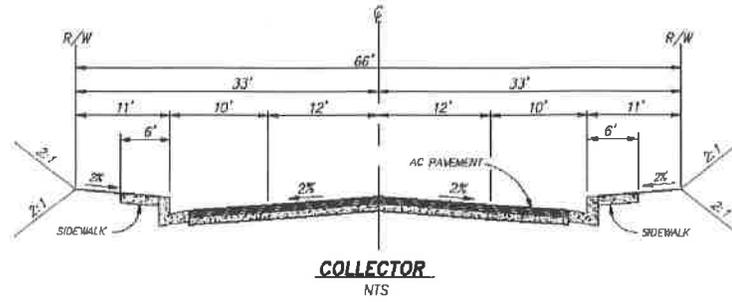
MAJOR
(STATE HIGHWAY 74)
NTS

- ① 16.49' (5.0m) WEST OF ROSETTA CANYON DRIVE & 9.84' (3.0m) EAST OF ROSETTA CANYON DRIVE
- ② 9.84' (3.0m) ALONG FRONTAGE OF COMMERCIAL LOTS 253 & 258

NOTE:
All areas outside of right-of-ways and within Open Space areas will be maintained by the City of Lake Elsinore.

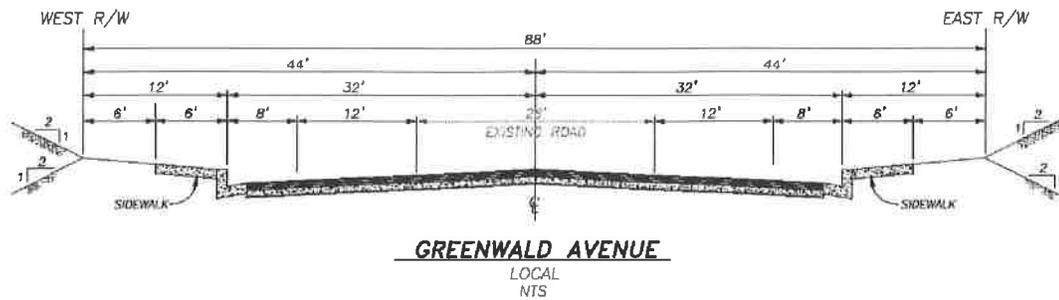
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Exhibit 6
Cross Sections
Ramsgate Specific Plan



* SUBJECT TO THE ANTICIPATED MODIFICATION OF THE GENERAL PLAN CIRCULATION ELEMENT UPDATE.

LA STRADA ROAD (PROPOSED)
(MODIFIED SECONDARY)
NTS

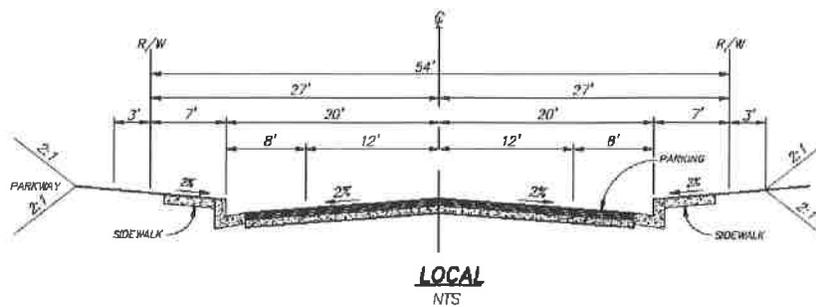
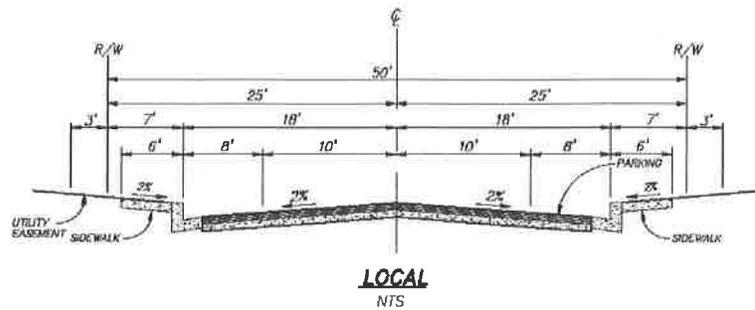
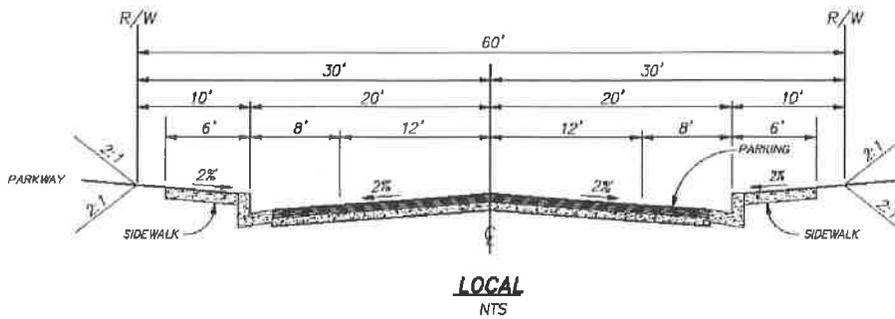
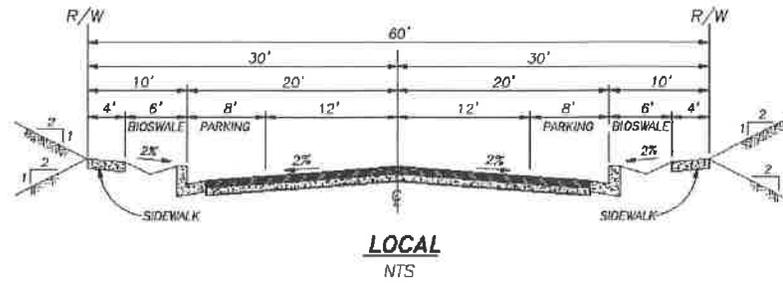


NOTE:

All areas outside of right-of-ways and within Open Space areas will be maintained by the City of Lake Elsinore.

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Exhibit 6
Cross Sections
Ramsgate Specific Plan

B. Arterial – Four (4) Lane Divided Secondary

- Rosetta Canyon Drive at Highway 74 is proposed as a four lane divided 102-foot secondary arterial highway. The four lane roadway section extends from State Highway 74 to Ardenwood Way within Tentative Tract 25479. Within this secondary highway there will be two travel lanes and an 8-foot shoulder separated by a raised and landscaped 14-foot median. On street parking is not permitted. This section will transition to an 88-foot secondary highway beyond Ardenwood Way. *Exhibit 6, Cross-Sections*, illustrates the cross section.
- The portion of Rosetta Canyon Drive beyond Ardenwood Way is an 88-foot right-of-way with two travel lanes and a 5-foot bike lane in each direction separated by a 14-foot raised and landscaped median. Signalization will occur where warranted. Steele Valley Road, Riverside Street, Elsinore Hills Road and La Strada also have 88-foot rights-of-way. *Exhibit 6, Cross-Sections*, illustrates the street section.

C. Two Lane Collectors

- This two lane divided local collector road is proposed at a right-of-way of 90 feet and a 64-foot curb to curb paved section improved with concrete curb and gutter. Each travel direction would be comprised of one travel lane and a shoulder separated by a 14-foot painted median. Parking is not permitted. There is a 7 foot open space parkway adjacent to the right-of-way. *Exhibit 6, Cross-Sections*, identifies this street section.
- This two lane divided local collector road, as shown in *Exhibit 6, Cross-Sections*, is proposed at a right-of-way of 66 feet and a 44-foot curb to curb paved section improved with concrete curb and gutter. Each travel direction would be comprised of one travel lane and a ten foot shoulder.
- The two lane undivided local collector streets are proposed at a right-of-way width of 54 feet and a 40-foot paved section improved with concrete curb and gutter. Each travel direction would be comprised of one 12-foot driving lane and an 8 foot shoulder. A 6-foot sidewalk is

provided on both sides with parking allowed on one side. *Exhibit 6, Cross-Sections*, illustrates the cross sections for local collector streets.

D. Local Residential Streets

- These street sections as shown in *Exhibit 6, Cross-Sections*, are provided for those streets with cul-de-sacs less than 1,000 feet in length and loop streets. This two lane undivided street has right-of-way widths of 50 to 60 feet with 36 to 40 feet of pavement improved with concrete curb and gutter. Each travel direction would be comprised of one 10 or 12-foot travel lane and an 8-foot shoulder. A four or six foot sidewalk is provided on each side with parking provided on one or both sides of the street. Some local roads will provide an additional landscaped parkway on both sides of the street.

Various types of streetscape improvements are proposed along the Ramsgate roadway system. Each of the roadways will be landscaped, and those with medians will also have landscaped center dividers. Streetscape improvements will be designed and located in conjunction with the review and approval through the subdivision map process for each tentative tract. Greater specificity of the planning efforts in these stages will permit more detailed review of the applicability of various streetscape options.

The alignment of residential collector street intersections on Highway 74 shall be further evaluated and improved by Caltrans and the Community Development Director. The submittal of a complete and detailed infrastructure schedule to the City Engineer is required prior to approval of any final map. The timing of traffic signal installation, cost reimbursement from adjacent property owners and ultimate completion of backbone system shall be included in the schedule. The schedule shall be tied to the occupancy of individual tracts.

5.2 Design Considerations

The grade for local streets shall generally not exceed nine percent with the exception that grades up to a maximum of fifteen percent will be considered because of design constraints and will be subject to approval of the City Engineer prior to the issuance of grading permits.

5.3 Public Trails

An off-site Emergency Access Road (as shown on *Exhibit 5, Area Circulation*) connecting the residential development within Planning Areas 3 and 4 with the school and park sites in Planning Areas 1 and 2 will provide pedestrian and bicycle access to the residents of the project. Pedestrian Paseos have been incorporated into the design of Tract 33725. Additionally, a Class II bicycle lane will be located along Highway 74 and Class III bicycle lanes will be located along Rosetta Canyon Drive and La Strada.

6.0 PUBLIC SERVICES, FACILITIES AND UTILITY PLAN

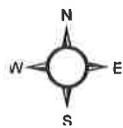
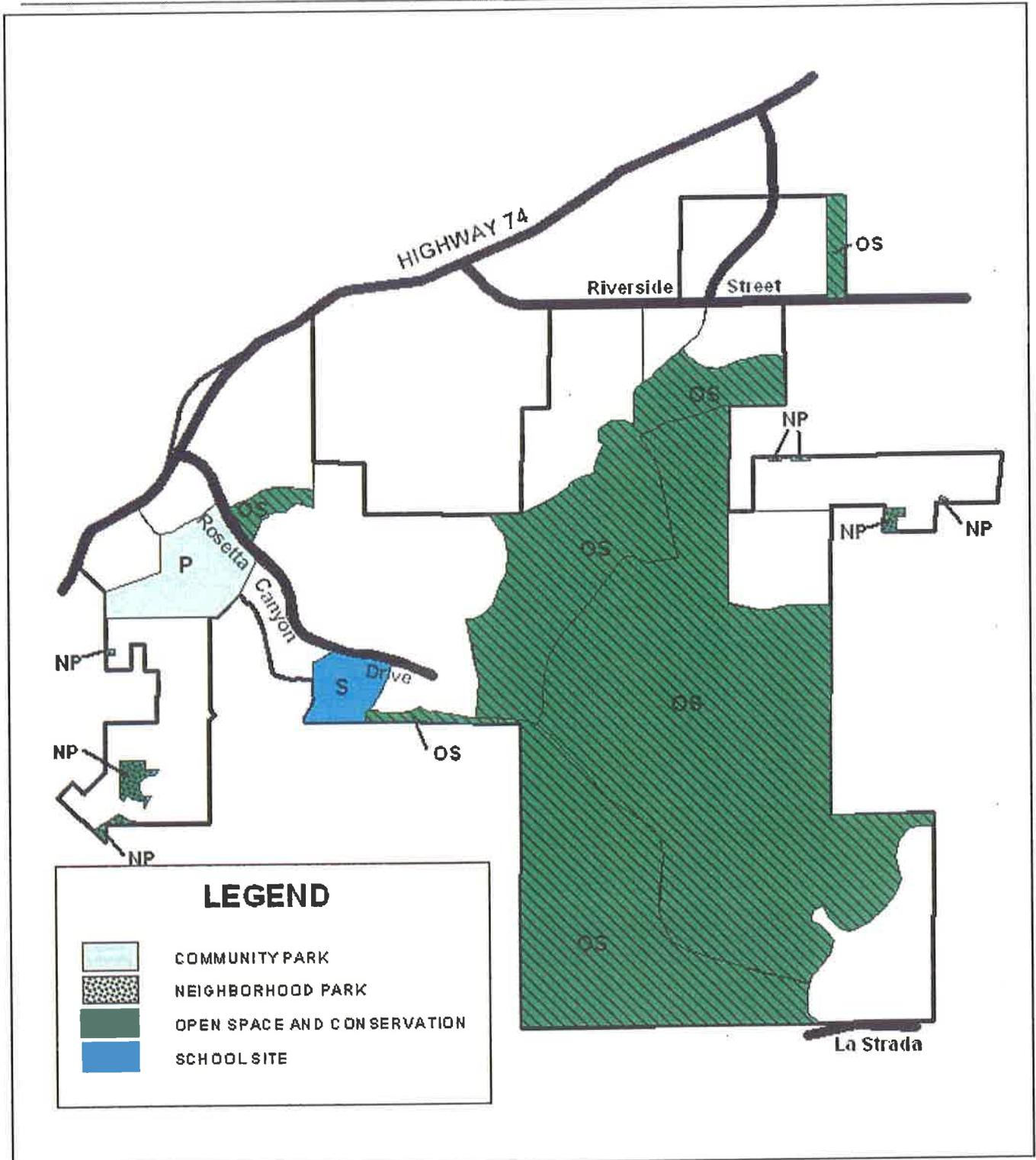
Public facilities and civic uses include parks, a school, fire protection, and police services, as well as churches, libraries, and other public gathering spaces. It is the intent of this Plan to provide adequate services in these categories, and the following paragraphs describe how these needs will be accommodated. Public parks and school sites are shown in *Exhibit 7, Public Services Plan*.

Public Services

6.1 Parks

The provisions of the Ramsgate Development Agreement require the developer to convey a Turn Key Community Park site, located in Planning Area 1, to the City concurrently with the opening of the first model complex. A Turn Key is defined as a fully improved park site to include all grading and drainage and allows for the total development of the 32.9-gross acre Community Park. The developer will additionally provide vertical improvements of four lighted ball fields and one lighted soccer field. In addition, no later than the issuance of the 500th certificate of occupancy for single family units, the developer is required to install the remaining facilities contained in the proposed park plan in the Community Park except the community building and related facilities. All improvements are staged to allow for community growth in completion with the park's development.

Approximately 3.0 acres of neighborhood parks will be located within Planning Area 10 and will consist of small "pocket" parks that provide recreational opportunities for the residents of Tract 33725 and adjacent Tract 25475. Additionally, Planning Area 11 will include neighborhood parks consisting of small "pocket parks" totaling approximately 5.6 acres to provide recreational opportunities for the residents of Tract 32537 and Tract 35422.



6.2 Schools

Public educational facilities within the kindergarten to Senior High School level will be administered by the Lake Elsinore Unified School District (LEUSD). Based upon generation rates provided by LEUSD, Ramsgate will generate a total of 1,880 to 1,933 students as shown in Table 3.

**TABLE 3
LAKE ELSINORE UNIFIED SCHOOL DISTRICT
GENERAL FACTORS**

<u>School Grade</u>	<u>Generation Factor per Dwelling Unit</u>	<u>Total Dwelling Units</u>	<u>Total Students Generated</u>
K-5	0.4165	2,759	1,149
6-8	0.1810	2,759	499
9-12	0.1588	<u>2,759</u>	<u>428</u>
TOTAL		2,759	2,076

NOTE: An additional 53 students (29 grades K-5, 13 grades 6-8 and 11 grades 9-12) will be generated if the project develops with an additional 70 single-family dwelling units in lieu of the elementary school.

Studies have shown that student generation rates will vary among different dwelling unit types. The difference is similar to why individuals choose a certain type of dwelling unit over another. Family size dictates the number of bedrooms needed and the amount of yard area. Younger families tend to have more elementary age children, few secondary age children and tend to live in multi-family or smaller lots in the single family residential areas. There is also a correlation between the age of families and income and size of the dwelling unit. All of these factors contribute to the differential in school age generation by dwelling unit type.

The Operating Memorandum of Understanding (“MOU”), between the City of Lake Elsinore and the developer, requires the conveyance of a graded school site within Planning Area 2 of the project to the LEUSD. In the MOU, the City acknowledged that the LEUSD requires only one

K-6 elementary school within the Ramsgate Specific Plan which will be located within TR 25478.

6.3 Fire Protection

Ramsgate is served to by the Riverside County Fire Department. Stations currently serving the project area include Station 10 on Graham Street; Station 60 on Canyon Lake Drive, Station 85 on Grand Avenue and Station 11 in Lakeland Village. Response time varies from six to ten minutes. Existing manpower and facilities will need to be expanded to serve the Ramsgate Specific Plan area. However, a new fire station (Rosetta Canyon Station) will be located in the 32.9-acre community park in Planning Area 1.) Prior to the recordation of any tract map, the developer shall enter into an agreement with the City to provide fair share funding for the provision of fire protection services for Ramsgate.

6.4 Police Protection

Police protection is to be provided to Ramsgate by the County of Riverside Sheriff Department. Ramsgate is located within the Meadowbrook Area – Elsinore Valley stations jurisdiction. The station to provide service to Ramsgate is located at the intersection of State Highway 74 and Riverside Street approximately ten minutes from the site. Prior to the recordation of any tract map, the developer shall enter into an agreement with the City to provide fair share funding for the provision of police services for Ramsgate.

Public Utilities

Different local agencies or special districts will provide public facilities to Ramsgate residents. Established public utilities will be providing public facilities for water and sewer service (Elsinore Valley Municipal Water District), natural gas (Southern California Gas Company) and electricity (Southern California Edison).

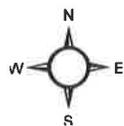
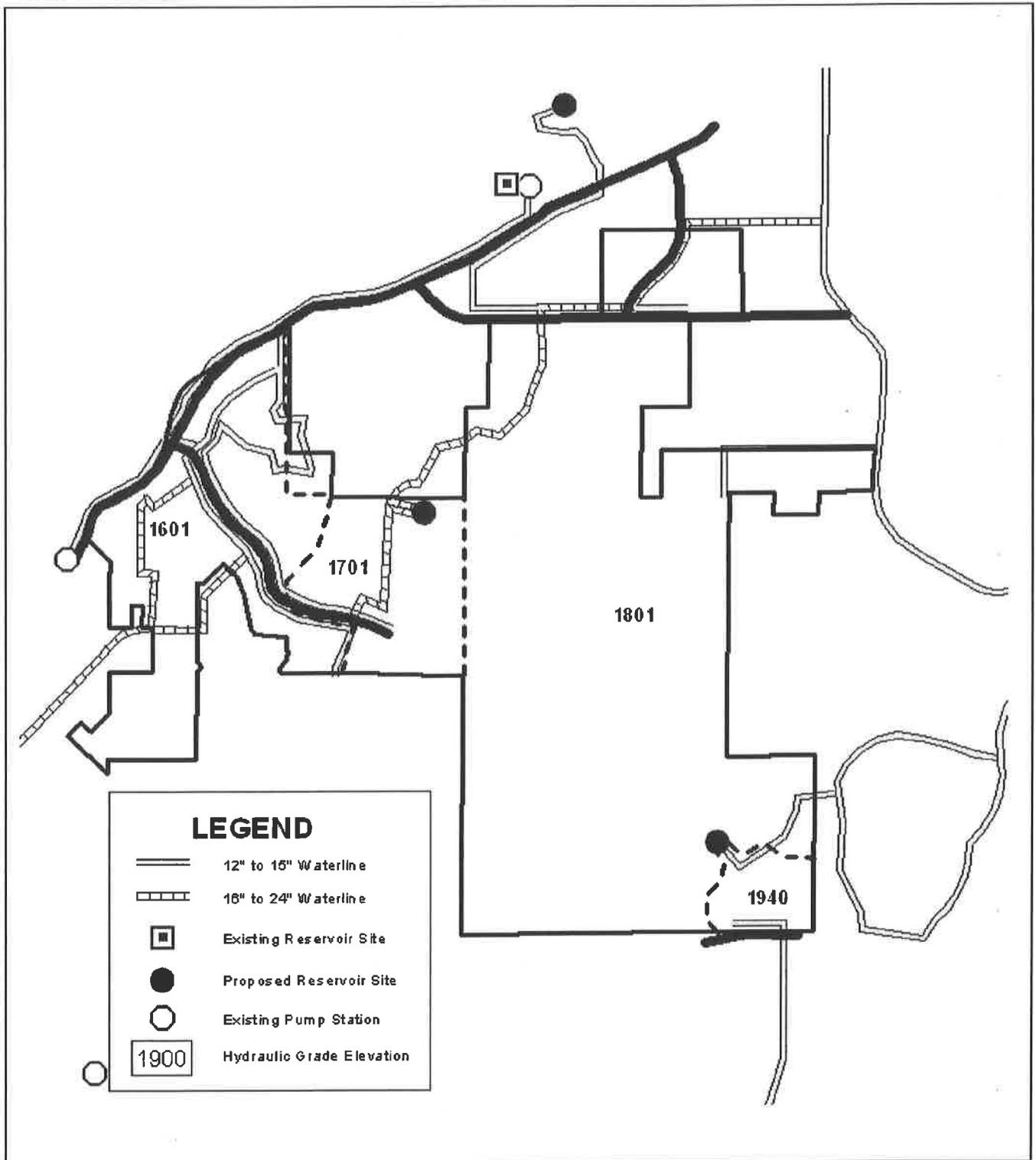
6.5 Water Service

The Ramsgate development lies within the service area of the Elsinore Valley Municipal Water District (EVMWD). The EVMWD obtains a portion of its water supply from the Western Municipal Water District. The remaining water supply is received from active water wells.

The proposed water concept plan for Ramsgate is shown on *Exhibit 8, Water Concept Plan*. Off-site facilities include the upgrade of the existing 10-inch line along Highway 74 to 18 inches and the expansion of Meadowbrook pumping stations 1 and 2. Both of these off-site improvements have been recommended by EVMWD.

On-site facilities involve the construction of a water line varying in size from 12 inches to 24 inches. Additionally, a 1.8 million-gallon reservoir with connections will be provided in the southeastern portion of the site.

The Master Developer will be responsible for providing all necessary improvements per EVMWD standards for water service to Ramsgate. The final water concept plan for Ramsgate will be approved by the Elsinore Valley Municipal Water District prior to recordation of a final map.



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6.6 Wastewater Service

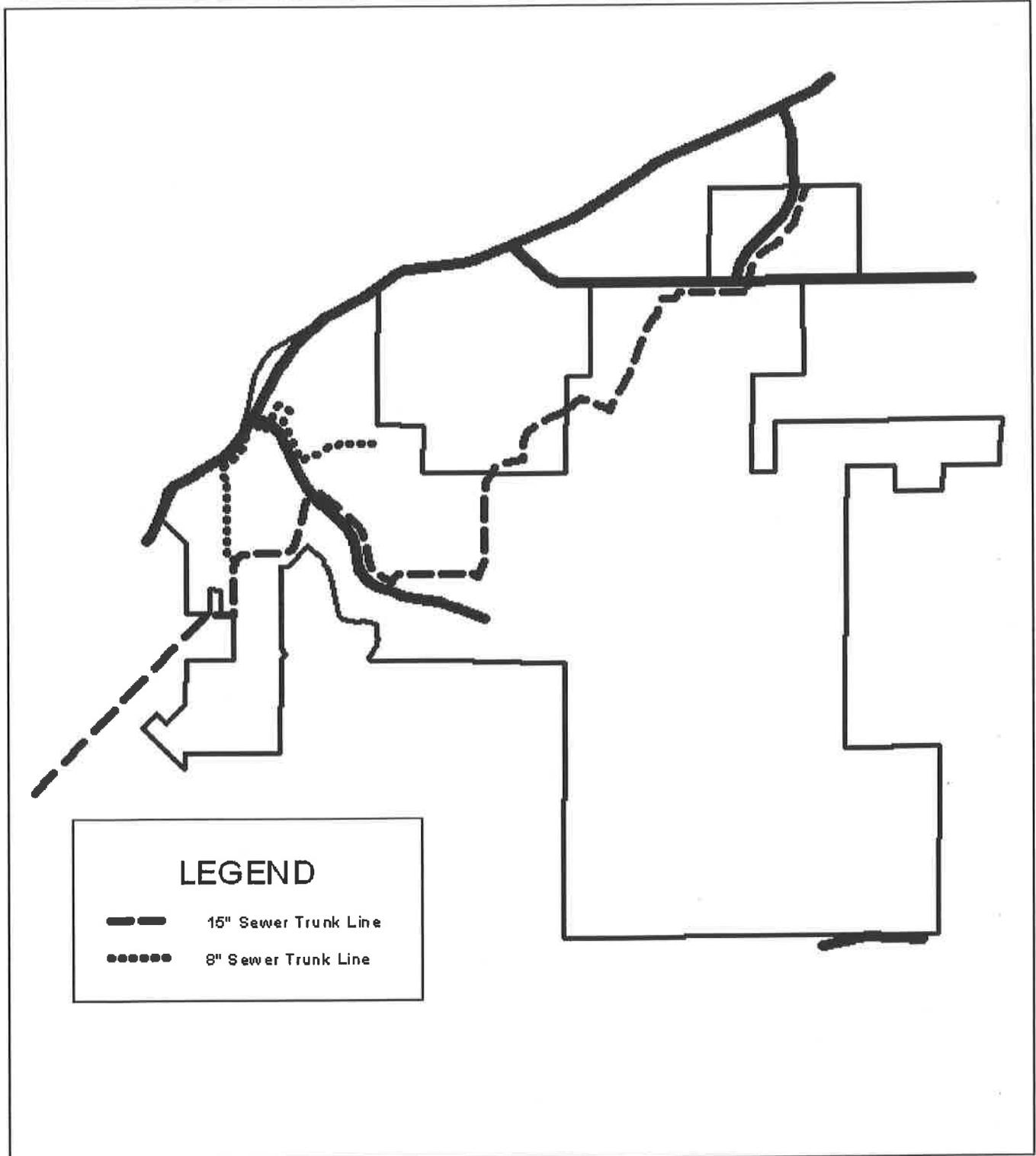
EVMWD provides sewer service to Ramsgate. The proposed sewer concept plan for Ramsgate is shown on *Exhibit 9, Sewer Concept Plan*. The sewer plan proposes to extend trunk sewer lines from southwest of Interstate 15 up 3rd Street into Ramsgate. Additionally, the plan proposes 8-inch and 15-inch trunk sewer lines extending through the project. The final wastewater plan for Ramsgate will be approved by the EVMWD prior to recordation of a final map.

6.7 Drainage Plan

Drainage facilities will provide conveyance of runoff from on-site developments as well as off-site areas that drain to the project. In addition, these facilities shall be designed to accommodate interim drainage conditions as a result of phasing considerations. The drainage structures required on large slopes should be designed to avoid an angular layout or rigid geometric patterns. *Exhibit 10, Conceptual Drainage Plan*, shows a conceptual drainage plan for Ramsgate.

Detention basins will be provided to mitigate project impacts on downstream properties. Interim storm drain pipe connections will be constructed along the backbone storm drain system to convey runoff from areas that have not yet been graded during the construction phasing. Inlets to these temporary facilities will be constructed to provide for temporary trapping and storage of sediment and to provide small temporary retention areas until the permanent retention facilities are constructed.

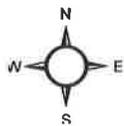
The retention basins for Ramsgate will be maintained by Master Community Homeowner Associations. An access easement will be provided to the Riverside County Flood Control District in the event they need to access the facilities.



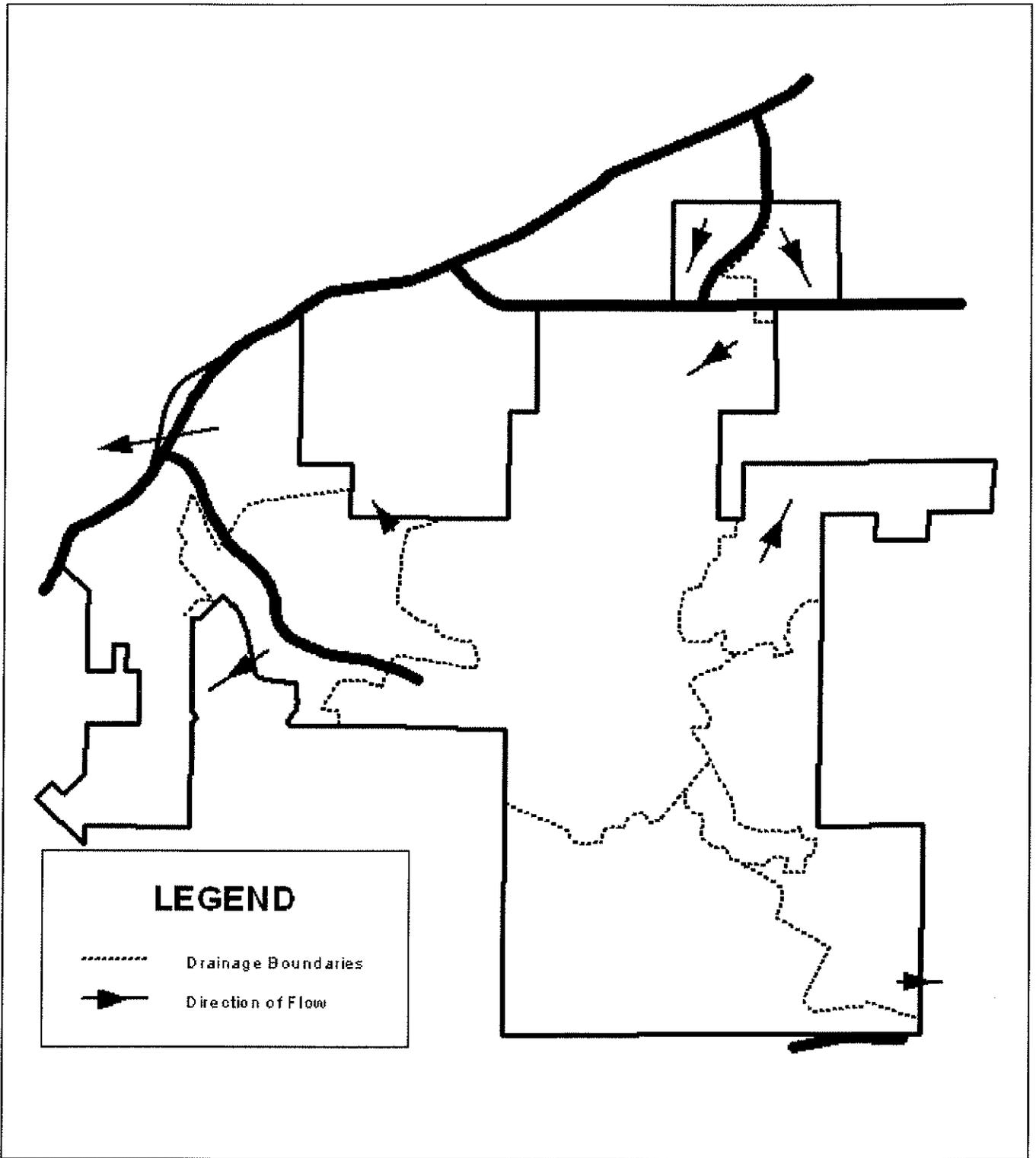
LEGEND

— 15" Sewer Trunk Line

..... 8" Sewer Trunk Line



Not to Scale



ALBERT A. WEBB ASSOCIATES
ENGINEERING CONSULTANTS

Not to Scale

Exhibit 10
Conceptual Drainage Plan
Ramsgate Specific Plan

Prior to the approval of a final map, the developer will submit for review and approval a conceptual drainage plan to the City. Further, all final drainage plans will be approved prior to recordation of final tracts or as may be required.

6.8 Natural Gas

Southern California Gas Company (SCG) will provide natural gas to Ramsgate. Currently SCG does not have gas facilities in the project area. However, there are two existing mains along Highway 74. Distribution lines could be extended from these mains to serve Ramsgate without any significant impact on the environment. All detailed information including tract maps and plot plans will be submitted to the Gas Company Market Services Representative prior to the actual construction of a natural gas pipeline.

6.9 Electricity

Southern California Edison (SCE) will provide electrical service to Ramsgate. An existing transmission line is located just north of Ramsgate and a proposed transmission line will be located along the northern boundary of the property. SCE has indicated that there are no constraints in providing electrical service to Ramsgate.

6.10 Energy Conservation

The project has been designed to promote conservation of energy in the design and construction of Ramsgate. This can be accomplished by utilizing a variety of techniques including:

- A. Buildings and structures designed in an energy efficient manner.
- B. Minimum amount of paved areas to reduce ambient temperatures.
- C. Bicycle paths incorporated into the project to provide alternative transportation opportunities for the project.
- D. The use of plant material to create desirable micro-environments.

- E. All development will comply with applicable provisions of Title 24 of the California Code of Regulations which sets forth California's energy efficiency standards for residential and nonresidential buildings.

7.0 FINANCING PLAN

A public financing plan is essential to the development of the Ramsgate Specific Plan. The developer will provide private funding in conjunction with the public financing to allow for the timely development of public facilities, streets, utilities, and other necessary capital improvements. Maintenance of the capital improvements will be provided by a combination of maintenance districts, homeowner associations, and a master community maintenance association.

According to the Ramsgate Development Agreement, the City and developer will in good faith use their best efforts to establish:

- one or more community facilities districts pursuant to the Mello-Roos Community Facilities act of 1982;
- assessment districts;
- improvement districts;
- maintenance districts; or
- other public financing mechanisms for the purpose of financing the planning, design, construction, and maintenance of the public facilities.

It is anticipated that the development of the Ramsgate project will require the City to plan for future development of adjacent and surrounding undeveloped land. In that regard, the Ramsgate project will be required to oversize certain facilities to accommodate future growth in the City. The Ramsgate Development Agreement states that the City will use its best efforts to cause the undeveloped landowners to contribute to the costs of oversizing by participating in the formation in a CFD, assessment districts, maintenance districts or other public financing mechanisms which will alleviate the economic burden of oversizing to the Ramsgate project.

8.0 RECREATION AND OPEN SPACE PLAN

The open space system for the Ramsgate Specific Plan provides for a land use concept which maintains natural drainage areas, provides open space transition areas to adjacent properties and provides for recreational uses of the community. Open space is comprised of three major components:

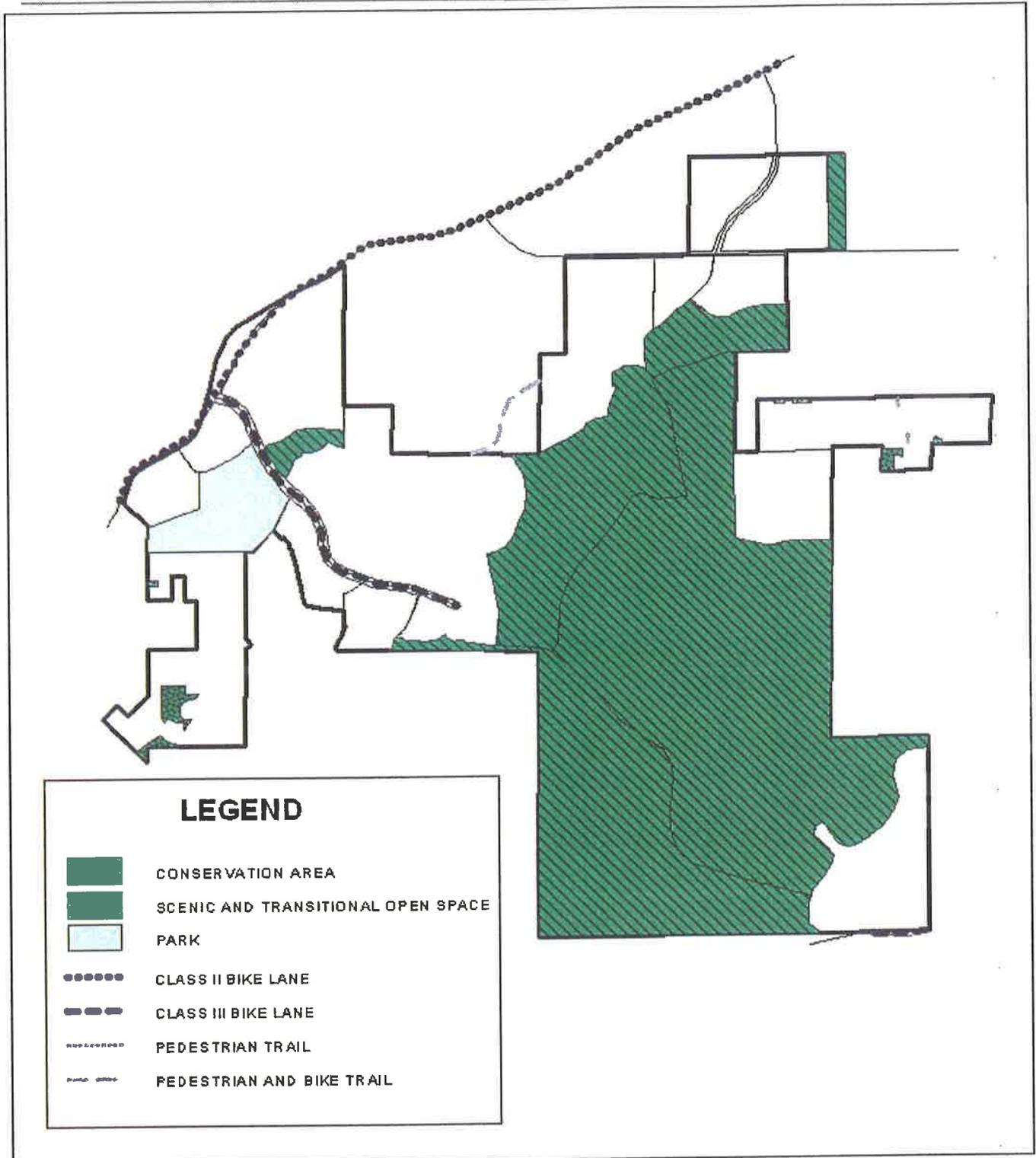
- conservation areas (viewshed protection)
- scenic and transitional open space areas
- recreation areas

Exhibit 11, Recreation and Open Space, shows the distribution of the components of the Recreation and Open Space Plan for Ramsgate. The following describes each open space component in detail.

8.1 Conservation Area

Ramsgate proposes a north/south conservation area. Its purpose is to preserve the profile of the Wasson Canyon drainage area, preserve sensitive habitat areas and to minimize intrusions from surrounding residential areas. This conservation area incorporates approximately 682 acres of natural topography. This incorporates the approximately 142 acres conveyed to the County of Riverside as mitigation for the impacts of Tentative Tracts 25473, 25475, 25476, 25477, 25478 and 25479 to coastal sage scrub and critical habitat. According to the Environmental Impact Report, Wasson Canyon is described as a riparian habitat affording perennial seeps in its middle reaches. The amount of water in these seeps is small with wetter drainages supporting willows, cottonwoods and drier drainages supporting mulefat.

A plan showing the proposed use of this open space feature including educational opportunities with signage and lookouts towards the open space shall be prepared and approved by the Community Development Director and Community Services Director.



8.2 Scenic and Transitional Open Space Areas

Scenic areas provide an additional open space buffer to properties surrounding the development. This category includes most of the area visible from public roads, manufactured slopes, areas adjacent to Wasson Canyon.

Adjacent to roadways, this open space will be designed to serve as a large scale gateway and will emphasize the arrival into Ramsgate. This will be evident on Rosetta Canyon Drive adjacent to Highway 74 and on Riverside Street. These main entries help create a strong identify to the community. In other areas, it will serve as a connector between important elements of the plan.

8.3 Recreation Areas

There is one active community park within Ramsgate. The uses provided within the park site are structured to encourage socializing and recreation among its users.

The park in Planning Area 1 will provide for 32.9 gross acres of active park uses. Lighted ballfields, tot lots, picnic facilities and basketball courts will be provided. A passive park site is provided within Planning Area 9. A park implementation plan shall be prepared for review and approval by the Community Services Director. Installation of park facilities shall occur in accordance with the park implementation plan, which will show the community park to be constructed prior to the issuance of certificates of use and occupancy of Phase 1. A new fire station (Rosetta Canyon Station) may also be constructed as part of the 32.9-acre community park.

Approximately 3.0 acres of neighborhood parks will be located within Planning Area 10 and will consist of small “pocket” parks that provide recreational opportunities for the residents of Tracts 25475 and 33725. (See *Exhibit 12, TR 33725 Active Park Conceptual Plan* and *Exhibit 13, TR 33725 Marsh Park Conceptual Plan*.)



Exhibit 12
TR 33725 Active Park Conceptual Plan
Ramsgate Specific Plan

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NOTE:
This is for conceptual purposes only. Final design and materials will be subject to approval by the Community Development Director.

Exhibit 14
TR 35422 Neighborhood Park/Retention Basin Conceptual Plan
Ramsgate Specific Plan

PROJECT DESIGN CONSULTANTS

8.4 Private Recreation Areas

In addition to the park for general public use, a recreation facility will be located in the apartment site for its residents. The amenities will consist of a pool, restroom building and associated hardscape and landscaping. Private recreational areas will also be included within the medium high density residential development located within Planning Area 1. These recreational amenities, for use by the residents of the medium high density development, will include a pool, two tot lots, barbeques located throughout the project and meandering sidewalks.

9.0 DEVELOPMENT REGULATIONS

Exhibit 15, Specific Plan Districts, shows the Specific Plan land use designations for Ramsgate. Each land use designation contains regulations and requirements in developing particular uses within the community.

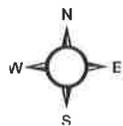
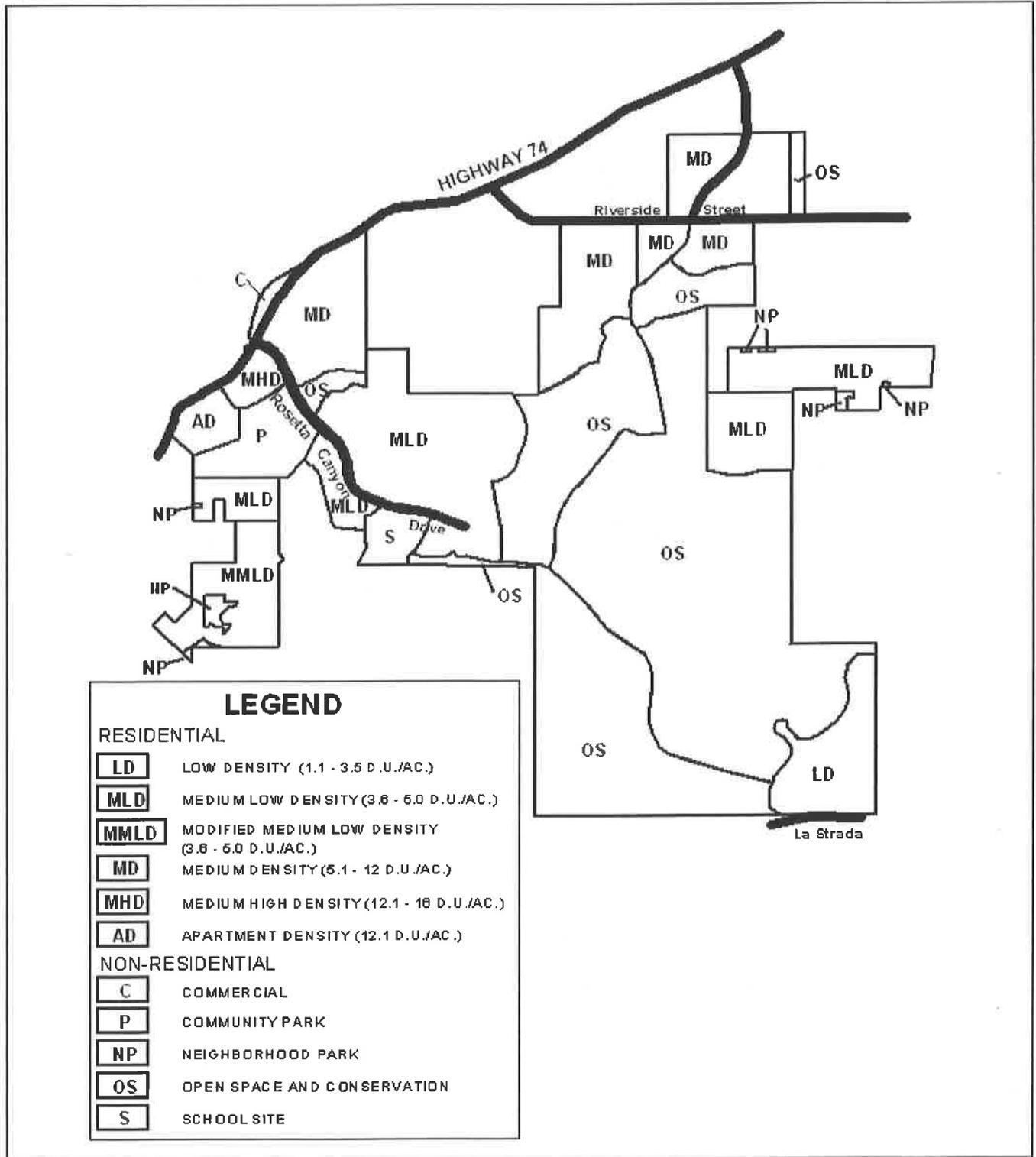
Purpose and Intent of Development Regulations

The development regulations contained herein have been established to provide criteria for the development of planning areas within the various areas of Ramsgate. They will insure a coordinated, comprehensive project, which results from large scale community planning and development.

These regulations supersede otherwise applicable City ordinances and codes, unless specifically stated herein to the contrary, providing for the arrangement, development and use of a variety of residential housing types, supporting commercial uses and community facilities while ensuring substantial compliance with the intent and provisions of the City's ordinances. Application of these regulations is intended to encourage and create a harmonious relationship among land uses and protect the health, safety and general welfare of the community.

General Notes

- A. Whenever the provisions contained herein conflict with those contained in the City codes, the provisions of the provisions of the Ramsgate Development Regulations shall take precedence.
- B. Any development proposal not specifically covered by the provisions contained herein shall be subject to the provisions of City of Lake Elsinore Codes and Ordinances.



Not to Scale

- C. When any issue, condition, situation arises or occurs that is not covered or provided for by these Development Regulations, those provisions provided for by the City Code that are most applicable for the most similar issue, condition, or situation, as determined by the Planning Director or designee, shall apply.
- D. All construction shall comply with all provisions of applicable building codes and the various codes related thereto.
- E. Grading plans for all projects shall comply with City of Lake Elsinore Grading Code.
- F. Grading will be permitted outside of the area of immediate development when it is consistent with an approved grading plan. Stockpile and borrow sites may be permitted within areas scheduled for future development, subject to an approved grading plan. Grading permits shall be authorized for issuance following the approval process of a Subdivision Map, or Conditional Use Permit.
- G. The developer must provide a report prepared by a licensed engineering geologist and soils engineer as the basis for the grading plan. The report is to document methods for providing a safe and stable development.
- H. No site preparation shall be permitted prior to the approval of a grading plan and issuance of grading permit.
- I. Except as otherwise indicated, planning area boundaries generally follow the Planning Area Land Use Plan. Adjustments in planning area boundaries resulting from final road alignments and/or technical refinements to the development will not require a Specific Plan Amendment. The precise boundaries and acreages will be determined when more definitive plans for each Planning Area submitted during the Subdivision Map or Conditional Use Permit process.

- J. Only the general boundary alignments and residential acreage figures of the individual land use areas are shown in the statistical summary. The precise boundaries and acreages will be determined during the Subdivision Map process, when more definitive plans for each subdivision are submitted for review and approval.
- K. Planning area boundaries may be modified with the approval of the Community Development Director or designee as an administrative approval
- L. As development of the plan occurs, villages may be built out at less than the allocated density, creating a remainder of unbuilt dwelling units. During implementation, the Planning Department shall be responsible for the monitoring and control of these residual dwelling units. The developer may draw upon accumulated pool for use in other planning areas, subject to the provision that no planning area exceed its allocated number of dwelling units by more than 10%.
- M. Double fronting lots on primary or secondary streets shall have a minimum lot depth of 120 feet or a combination of the increased parkway width and lot depth in order to create sufficient separation from these more heavily traveled streets.
- N. Garage door openers shall be installed in all residential units.
- O. An acoustical study shall be provided to the Community Development Director and building official prior to the recordation of final tract maps. Said acoustical study shall note that exterior backyards have levels that do not exceed 65CNEL measured at the property line or the edge of the building pad, whichever is most appropriate as a noise mitigation wall location.

9.1 Residential Development Regulations

Permitted Uses:

Uses permitted in the residential areas shall include those uses listed below when developed in compliance with the purpose of this chapter.

1. Single-family detached dwelling units; one dwelling unit per lot in single-family areas and multiple-family dwellings in Apartment Density areas.
2. Accessory uses and structures pursuant to "Accessory Uses and Structures," below.
3. Temporary uses and structures pursuant to "Temporary Uses and Structures," below.
4. Small family day care and residential care facilities pursuant to Chapter 17.16 of the Zoning Ordinance.
5. Utility distribution and transmission facilities, including private radio, television, and paging antenna and towers.
6. Government buildings and service facilities.
7. Public parks, playgrounds, community centers, recreation buildings, and public schools.
8. Manufactured houses in compliance with the provisions of Chapter 17.14 of the Zoning Ordinance.
9. Attached single family, multi-family apartments and condominiums in Medium High Density areas.

Conditional Use Permit:

It is recognized that certain uses while similar in characteristics to the above permitted uses may have the potential to impact surrounding properties and therefore require additional discretionary approval and consideration. Uses permitted subject to approval of a use permit, pursuant to Chapter 17.74 of the Zoning Ordinance, in the Residential Areas shall be as follows:

1. Large family day care homes in compliance with the provisions of Chapter 17.16 of the Zoning Ordinance.
2. Second units in compliance with the provisions of Chapter 17.17 of the Zoning Ordinance.
3. Keeping of exotic animals or birds, of more than three (3) dogs and/or cats, on the same lot as a permitted dwelling for pets only and not for commercial purposes. The Planning Commission shall impose adequate limitations to assure that the residential character of the property and neighborhood are maintained.
4. Horticultural uses, including growing of fruit, nuts, vegetables, and ornamental plants for commercial purposes.
5. Attached single family, multi-family apartments and condominiums in Low Density, Medium Low Density and Medium Density areas.

Accessory Uses and Structures Permitted:

The following accessory structures and uses customarily incidental to any of the above uses shall be permitted in the Residential Area.

1. Arbors, trellises, gazebos and similar shade structures of open construction
2. Decorative and masonry fences and walls to a maximum of six feet in height
3. Garages
4. Patio covers
5. Swimming pools and spas
6. Home occupations (in accordance with Section 17.15 of the Lake Elsinore Municipal Code)
7. Tennis and racquet courts
8. Pedestrian and bicycle trails
9. Fences, hedges and walls constructed as acoustical barriers, shall have no height limit

The following temporary (no more than two years) uses are permitted in the Residential Area subject to the approval of the Community Development Director:

1. Temporary construction facility during construction, including trailers.
2. Temporary real estate office and model homes located within a subdivision.

3. Real estate signs, flags, future development signs, and directory signs in conformance with Development Standards contained herein as shown on *Exhibit 16, Real Estate Signage*.

Development Standards:

- A. Within the Residential Areas, Ramsgate will have five different density categories, as identified in the statistical summary as Table 1 and contained in *Exhibit 3, Land Use Plan*, and *Exhibit 15, Specific Plan Districts*. The development standards for each of these categories are outlined below and the following development standard shall apply except as otherwise established by an approved Site Development Permit.

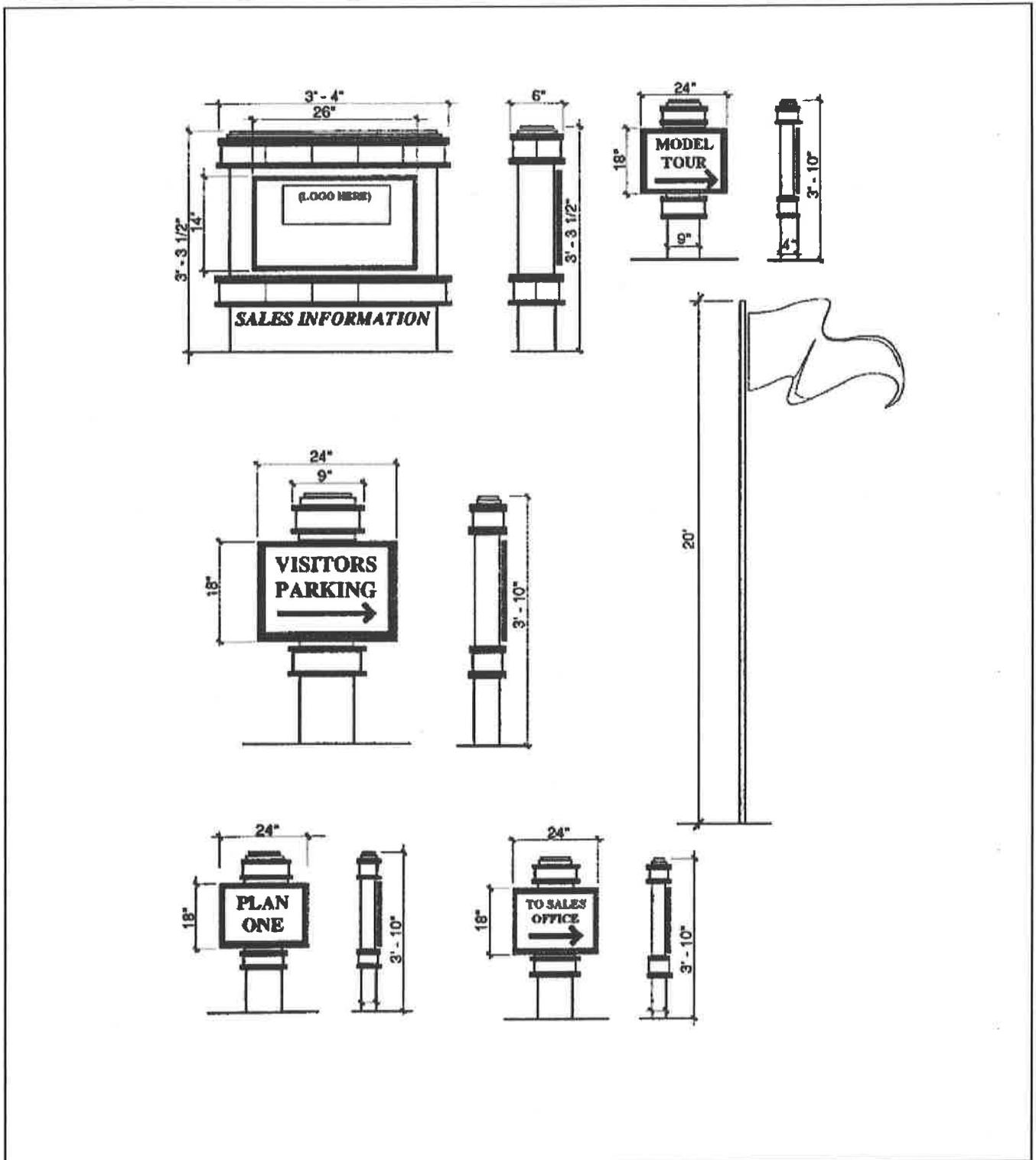
1. **Low Density (LD) –**

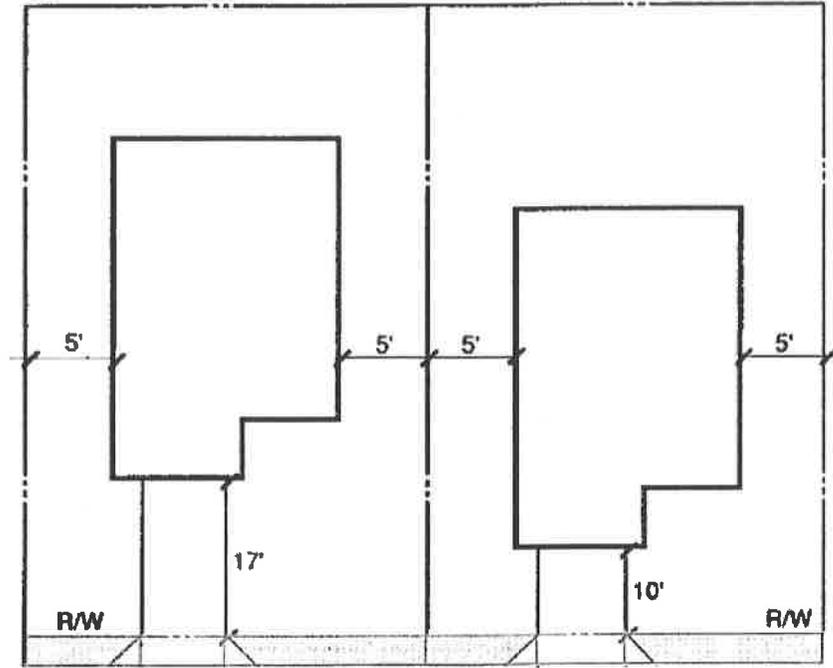
- a. Building site area – No minimum.
- b. Minimum lot area 5,500 square feet.
- c. Minimum street frontage – the minimum street frontage shall be 50 feet. Pie-shaped lots shall have a minimum street frontage of 40 feet at the front property line. Flag lots shall have a minimum street frontage of twenty (20) feet. If lot width is less than 50 feet, other than flag or pie-shaped lots, then application shall be submitted for Architectural Design Review and subject to the approval of the Planning Commission.
- d. Maximum lot coverage: 60%.
- e. Maximum building height: Thirty-five (35) foot maximum, exclusive of chimneys and other appurtenance where the maximum height is 37 feet.
- f. Minimum Building Setbacks: front yard, 10 feet, minimum; side yard, 5 feet of level ground or 10 feet minimum for corner lots of which 5 feet shall be level ground; rear yard, 10 feet, minimum.

- g. Garage placement – The point of vehicular entry to a garage for all single-family residential areas shall be 17 feet from the right-of-way with minor variations for grading and aesthetic purposes permitted to a minimum of ten feet as shown in *Exhibit 17, Garage Placement*, subject to the approval of Planning Commission.

2. Medium Low Density (MLD) –

- a. Building site area – No minimum.
- b. Minimum lot area – 5,000 square feet
- c. Minimum street frontage – the minimum street frontage shall be 50 feet. Pie-shaped lots shall have a minimum street frontage of 40 feet at the front property line. Flag lots shall have a minimum street frontage of twenty (20) feet. If lot width is less than 50 feet, other than flag or pie-shaped lots, then application shall be submitted for Architectural Design Review and subject to the approval of the Planning Commission.
- d. Maximum lot coverage: 60%.
- e. Maximum building height: Thirty-five (35) foot maximum, exclusive of chimneys and other appurtenance where the maximum height is 37 feet.
- f. Minimum Building Setbacks: front yard, 10 feet, minimum; side yard, 5 feet of level ground or 10 feet minimum for corner lots of which 5 feet shall be level ground; rear yard, 10 feet, minimum.
- g. Garage placement – The point of vehicular entry to a garage for all single-family residential areas shall be 17 feet from the right-of-way with minor variations for grading and aesthetic purposes permitted to a minimum of ten feet as shown in *Exhibit 17, Garage Placement*, subject to the approval of Planning Commission.





Front yard setbacks for garages shall be seventeen feet (17') from right of way with minor variations for grading and aesthetic purposes permitted to a minimum of ten feet (10') subject to the approval of the Planning Commission Per condition No. 6.

2. Modified Medium Low Density (MMLD)

- a. Building site area – No minimum.
- b. Minimum lot area – 4,600 square feet
- c. Minimum street frontage – the minimum street frontage shall be 40 feet. Pie-shaped lots shall have a minimum street frontage of 30 feet at the front property line. Flag lots shall have a minimum street frontage of twenty (20) feet. If lot width is less than 40 feet, other than flag or pie-shaped lots, then application shall be submitted for Architectural Design Review and subject to the approval of the Planning Commission.
- d. Maximum lot coverage: 60%.
- e. Maximum building height: Thirty-five (35) foot maximum, exclusive of chimneys and other appurtenance where the maximum height is 37 feet.
- f. Minimum Building Setbacks: front yard, variable 8 to 20 feet as follows: 8 feet to a porch, 10 feet to a side-on garage, 20 feet to a front-loaded garage; side yard, variable 0 to 10 feet provided both side yards have a combined total of a minimum of 10 feet and the minimum building separation is 10 feet (zero-lot line permitted); street side yard requires minimum 10 feet from street to building; rear yard, 15 feet, minimum. Where garages are located to the rear of the building, the front yard setback may be reduced to 5 to 8 feet for the building and porte-cochere.
- g. Garage placement – The point of vehicular entry to a garage for all single-family residential areas shall be 17 feet from the right-of-way with minor variations for grading and aesthetic purposes permitted to a minimum of ten feet as shown in *Exhibit 17, Garage Placement*, subject to the approval of Planning Commission.

3. Medium Density (MD) –

- a. Building site area – No minimum.
- b. Minimum lot area – 4,000 square feet.
- c. Minimum street frontage – the minimum street frontage shall be 50 feet. Pie-shaped lots shall have a minimum street frontage of 40 feet at the front

property line. Flag lots shall have a minimum street frontage of twenty (20) feet. If lot width is less than 50 feet, other than flag or pie-shaped lots, then application shall be submitted for Architectural Design Review and subject to the approval of the Planning Commission.

- d. Maximum lot coverage: 60%.
- e. Maximum building height: Thirty-five (35) foot maximum, exclusive of chimneys and other appurtenance where the maximum height is 37 feet.
- f. Minimum Building Setbacks: front yard, 10 feet, minimum; side yard, 5 feet of level ground or 10 feet minimum for corner lots of which 5 feet shall be level ground; rear yard, 10 feet, minimum.
- g. Garage placement – The point of vehicular entry to a garage for all single-family residential areas shall be 17 feet from the right-of-way with minor variations for grading and aesthetic purposes permitted to a minimum of ten feet as shown in *Exhibit 17, Garage Placement*, subject to the approval of Planning Commission.

4. Medium High Density (MHD) –

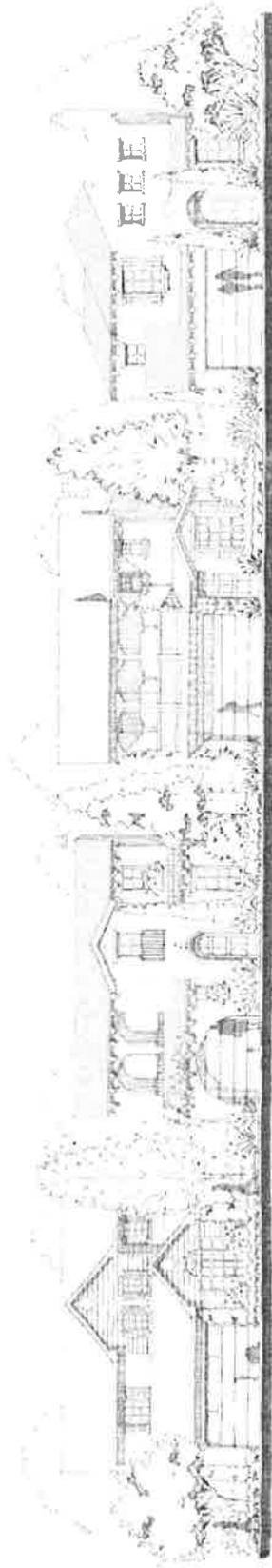
- a. Building site area – No minimum.
- b. Minimum street frontage – the minimum street frontage shall be 40 feet. Pie-shaped lots shall have a minimum street frontage of 30 feet at the front property line. Flag lots shall have a minimum street frontage of twenty (20) feet.
- c. Maximum lot coverage: 60%.
- d. Maximum building height: Thirty-five (35) foot maximum, exclusive of chimneys and other appurtenance where the maximum height is 37 feet.
- e. Minimum Building Setbacks: front yard, 10 feet, minimum; side yard, 5 feet of level ground 10 feet minimum for corner lots of which 5 feet shall be level ground rear yard, 10 feet, minimum.
- f. Garage placement – The point of vehicular entry to a garage for all single-family residential areas shall be 15 feet from the right-of-way with minor variations for grading and aesthetic purposes permitted to a minimum of ten

feet as shown in *Exhibit 17, Garage Placement*, subject to the approval of Planning Commission.

- g. Product Design – The final design and materials of buildings within Medium High Density (MHD) projects will be subject to approval by the Community Development Director. A conceptual site plan for a MHD project is shown in *Exhibit 19, Conceptual Medium High Density Site Plan*. Conceptual examples of the product type that is typical of Medium High Density development is shown in *Exhibit 20, Conceptual Medium High Density Elevations* and *Exhibit 21, Conceptual Medium High Density Street Scene*.

5. Apartment Density (AD) –

- a. Building site area – 4,000 square feet minimum.
- b. Building site with: No minimum
- c. Building height: Three (3) stories not to exceed thirty-five (35) foot maximum.
- d. Maximum site coverage: 60%.
- e. Building setbacks: Ten (10) feet minimum from any exterior boundary line of project. Twenty (20) feet minimum from all property lines abutting a public street or different district type.
- f. No setbacks shall be required for structures adjacent to interior property lines within the AD District.



NOTE:
This is for conceptual purposes only. Final design and materials will be subject to approval by the Community Development Director.

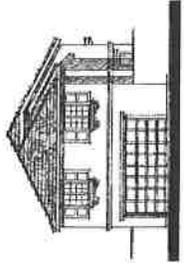
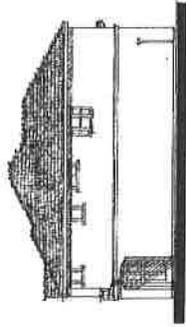
Exhibit 18
Conceptual Modified Medium Low Density Street Scene
Ramsgate Specific Plan



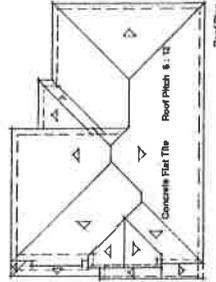
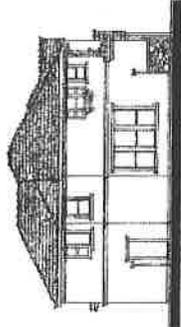


Exhibit 19 Conceptual Medium High Density Site Plan Ramsgate Specific Plan

SUMMERS/MURPHY & PARTNERS, INC.
 ARCHITECTS
 1000 BAYVIEW BLVD., SUITE 100
 OAKLAND, CA 94612
 (415) 764-1000
LANDSCAPE ARCHITECTS



Note: 1/8" elevations match the French Country elevation.



SCALE 1/8" = 1'-0"

NOTE:

This is for conceptual purposes only. Final design and materials will be subject to approval by the Community Development Director.

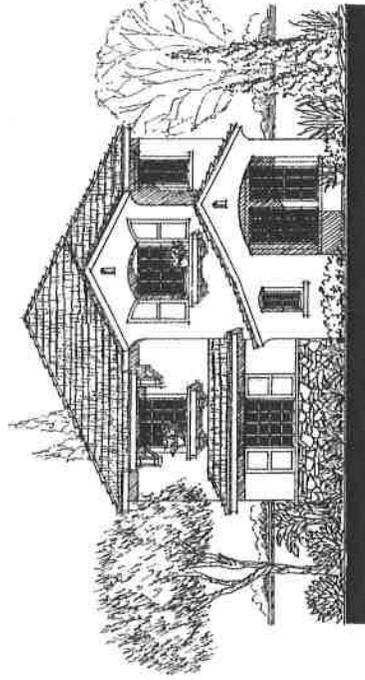
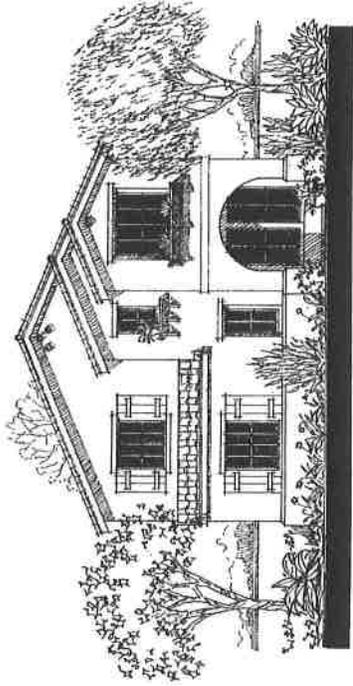
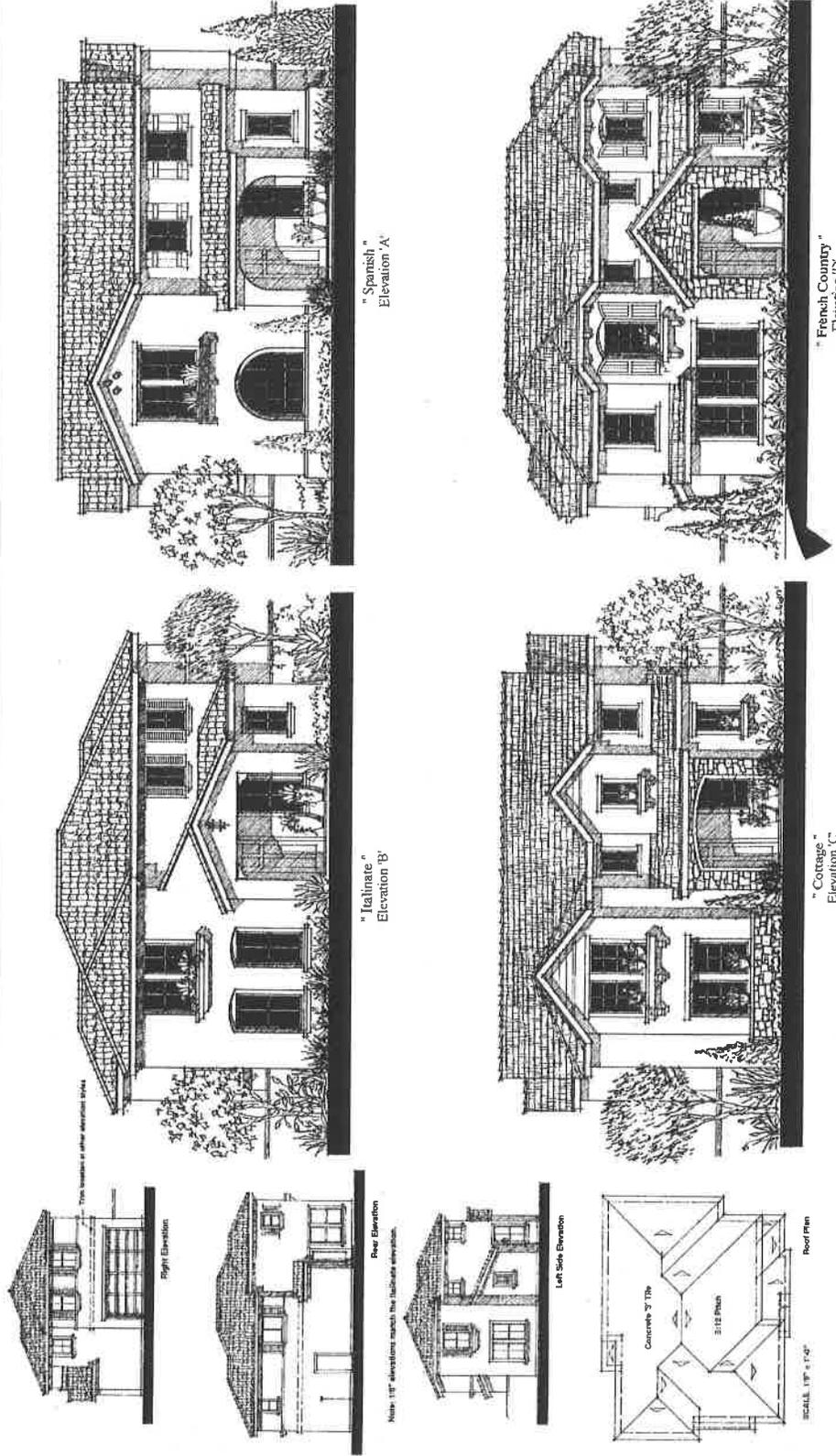


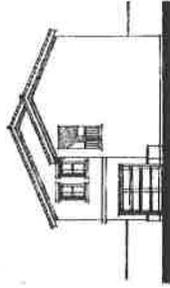
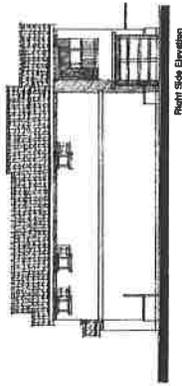
Exhibit 20
Conceptual Medium High Density Elevations
Ramsgate Specific Plan



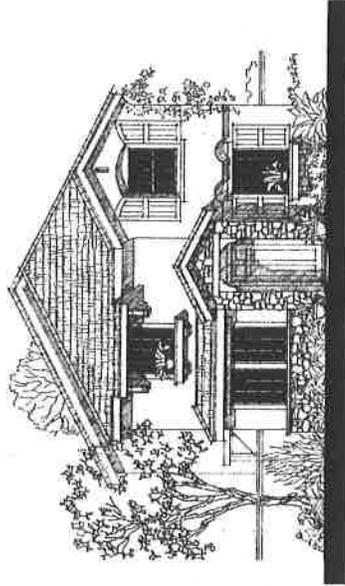
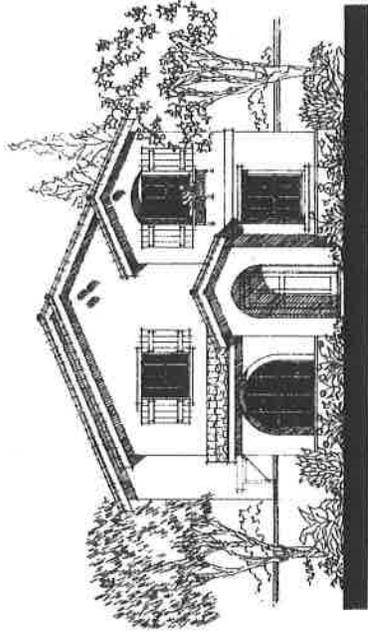
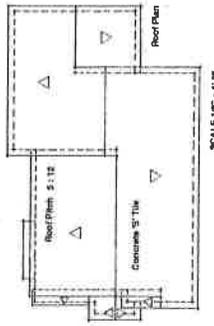
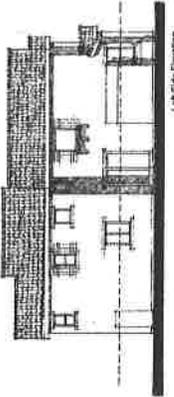
NOTE:
This is for conceptual purposes only. Final design and materials will be subject to approval by the Community Development Director.



Exhibit 20
Conceptual Medium High Density Elevations
Ramsgate Specific Plan



Note: 1/8" elevations match the Spanish elevation.

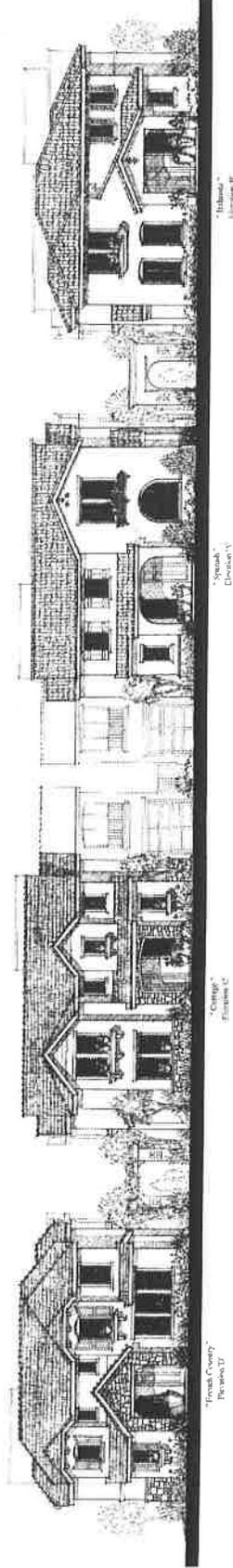


NOTE:

This is for conceptual purposes only. Final design and materials will be subject to approval by the Community Development Director.



Exhibit 20
Conceptual Medium High Density Elevations
Ramsgate Specific Plan



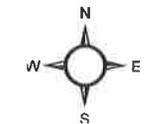
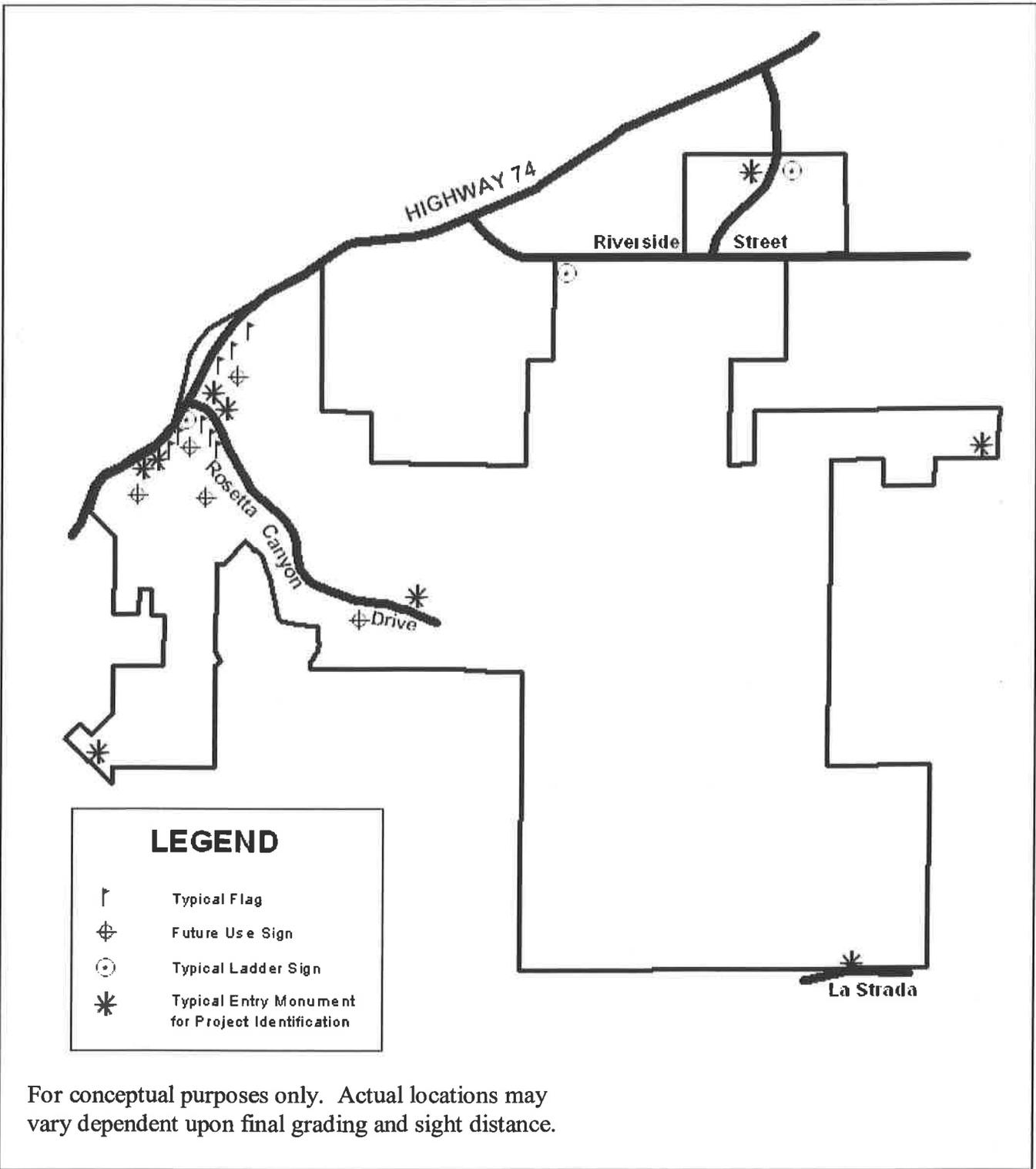
NOTE:
This is for conceptual purposes only. Final design and materials will be subject to approval by the Community Development Director.



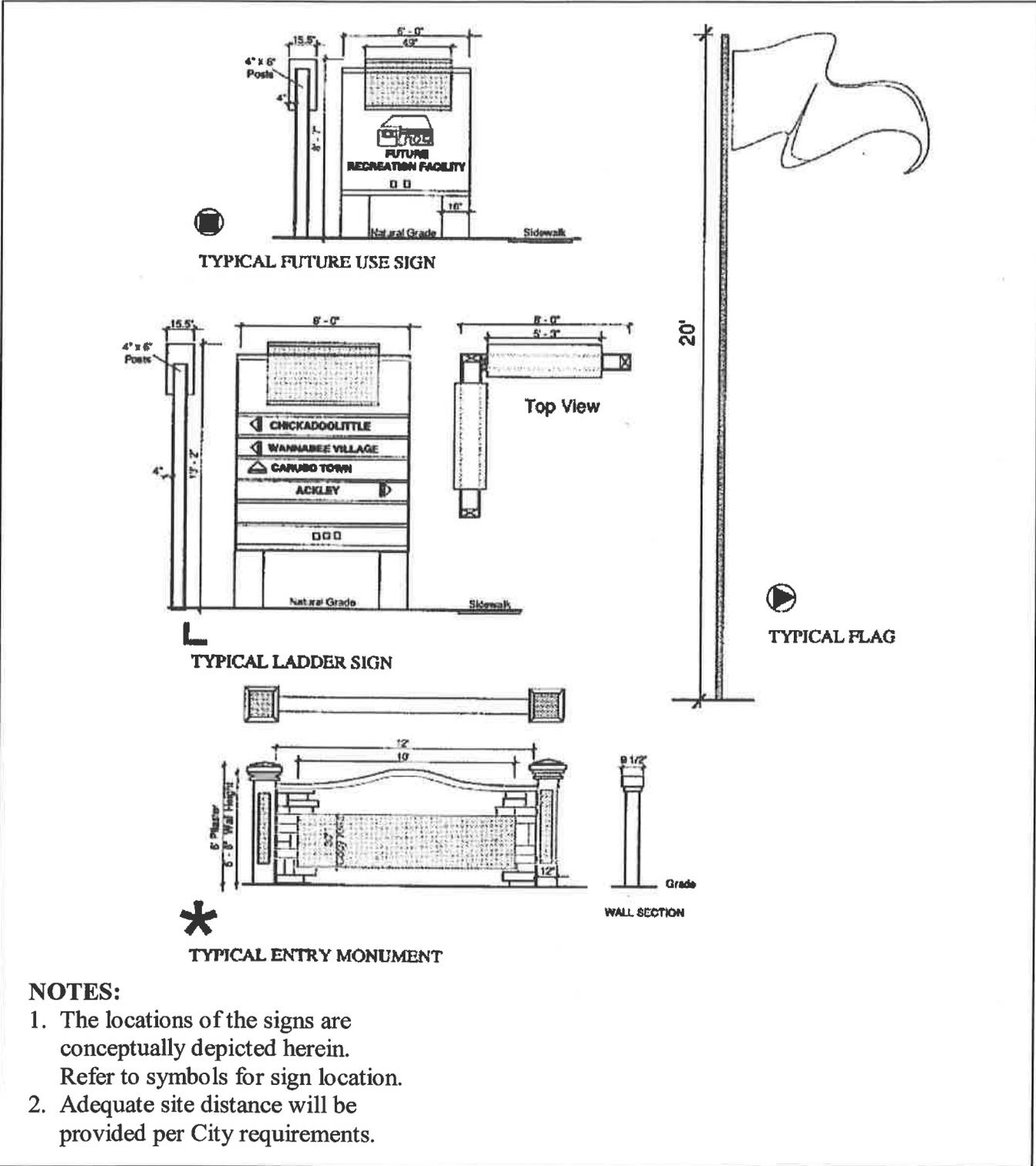
Exhibit 21
Conceptual Medium High Density Street Scene
Ramsgate Specific Plan

- g. Where private streets and driveways serve to provide access to garages or carports and do not serve as the primary method of access to dwelling units, garages have no minimum setback distance.
- B. Parking: The provisions of Chapter 17.66 of the Zoning Ordinance shall be used to determine the required parking for development in the Residential categories. Roll up garage doors shall be provided in apartment density sites. Additionally, there shall be at least one on-street parking space for each pie-shaped lot.
- C. Signs: The provisions of Section 10, Design Guidelines, shall be used to determine permitted permanent signs in the residential categories. Monumentation signage shall be located as shown in *Exhibit 22, Signage Program*, and shall consist of the following:
- Flags – Temporary in nature, flags will be used along the major project entry, Rosetta Canyon Drive and Steele Valley Road to attract visitors to the community.
 - Future Use Signs – This sign, temporary in nature, notifies potential buyers of future community facilities and developments.
 - Ladder Signs – These signs will be located at major intersections within the project to assist buyers in locating model complexes. These signs are also temporary.
 - Entry Monuments – It is intended that the permanent signage for each individual product area consist of the project entry monumentation, individual theme landscaping and hardscape.

Exhibit 23, Monumentation Signage, illustrates these signs and flags for the signage program. The location of these signs and flags will be administratively approved on a signage plan by the Community Development Director.



Not to Scale



ALBERT A.
WEBB
 ASSOCIATES
 ENGINEERING CONSULTANTS

Exhibit 23
Monumentation Signage
Ramsgate Specific Plan

- D. Design standards: Chapter 17.14 of the Zoning Ordinance contains residential development standards applicable to all projects within the city regardless of zoning district. It is therefore important that the provisions of Chapter 17.14 of the Zoning Ordinance be considered together with the regulations contained herein for the residential categories. Where the standards contained in the residential categories are different from those contained in Chapter 17.14, the standards contained herein shall prevail.
- E. Trash enclosures: Trash enclosures shall be constructed pursuant to the City's standard design on file with the Department of Building and Safety. All units shall be placed in a location convenient to the unit(s) it is intended to serve and in no case shall an enclosure be located further than one-hundred feet from the associated unit(s). A decorative enclosure shall be incorporated into the design of any enclosure located within 25 feet of a two-story building having windows overlooking the structure. Said enclosures shall be provided based on a minimum ratio of one, three-cubic-yard container for each:
- a. 5,000 square feet of total floor area for units up to 20,000 square feet;
 - b. 10,000 square feet of total floor area for units larger than 20,000 square feet and up to 50,000 square feet, and
 - c. 15,000 square feet of total floor area for units larger than 50,000 square feet.
- F. Mailboxes: When utilized, common collection mailboxes within a residential complex shall be installed pursuant to the design standards on file with the Division of Building and Safety. The location of the mailboxes shall be reviewed with the Planning Division prior to installation. Common collection mailboxes should be located in decorative housings which incorporate similar materials, colors and textures utilized on the building within the complex. The housing for the mailbox should offer patrons protection from the elements.

G. Other:

- A maximum cul-de-sac length of 1,000 feet shall be allowed in the residential areas.
- Automatic garage door openers will be required on all garages with setbacks less than 20 feet.
- All driveways must be concrete; use of asphalt may be requested for review and approval of the Community Development Director.
- Use permit applications shall include: plot plans, elevations and preliminary landscape plans. The site development application shall be submitted in the form and number as required by the Community Development Director or its designee. All use permit applications shall be approved administratively as minor design review.
- Alternative development standards, other than those specified for the residential categories may be requested if the developer can show how the project will better serve the public interest.

9.2 Commercial Development Regulations

The Commercial areas are primarily intended to accommodate a shopping area that provides convenience goods and services for the residential neighborhoods. Because of the limited size of this area and its proximity to residential neighborhoods, strict development standards have been designed to minimize possible conflicts with adjacent uses. Neighborhood commercial developments must be carefully monitored to ensure continual compatibility between residential and commercial developments.

Permitted Uses:

Uses permitted in the commercial areas shall include those uses listed below when developed in compliance with the purpose and intent of this chapter. Each use if located in a new freestanding structure not previously reviewed, shall be evaluated in terms of its design characteristics and specific site location.

1. Retailing of consumer convenience goods and services:

Antique shops
Appliance stores, household
Art supply shops, studios and photographic shops, studios and photo engraving
Automobile parts and supply stores
Bakeries
Banks and financial institutions
Barber shops and beauty salons and bath shops
Bicycle shops
Book stores
Clothing stores
Drug stores
Dry cleaning establishments and laundry agencies and self-service dry cleaning
and laundry establishments and tailor shops
Florists
Food markets, supermarkets and grocery store, candy stores and liquor stores
Gift shops, hobby stores, stationery stores and card shops
Garden supply shops and nurseries and hardware stores
Health and fitness centers and clubs
Ice cream shops and frozen yogurt shops
Instant printing and duplication service provided there is no pick-up and delivery
service
Jewelry stores, locksmith shops, shoe stores and repair shops, watch repair shops
Leather goods stores
Music stores
Pet shops
Travel agencies

2. All land uses permitted in the single family residential zone shall be permitted in the commercial area.
3. Any other use which the Community Development Director may find to be similar in character to the uses, including accessory uses, enumerated in this section and consistent with the purpose and intent of the commercial area.

Conditional Use Permit:

It is recognized that certain uses, while similar in characteristics to the above permitted uses, may have the potential to impact surrounding properties and, therefore, require additional approval and consideration.

Uses permitted subject to approval of a use permit, pursuant to Chapter 17.44 of the Zoning Ordinance, in the commercial areas shall be as follows:

1. Bars and cocktail lounges, including live entertainment
2. Car washes
3. Delicatessens
4. Fast food restaurants including drive-throughs
5. Gasoline service stations

Accessory Uses and Structures Permitted

Uses customarily incidental to the above uses and accessory buildings, when located on the same lot, including a storage garage for exclusive use of the patrons of the above stores and businesses. Open storage of any goods or materials is not permitted.

The following temporary uses (no more than two years) are permitted in the commercial area subject to the approval of the Community Development Director:

1. Christmas tree and pumpkin sales.
2. Temporary construction facility during construction.
3. Temporary real estate offices.
4. Model homes located within a subdivision to be used only for and during the original sale of the subdivision.
5. Outdoor sales and exhibits
6. Special advertisements—flags, banners, balloons, hot air balloons.
7. Real estate signs, flags, future development signs, and directory signs in conformance with Development Standards contained herein.

Development Standards:

A. Within the commercial areas, Ramsgate will have three commercial sites. The following development standards shall apply for all commercial areas within Ramsgate:

1. Site Criteria: There shall be no minimum parcel size, providing it can be demonstrated that in establishing and maintaining locations or approving uses for

the commercial development, it shall be demonstrated that the property is capable of compliance with the following criteria:

- a. The site can support safe and efficient on-site circulation and has convenient access to surface streets with adequate capacity.
 - b. There is sufficient parcel size to ensure adequate buffering and screening where needed to protect residential developments.
 - c. The site is physically suitable for the proposed type and density of development and capable of permitting full compliance with the City's development standards and practices.
2. Floor area ratio: The maximum floor area ratio shall be .75.
 3. Maximum building height: The maximum building height shall be 35 feet.
 4. Minimum setbacks: The following setbacks shall apply:
 - a. Twenty (20) foot minimum setback from a property line abutting the street.
 - b. Twenty (20) foot minimum setback from a property line abutting residential and open space/recreation zones.
 - c. No minimum setback from a property line abutting a commercial zone.
 5. Parking: The provisions of Chapter 17.66 of the Zoning Ordinance shall be used to determine the parking for commercial development within Ramsgate.
 6. Signs: The provisions of the Section 10, Design Guidelines, shall be used to determine permitted signs in the commercial areas. Temporary signage, as permitted above, shall comply with the signage program identified previously.
 7. Trash enclosures: Trash enclosures shall be constructed pursuant to the City's standard design on file with the Department of Building and Safety. All units shall be placed in a location convenient to the unit(s) it is intended to serve and in

no case shall an enclosure be located further than one-hundred feet from the associated unit(s). A decorative enclosure shall be incorporated into the design of any enclosure located within 25 feet of a two-story building having windows overlooking the structure. Said enclosures shall be provided based on a minimum ration of one, three-cubic-yard container for each:

- a. 5,000 square feet of total floor area for units up to 20,000 square feet;
- b. 10,000 square feet of total floor area for units larger than 20,000 square feet and up to 50,000 square feet, and
- c. 15,000 square feet of total floor area for units larger than 50,000 square feet.

8. Mailboxes: When utilized, common collection mailboxes within a commercial area shall be installed pursuant to the design standards on file with the Division of Building and Safety. The location of the mailboxes shall be reviewed with the Planning Division prior to installation. Common collection mailboxes should be located in decorative housings which incorporate similar materials, colors and textures utilized on the building within the complex. The housing for the mailbox should offer patrons protection from the elements.
9. Design Reviews: No building permits shall be issued for the construction of any building or structure until the applicant has obtained Design Review approval pursuant to the provisions of Chapter 17.82 of the Zoning Ordinance.
10. Landscaping: All areas not utilized for structures, parking, or other permitted uses shall be landscaped. In addition, the following minimum standard shall apply:
 - a. Adjacent to streets – A continuous area, a minimum of twenty (20) feet in depth, shall be landscaped and maintained between parking area and the public right-of-way. Parking areas should be screened as much as possible utilizing berms.

- b. Buffer landscaping – A continuous landscape buffer, with a minimum of fifteen (15) feet in depth shall be maintained adjacent to interior property lines which abut residential development. In addition, a minimum six (6) foot decorative block wall shall be provided.
 - c. General – All building sites shall have a minimum landscaped coverage equivalent to ten (10) percent of the total lot area. Such landscaping shall be automatically irrigated and shall be evenly distributed over the site and consist of an effective combination of trees, ground cover and shrubbery, which may include landscaping required for setbacks or buffers. A reduction in coverage may be sought and approved during the Design Review process in recognition of quality designs. For the purpose of this provision, quality considerations include the use of courtyards, atriums, creative use of ground floor public space, creative use of water elements, and the incorporation of sculpture or art work in the landscape proposal.
11. Design standards: Chapter 17.38 of the Zoning Ordinance contains nonresidential development standards applicable to all projects within the City regardless of zoning district. It is therefore important that the provisions of Chapter 17.38 of the Zoning Ordinance be considered together with the regulations contained herein for commercial development.
12. Other:
- All roof-mounted mechanical equipment, satellite dishes, tanks, ducts, elevator enclosures, cooling towers, or mechanical ventilators shall be screened from the ground elevation view by architectural elements such as parapets, etc., to a minimum sight distance from immediately adjacent fronting streets.
 - Use permit applications shall include: plot plans, elevations and preliminary landscape plans. The site development permit application shall be submitted in the form and number as required by the Community Development Director. All use permit applications shall be reviewed by the Planning Commission.

- Alternative development standards to those specified for Commercial development may be requested if the developer can show how the project will better serve the public interest.

9.3 Recreation/Open Space Development Regulations

The intent of the Open Space/Recreation Areas is to reserve land for park, school, and recreation uses; and to secure natural open space as a permanent public resource, in order to protect the public health, safety, and welfare and preserve environmental and scenic resources.

Land placed in the Open Space/Recreation Areas shall include land under public or private ownership as follows:

1. Parks, picnic grounds, public and private trails and playgrounds, including neighborhood and community parks
2. Game courts, including tennis, racquetball, and basketball
3. Athletic fields
4. Parking lots
5. Primary and secondary schools, both public and private
6. Drainage or flood control channels, creeks, rivers, lakes and floodplains, including riparian habitat areas
7. Land which would endanger the health, safety, and public welfare of the residents, to include:
 - a. Areas where terrain is too steep to build upon or where grading of the land may endanger public health and safety due to erosion by flooding.
 - b. Areas subject to flooding or inundation from storm water
 - c. Geologically unstable areas
 - d. Greenbelt areas which are formed by land development by preserving the land as a natural area

8. Areas of cultural or historical value of significance
9. Areas of outstanding natural, biological, or scenic value of significance
10. Fuel modification areas

Permitted Uses:

Uses permitted in Recreation/Open Space Areas shall include those uses associated with 1-10 above. No building or land shall be used, and no building or structure shall be designed, erected, structurally altered or enlarged except for the following purposes:

1. Drainage channels, bridges or crossings, watercourses, spreading grounds, settling basins, freeways, parkways, public streets, park drives, utility access roads hiking/riding trails, and fire lanes
2. Privately owned or public recreational areas, parks, picnic grounds, playgrounds, wildlife preserve, and such buildings and structures as are related thereto
3. Game courts, including tennis, racquetball, and basketball courts
4. Athletic fields
5. Parking lots
6. Equestrian facilities, including trails, riding stables, showgrounds and competition facilities
7. Primary and secondary schools, both public and private
8. Public and private utility facilities, such as pump stations, transmission towers, water reservoirs, substations, and similar structures
9. Wildlife or wilderness preserves
10. Mining operations in accordance with plan
11. Similar uses to those listed in this section, which in the opinion of the Planning Commission, would not be detrimental or incompatible with the intent and purpose of this Zone, as set forth herein.

Uses Prohibited in the Open Space/Recreation Areas:

1. Residential uses
2. Commercial uses, other than those incidental to recreational uses permitted above
3. Industrial uses

Development Standards:

The following development standards shall apply in the Open Space/Recreation Areas:

1. Minimum lot area: There is no minimum lot size requirement.
2. Minimum street frontage: There is no minimum street frontage width, provided that each lot or parcel containing a school building or structure shall have a width of not less than sixty (60) feet at the building setback line.
3. Maximum lot coverage: No structure shall be permitted except accessory buildings or those structures related to public park and recreational facilities or utilities. In no case shall buildings or structures exceed thirty (30) percent of the total area in use, except for schools and associated buildings.
4. Maximum building height: No building shall exceed thirty-five (35) feet in height or more than one-story, except for public and private school buildings and structures which shall not exceed fifty (50) feet in height or four stories.
5. Minimum setbacks: There are no yard requirements for buildings which do not exceed thirty-five (35) feet in height. Any portion of a building which exceeds thirty-five (35) feet in height shall be setback from the front, rear and side lot lines not less than two (2) feet for each foot by which the height exceeds thirty-five (35) feet. The front setback shall be measured from the master plan roadway right-of-way line. The rear setback shall be measured from the existing rear lot line or from any recorded alley or easement; if the rear line adjoins a street, the rear setback requirement shall be the same as required for a

- front setback. Each side setback shall be measured from the side lot line, or from a master plan roadway right-of-way line.
6. Parking: The provisions of Chapter 17.66 of the Zoning Ordinance shall be used to determine the parking for development in the Open Space/Recreation Zone.
 7. Mechanical equipment: All roof-mounted mechanical equipment, satellite dishes, tanks, ducts, elevator enclosures, cooling towers, or mechanical ventilators shall be screened from the ground elevation view by architectural elements such as parapets, etc., to a minimum sight distance from immediately adjacent fronting streets.
 8. Design review: All structures, parking facilities, or storage lots and grading operations within the Open Space/Recreation Zone shall be subject to Planning Commission approval.
 9. Other: No mechanical equipment, duct, elevator enclosure, cooling tower, or mechanical ventilator shall be erected, constructed, maintained or altered anywhere on the premises unless all such equipment and appurtenances are screened from public view by landscaping, walls, fences, and/or architectural structures. All fences, walls, and structures shall be of similar architectural elements, which are specifically permitted.
 10. An Open Space Plan shall delineate areas to be within homeowner association easements and other maintenance responsibilities and shall be approved by the Community Development Director.

10.0 DESIGN GUIDELINES

The Ramsgate Design Guidelines serve to establish conceptual design parameters in order to insure a cohesive and integrated design for the community. The elements of the image infrastructure such as entry monumentation, innovative slope planting concepts, integrated and cohesive architectural treatments and view corridors serve to reflect the romantic and historical aspects of the California Countryside. These guidelines provide the model for achievement of the image by establishing design parameters for individual merchant builders who plan to develop within the Ramsgate Community. The Ramsgate Design Guidelines dated January 1990 are located in Appendix A of this document.

The maximum grade for any manufactured slope, shall be 2:1 or fifty percent or as approved otherwise by the Building Official based upon recommendations by a soils engineer on slope stability. Contour grading shall be practiced throughout the project by using natural curves and variable slopes, including variations to the standard 2:1 slope. Lastly, prior to construction, the Building Official shall approve a grading plan and all supporting studies.

The image of Ramsgate is to be implemented through unification of image infrastructure features provided by the Master Builder. These include:

- Natural open space
- Community parks
- Elementary school site
- Recreation facilities

The intent is conceiving a theme for Ramsgate is to establish an environment that reflects the "Romance of California". It is upon this sense of romance and history that the theme for Ramsgate is developed. A theme which unites the beauty of the natural surroundings with the built environment.

The architecture of Ramsgate utilizes a palette of deep and muted earth tones, natural building materials that exhibit a collage of texture and gentle lines and shapes that complement the surrounding hillsides. In the same way that the architecture will become a reflection of its countryside setting, so will the landscape design incorporate the best elements of the California environment. The community of Ramsgate will provide a unique and special environment that will reflect the essence of the countryside.

Compliance with these design guidelines will be determined by the Community Development Director. Specific project-wide design goals and objectives are as follows:

1. To provide the City of Lake Elsinore with the necessary assurance that the Specific Plan area will develop in accordance with the quality and character proposed herein.
2. To provide guidance to developers, builders, engineers, architects, and other professionals in order to maintain the desired design quality.
3. To provide guidance to city staff, the Planning Commission, and City Council in the review of future development projects in the Specific Plan area.

These guidelines are intended to be dynamic, to be flexible and to illustrative in nature. Overtime, they may respond to unanticipated conditions, such as changes in community desires and changes in the marketplace.

10.1 Landscaping Guidelines

Landscaping Goals and Objectives

The following are the overall goals and objectives of the landscape guidelines:

1. To reduce emphasis on vehicular impact by careful placement of roads and parking areas, and screening of them from view.

2. To emphasize pedestrian access and circulation, especially between and around roads and buildings.

10.1.1 Streetscapes

The developer shall participate in the City of Lake Elsinore City-wide landscaping and Street Lighting District pursuant to Resolution 88-27.

The landscape character established along primary and secondary streets help dictate the aesthetic character of the circulation routes within the community. The master builders' intent is to maintain and enhance the California country image by providing parkways and streetscapes which are appropriately planted and well maintained. *Exhibit 24, Landscape Concept Plan*, identifies the Landscape Concept Plan for Ramsgate. Plants chosen for the Ramsgate Specific Plan area should be selected for stress durability, drought tolerance, color foliage and speed of growth.

Recommended primary trees, accent trees, ground cover and shrubbery for primary circulation routes are:

Primary Trees

Geijara parviflora – Australian Willow

Quercus spp. – Oak

Platanus racemosa – California Sycamore

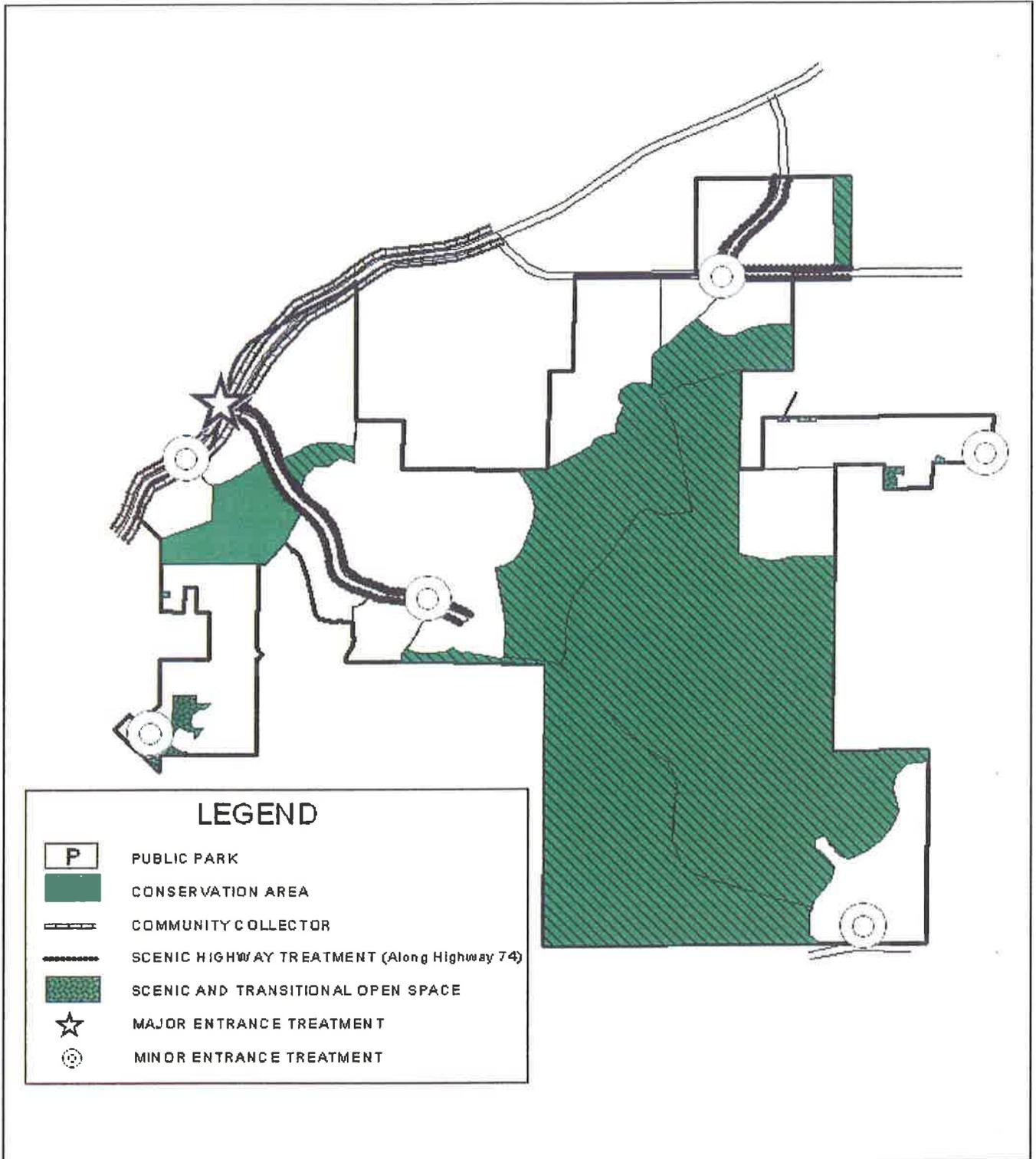
Accent Trees

Koelreuteria paniculata – Chinese flame

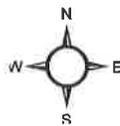
Olea eurpaeo – Olive

Pistacia chinensis – Pistache

Platanus racemosa – California Sycamore



LEGEND	
	PUBLIC PARK
	CONSERVATION AREA
	COMMUNITY COLLECTOR
	SCENIC HIGHWAY TREATMENT (Along Highway 74)
	SCENIC AND TRANSITIONAL OPEN SPACE
	MAJOR ENTRANCE TREATMENT
	MINOR ENTRANCE TREATMENT



Not to Scale

Shrubs

Trachelospermum jasminoides – Star Jasmine
Heteromeles unedo – Strawberry tree
Nerium oleander dwarf – Oleander
Rosmarinus officinalis – Rosemary

Ground Cover

Cerastium tomentosum – Snow in Summer
Fragaria chiloensis – Ornamental Strawberry
Erica spp. – Heath
Drosanthemum spp. – Ice plants

While streets within each of the individual developments will not have a separated parkway, interior streets will incorporate a regular pattern of street trees. The plant palette includes vines and shrubs to complement the landscape theme. Shrubbery is used where visual buffers or screens are desired. Drought resistant species of shrubs shall comprise 80% of the planting schemes. The planting of shrubs on slopes shall consist of both drought-resistant and fire-retardant species.

The visual impacts associated with the construction of water reservoirs within the Ramsgate Specific Plan will be reduced through the incorporation of special landscaping treatments that will blend with the surrounding natural areas. The plant palette utilized in conjunction with the water reservoirs shall consist of both drought-tolerant and fire retardant species which are compatible with the native vegetation found on and surrounding the reservoir site. Both sides of access roads to reservoir sites and open space areas shall be landscaped utilizing drought-tolerant and fire retardant species compatible with the vegetation found within the adjacent property.

A conceptual landscape plan shall be developed prior to the approval of any final tract map. This plan shall present the overall theme and give special regard to the streetscape, fencing, signage, lighting, community graphics and Wasson Canyon. This plan shall be subject to the approval of the Community Development Director. Slopes on individual lots that are in excess of three (3) feet in height shall be landscaped and irrigation shall be installed by the by the developer.

Landscape Submittal Requirements

A. Conceptual Landscape Plan Submittal Requirements

Prior to the recordation of an applicable final map, the applicant shall submit to the City of Lake Elsinore Planning Department the following items:

1. Three sets of conceptual landscape plans with all landscape materials identified.
2. Identify texture, materials and color to be used at sidewalks and pedestrian circulation areas.
3. Identify landscape amenities such as decorative paving, street furniture, walls and signage.
4. Detail treatment of all walls, fences and trash enclosures, if applicable.
5. Master Concept Plan showing overall project to be at scale not less than 1"-200'-0".
6. All materials to be submitted in final form. No partial or incomplete plans will be accepted. Plans must be signed by a registered landscape architect with firm's name, address, date prepared and professional seal.

B. Detailed Landscape Plan Submittal Requirements

Prior to the issuance of building permits, the applicant shall submit to the City of Lake Elsinore Planning Department the following items:

1. Plan scale must not be less than 1"-40'-0" and north arrow shall be shown on each sheet for individual tracts/projects.
2. Note any existing easements including restrictions.
3. Clearly denote right-of-way lines and indicate maintenance responsibility areas (LLAD, Master Association or private maintenance as outlined below).
4. The building pads, walls/fences shall be shown where immediate adjacent to landscape areas.

5. Irrigation plan as identified on following page.

Subsequent submittals – The applicant shall submit to the City two sets of corrected plans and redlined copies from previous submittals.

Approval – The applicant shall submit two sets of corrected landscape plans (one to be held for City records, and one to be released to the applicant).

Irrigation Submittal Requirements

Prior to the issuance of any building permits, a detailed landscape plan shall be submitted and approved by the Planning Department and shall include the following items:

1. Three sets of detailed landscape plans
2. Irrigation design calculations
3. One copy of agronomic soils report and recommended specification.
4. One set of irrigation plans approved and signed by EVMWD.
5. Identification of landscape amenities.
6. Cost estimate for landscape improvements.
7. Provide legend showing pertinent data (specifications) for materials used in the system design i.e. controller, valves, backflow, PVC, hose bibs and/or quick couplers, sprinkler heads and drip irrigation locations.
8. Standard notes and information as required by EVMWD for systems using reclaimed water.
9. Point of connection information for each irrigation system including the source (potable or reclaimed) with water meter location and size, available water pressure, peak flow meter, detail back flow unit and finished grade at backflow preventer.
10. All materials to be submitted in final form. No partial or incomplete plans will be accepted. Plans must be signed by a registered landscape architect.

11. Plan scale must not be less than 1"-40'-0" and north arrow shall be shown on each sheet.
12. Note any existing easements including restrictions.
13. Clearly denote right-of-way lines and indicate maintenance responsibility areas (LLMAD, Master Association or private maintenance as outlined below).

Subsequent submittals – The applicant shall submit to the City two sets of corrected plans and redlined copies from previous submittals.

Approval – The applicant shall submit two sets of corrected irrigation plans (one to be held for City records, and one to be released to the applicant).

10.1.2 Front Yard Landscaping (Residential)

In the continued effort to provide visual enhancement to each neighborhood within Ramsgate, it is the intent of the master developer that each individual builder within the community provide front yard landscaping prior to use and occupancy for the homeowner. In this way, as neighborhoods are landscaped with turf, shrubs and ground cover at one time, they are perceived as a whole unit and not a hodgepodge of haphazardly landscaped front yards.

10.1.3 Landscape Maintenance Responsibility

Landscape Maintenance Responsibility within Ramsgate can be categorized as follows:

1. Landscape Lighting and Maintenance Assessment District: (LLMAD): The City shall maintain all medians and the 7'-20' landscape easement areas on all public streets greater than 66' R.O.W. The City may, at its option, turn over the responsibility of maintenance of slopes to the Homeowners Association.
2. Master Association Areas: These areas are the maintenance responsibility of the Ramsgate Master Association and include: the major slope areas along the circulation routes with a 60' R.O.W. and less and primary streetscape areas not maintained by the LLMAD, monumentation areas, Fuel Modification Zones along

the perimeter of individual development areas and major slopes within private properties that are 30' or higher. A proper maintenance easement(s) shall be recorded at the time of recordation of final maps at all common areas. A detailed landscape plan and open space plan shall be approved by the Community Development Director.

3. Private: These zones include minor slope areas located within the property of individual homeowners as well as maintenance of front yard landscaping.

An open space plan shall delineate areas to be within homeowner association easements and other maintenance responsibilities and shall be approved by the Community Development Director. All secondary and residential collector streets shall be planned and constructed with median islands and be located within an open space parkway.

All open space and slopes except for public parks and schools and Flood Control District facilities, outside the public right-of-way will be owned and maintained by either a master owners' association or private owners. All open space areas owned by the owners' association will be offered for irrevocable dedication to the City, however, the City is not obligated to accept these areas. Maintenance responsibilities shall be further defined in the required open space plan.

10.2 Entry Statements

In designing the land use plan for Ramsgate, it was intended that a sense of arrival, form, material selection, color, and overall theme of the project be established. The major entry road to the community will have monumentation signifying entry into the project. Project and neighborhood entries will establish the sense of arrival on a more specific locational basis.

Community arrival statements serve as arrival points to the planned community. These statements formally set the theme for the community and are located at the above identified intersections. The concept for these arrival areas utilizes a formal arrangement of large specimen theme trees and wall monumentation. In the foreground, flowering shrubs complete the landscape treatment. *Exhibit 25, Community Arrival Detail*, of the Specific Plan shows the community arrival detail. Entry into the actual project areas is signified by the project entries. Overall the project entries shall provide focus for identification of the individual neighborhood

areas. *Exhibit 26, Typical Neighborhood Entry*, of the Specific Plan shows the detail of a typical neighborhood entry. This type of entry should be anticipated at the entrance to each neighborhood or at tentative tract map locations and shall be in conformance with the City's sight-distance standards. A neighborhood entry monument and median program shall be designed for use throughout the Ramsgate site. Placement of entry monumentation shall be in compliance with the City's sight-distance standards. This program shall be submitted to Community Development Director for approval prior to approval of final tract maps. Additionally, a Master Concept Plan for the entire Ramsgate project will identify entry monumentation and median treatments as previously discussed, as well as entry walls, signage, and landscaping with plant materials. This will be required prior to recordation of the first final map.

10.2.1 Entry Walls

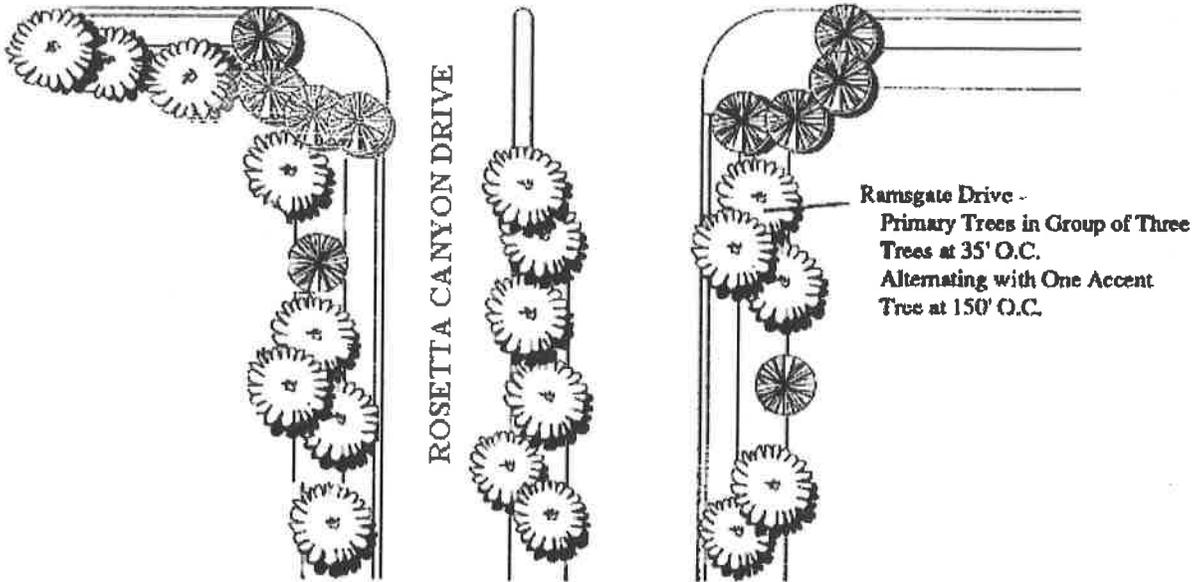
The scale, shape, choice of materials and color palette used in the entry wall treatment throughout the development plan set the design tone, as well as serve as a unifying element throughout the project.

In order to insure design consistency throughout the development, and to reinforce the notion of integrated sub-communities, it is intended that the same materials and color palette be utilized in the minor monumentation and individual project entry monumentation.

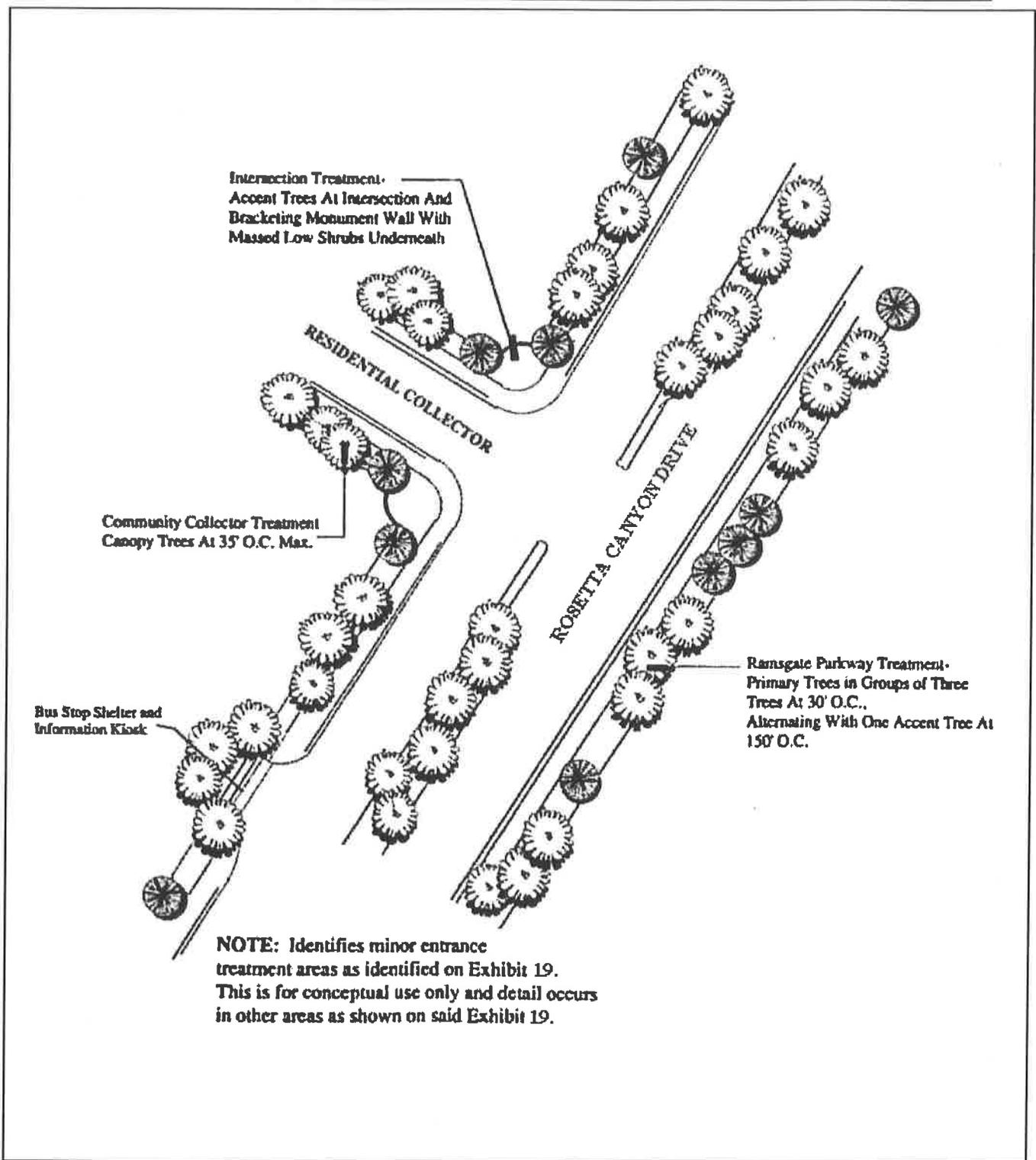
10.2.2 Lighting

Lighting recommendations proposed in these guidelines are purely for aesthetic considerations. As such, aesthetic lighting at entry monumentation should be utilized in a manner that enhances the entries, and does not distract the eye. It is recommended that wall front lighting and accent tree uplighting, or "grove" uplighting be used to signal entry points.

HIGHWAY 74



NOTE: Identifies major entrance treatment areas as identified on Exhibit 19. This is for conceptual use only and detail occurs in other areas as shown on said Exhibit 19.



10.2.3 Signage

In order to achieve the overall intent of establishing a planned community concept with a consistent theme, each neighborhood must reflect the general theme. Towards this goal, great care has been taken to design major and minor monumentation, as well as select materials and palettes, compatible with each other and the Ramsgate image. In this pursuit, it is intended that the entry monumentation for each individual development area solely consist of the entry wall feature, landscaping and lighting.

Community monumentation will be constructed at the corners of Rosetta Canyon Drive and Highway 74 and Steele Valley Road and Riverside. Construction should be concurrent with and an integral part of the surrounding commercial development.

10.3 Residential Guidelines

The architecture guidelines in residential areas have been developed in order to achieve a high level of appearance, assure product compatibility, direct character and form and to establish the community's design criteria for use by architects. It is the intent of these guidelines to comply with the City of Lake Elsinore zoning regulations, as well as to provide a flexible framework within which to design this project. The main objective is to encourage good architectural design, while also permitting the builder flexibility to design a neighborhood with its own unique identity and design integrity. Each planning area or neighborhood in Ramsgate should have a distinctive architectural product type and/or style associated with the California Countryside theme. Detailed residential architectural design guidelines shall be submitted prior to the submittal of record tract maps and final building plans for administrative design review. These plans shall identify architectural plans and elevations, color palette and roofing materials. Applications for multi-family projects shall receive formal Design Review and shall be subject to approval by the Planning Commission.

In order to accomplish the guidelines set forth in this Specific Plan, the following are the overall goals and objectives in residential areas:

1. Residential development in areas adjacent to Highway 74 will include noise attenuation techniques such as setbacks, baffle walls, berms and clustering to minimize the noise and visual impacts resulting from traffic along Highway 74.
2. Solar panels are to be integrated into the roof design, flush with the roof slope. Frames must be colored to compliment the roof. Natural aluminum frames are prohibited. Support solar equipment shall be enclosed and screened from view.
3. At air conditioning/heating equipment must be screened from public view. Sound attenuation is encouraged.
4. Gutters and downspouts may be concealed or exposed if designed as a continuous architectural feature. Exposed gutters and downspouts shall be painted to match adjacent roof or wall material.
5. Canvas awnings of solid accent colors may be permitted in moderation. Refer to the color palette for criteria. Metal awnings are prohibited.
6. Exterior building materials shall be of natural materials which are compatible with and reflect the elements of the surrounding natural environment. This includes wood, masonry, adobe, concrete, plaster or stucco. Complimentary accent materials and colors are allowed and encouraged.
7. Color is intended as a primary theme element reflecting the nuances of the indigenous elements of the natural element. The values should generally be light, with darker or lighter accents encouraged to highlight the character of the structure.
8. Private walls and fences are encouraged to provide security, privacy and landscape definition. Fencing between homes is encouraged to be of concrete block construction or other similar desirable material. Wooden fences are permitted when not visible from public spaces or streets. Wooden gates are permissible between individual homes.
9. Residential units along open space corridors should be sited and designed to maximize view opportunities.
10. The utilization of innovative housing techniques will be encouraged to provide affordable homes within Ramsgate.

11. Front yard setbacks for garages shall be seventeen (17) feet with minor variations for grading and aesthetic purposes permitted to a minimum of ten (10) feet subject to the approval of the Planning Commission.
12. Detailed residential architectural design guidelines shall be submitted for administrative design review prior to the submittal of final tract maps or building plans.

10.3.1 Residential Architecture

The goal of this section is to create functional and visual variety within the street scene. It is the intent of the guidelines to discourage projects where nearly identical homes line streets with neither variation in building placement nor architectural form. Listed below are some guidelines which will create the desired variety within the streetscape.

1. Openings in buildings should be accented architecturally through indentation, framing and roof variations when visible from public streets.
2. Housing facades shall be distinctly articulated incorporating staggered or angled treatment to the exterior. Flat, linear interfaces should be discouraged.
3. Balconies and overhangs shall be encouraged to provide architectural interest and protection against the sun and inclement weather.
4. A variety of roof forms, planes and pitches should be encouraged for each structure.
5. Insure that front, side and rear elevations share common materials and articulation.
6. Particular care should be given to all rear and side elevations, particularly when they are visible from the major circulation or stand out against the hillside and skyline.
7. Avoid repetitious gable ends along the rear elevation.
8. Consideration should be given to the architecture of rear and side elevations viewed from public spaces or major roadways by providing variations to plan and/or roof forms.
9. Recessed window, door and wall openings are encouraged.

10. The use of balconies or porches is encouraged. Balconies should be incorporated into the building form to articulate and break up large wall masses.

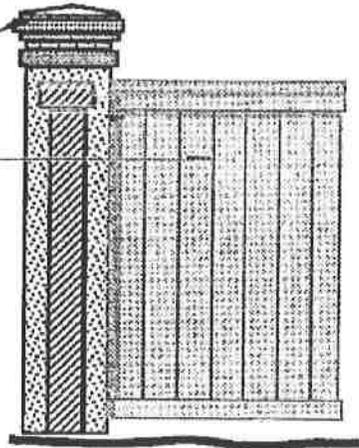
10.3.2 Community Walls and Fencing

Community walls and fences consist of such elements that will face public streets or view corridors or that will be constructed in relation to public facilities or uses. Community walls and fences serve as a unifying element along street corridors and link community, project and neighborhood arrival and entry features at major intersections throughout the community.

Wall and fencing elements are recommended to enhance the landscape corridors and provide a unifying community concept for Ramsgate. *Exhibit 27, Fencing Exhibit*, identifies fence types which may be incorporated within the Ramsgate Specific Plan area. A detailed fencing plan shall be prepared which designates where various fencing types are to be located; i.e. decorative masonry, a combination wrought iron and decorative masonry, vinyl or wood. The fencing plan shall be reviewed and approved by the Community Development Director. Additionally, all lots with side and rear/or rear yards and all perimeter fencing adjacent to public rights-of-way or open space areas shall have decorative walls installed by the developer. Interior lot line fencing will be required and may be of wood with an enhanced design.

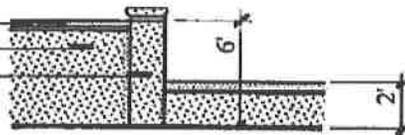
Type A
Wood Fence
(Interior Only)

Stucco or Slumpstone Cap
Natural Stain Wood Fence



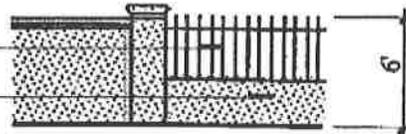
Type B
Low Stucco or Slumpstone
Theme Wall with Pilasters

Mushroom Cap with Stucco or Slumpstone Finish
Stucco or Slumpstone Finish Wall
Stucco or Slumpstone Pilaster



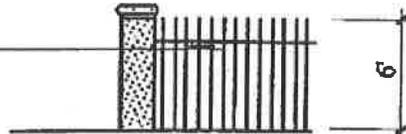
Type C
Stucco or Slumpstone and
Wrought Iron Wall

Square Steel Pickets
Stucco or Slumpstone Finish Wall



Type D
Wrought Iron or Tubular Steel Wall

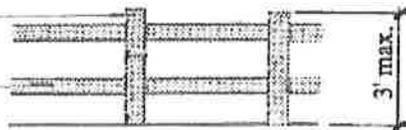
Square Steel Pickets



Type E
Low Split Rail Fence

4" x 8" Post

2" x 4" Split Rail



NOTE:

This is for conceptual purposes only.
Final design and materials will be subject to approval
by the Community Development Director.

10.3.3 Model Complex Guidelines

Within the model complex, hardscape and planting designs, as well as selections of materials and palettes consistent with California countryside are required. This involves design themes that are informal and utilizing such elements as massing, clustering and informal contouring. Materials consistent with this may include terra cotta tiles and pots, stone pots, sand blasted concrete, coarse stone, earth tones should predominate in material and hardscape choices. At least one of the model home lots in each complex should be landscaped with a xeriscape theme and signage describing the concept to future buyers. A greater degree of latitude will be allowed in this area, with eventual design considerations also involving architectural style and individual project theme.

The following are the overall goals and objectives of guidelines in model complex areas:

1. The model complex shall be in compliance with provisions stated in the residential development standards of the Ramsgate Specific Plan.
2. Model complexes with units on corner lots shall be given additional architectural detailing to side street elevations including such things as arbors, trellis, and decorative entry courtyard walls.
3. Prevent a profusion of signs and displays which detract from the model complex environment.
4. Create signage in forms, colors and styles that compliment each other and help establish a balance. Refer to *Exhibit 16, Real Estate Signage*, for typical real estate signage.
5. Model complex identification sign shall be located adjacent to main entry or entries of the model complex if identifies.

11.0 IMPLEMENTATION

Site specific development proposals within the Ramsgate Specific Plan area shall be subject to the guidelines established herein.

However, several processes and procedures must be accomplished in order to implement the development plan. It must be established that the Specific Plan is consistent with all State and local requirements before it may be approved by City Council. Following its approval, several steps must be completed at the regional and state levels before actual development may commence. These steps and procedures are described in detail below.

Consistency

State Planning and Zoning Law

Section 65450 of the Government Code of the State of California (known as the State Planning and Zoning Act) gives authority for the preparation of specific plans. Section 65450 states: The planning agency may, or if so directed by the legislative body, prepare specific plans based on the general plan and drafts of such regulations, programs, and legislation as may in its judgement be required for the systematic execution of the general plan and the planning agency may recommend such plans and measures to the legislative body for adoption. Article 8 through 10 of Chapter 3 of this law defines the scope, procedures for adoption and administration of specific plans and regulations. This Specific Plan has been prepared in accordance with these provisions of the State Planning and Zoning Act.

California Environmental Quality Act

The California Environmental Quality Act of 1970 (CEQA) was enacted in response to increasing public concern over the environment. In a 1972 landmark case, Friends of Mammoth et al. vs. Board of Supervisors Mono County et al., the California Supreme Court ruled that

Environmental Impact Reports must be prepared for both public and private projects having a significant effect on the environment. Environmental Impact Reports must be prepared for all specific plans. Focused EIR's or Negative Declarations may be adequate for lesser projects or for component projects which are part of Master EIR.

An EIR (SCH 83071309) was prepared to address the environmental issues associated with the implementation of the Specific Plan and was adopted by City Council in June 1984. In 1989 L.D. Johnson companies initiated an amendment to the Specific Plan and a Supplemental Environmental Impact Report and Addendum. Eight tentative tract maps have been approved for the Ramsgate project site as Ordinance No. 892 as well as the Development Agreement as Resolution No. 90-3.

City of Lake Elsinore General Plan

Section 65300 requires each city to adopt a comprehensive, long-term and internally consistent general plan for the physical development of the City, and any land outside of its boundaries which in the planning agency's judgement bears relation to its planning. The City of Lake Elsinore adopted its General Plan November 27, 1990 (Resolution No. 90-114). The plan projects the development of the community to the year 2010. This project is consistent with the current general plan, as the site land use designation is Specific Plan.

Specific Plan

This Specific Plan shall be processed in accordance with the provisions of Chapter 17.99 (SPD) Specific Plan District, of the City of Lake Elsinore Zoning Code. This chapter provides for the processing of Non-conditional Specific Plans which allows for the approval of the Specific Plan document and zoning on the project site concurrently. As part of the process, the City Council establishes the development intensity for land uses within the project.

Specific Plan Modifications/Amendments

Minor modification to the approved Ramsgate Specific Plan will be allowed at the discretion of the Community Development Director. Any modifications to the Specific Plan must be consistent with the purpose and intent of the originally approved Specific Plan document. Appeals of the Community Development Director's decision shall be made to the Planning Commission. The Planning Commission shall act on appeal within thirty (30) days. All modifications or amendments to the approved Specific Plan, other than such minor changes, shall be processed as a Specific Plan amendment and are subject to all specific plan procedures.

The following modifications constitute minor changes to the approved Specific Plan:

1. Transfer of Units: The maximum number of dwelling units in a residential area may be exceeded by up to 10% of the maximum, as long as an equal number or greater of excess units is available from a previously approved residential area, which did not accomplish the maximum number expressed in that area to achieve an overall balance.
2. Roadways: Minor changes in roadway alignments and street sections are allowed, provided such changes are consistent with the streetscape concept for roads, and are subject to approval of the City Engineer and Community Development Director.
3. Phasing Program: The phasing program may be modified, provided the objectives of the program continue to be met, and provided that all infrastructure including but not limited to roads, sewer facilities, water supply, and drainage facilities is available to serve proposed development. Any deviations from the Phasing Plan shall be subject to the approval of the Community Development Director, and if deemed to be a significant change, the Planning Commission.

The following are administrative standards that apply to the implementation of future development applications (i.e., plot plans, tract maps, or parcel maps) for the Ramsgate Specific Plan:

1. Future tentative, or parcel maps and site plan review packages must be in substantial conformance with the development standards and design guidelines of the Ramsgate Specific Plan.
2. Final subdivision or parcel maps shall be in substantial conformance with the approved tentative or parcel map, as well as the approved site plan package.
3. Building permits for dwelling units shall be issued when a final subdivision map has been recorded. Permits may be issued for model units prior to the final map recordation subject to the requirements of the City.
4. Mitigation measures for environmental impacts shall be reviewed during the tentative map/site plan review stage. The tentative map shall be conditioned as necessary to mitigate any remaining impacts at the construction stages.

Approval of the final Specific Plan for the project shall be accomplished by Ordinance.

12.0 PROJECT PHASING

General development phasing for Ramsgate will be determined by a number of factors that will control the implementation of the Planned Community. Major controlling factors include the development of water, sewer, street, flood control and other public infrastructure improvements; current and future trends in regional and local housing demand, supply, absorption and decisions of the local agencies regarding public improvements and future individual development plans. Recognizing that, the actual rate and phasing of development will be determined by these factors over an approximate time period of 20 years.

Phases are based upon anticipated market conditions and the principal requirements of community development. The conceptual phasing plan illustrates a logical sequence of development that will create residential neighborhoods and various public services and facilities in a way that maximizes the cost-effectiveness and efficiency of investments in developments.

Exhibit 28, Conceptual Phasing Plan, indicates a Conceptual Phasing Plan. This exhibit is intended to be a conceptual illustration of the phasing of Ramsgate. External factors such as the housing demand, the housing market, and other unforeseeable conditions could alter the phasing period. The phases are provided as a concept based upon the stated criteria.

Exhibit 28, Conceptual Phasing Plan

13.0 MINOR DESIGN REVIEW

Prior to the issuance of building permits, development for single family residential uses shall submit applications for minor design review. Said applications shall be approved administratively by the Community Development Director or its designee unless identified otherwise in this Specific Plan (such as garage setbacks and non-residential applications and multi-family projects). Minor design review shall be completed within a reasonable amount of time with a determination that the project is approved, conditionally approved or denied. The following exceptions shall apply.

- Additions or alterations to an existing structure which do not change the use from one permitted in the residential categories and which does not increase the floor area by more than 50%.
- Accessory structures other than garages, enclosed patios, workshops, cabanas, and similar enclosed structures containing 600 or more square feet of floor area, provided they are located no closer to a property line than the setback prescribed for the main dwelling unit, except that straight-in entry garages may be required a greater setback.
- Fences and walls: Fences and walls do not need formal Design Review approval by Planning Commission. A detailed fencing plan will be prepared which designates where various fencing types are to be located and must be approved by the Community Development Director prior to construction or installation.

It should be noted that if lots less than 50 feet in width are proposed, they shall be considered a special line home and shall be subject to architectural design review approval by the Planning Commission.

14.0 DEFINITIONS

For the purpose of carrying out the intent of the Ramsgate Specific Plan, words, phrases, and terms shall be deemed to have the meaning ascribed to them as below. Any definitions not provided here shall be as provided in the City of Lake Elsinore Municipal Code.

The word "Council" or "City Council" shall mean the City Council of the City of Lake Elsinore, which is the governing body of the city.

The word "County" shall mean the County of Riverside.

The word "Commission" shall mean the City of Lake Elsinore Planning Commission.

The words "Approved by the Director" or "Director," shall mean the Community Development Director of the City of Lake Elsinore acting in person or through a subordinate to whom the authorization to act has been delegated.

The word "shall" is mandatory the word "may" is permissive.

The word "State" shall mean the State of California.

The word "permitted" means permitted without the requirement for a discretionary permit but subject to all other applicable regulations.

The words "Zoning Code" or "Code" shall mean the Comprehensive Zoning Code of the City of Lake Elsinore.

Access, Primary: The principal pedestrian walkway system to a dwelling unit.

Access, Secondary: An access other than the primary access.

Accessory structure: A subordinate building located on a building site, the use of which is customarily incidental to that of the main building or to the use of the land.

Accessory use: A use customarily incidental and accessory to the principal use of the land, or to a building or other structure but not necessarily located on the same building site as the principal use.

Basement: A story partly underground and having more than one-half of its height above the ground-level grade.

Building: A structure having a roof supported by columns or walls.

Building height: The vertical distance measured from the ground-level grade to the top of the building directly above that point.

Building line: An imaginary line on a building site specifying the closest point from an ultimate right-of-way or a property line where a main building may be located.

Building site: A parcel or contiguous parcels of land which was established in compliance with the building site requirements of this specific plan.

Building site area: The total area, measured horizontally as a level plane, of the land within the boundaries of a building site not including any street right-of-ways, vehicular easements or other easements that prohibit the surface use of the property except open space landscape or recreational easements; and not including any portion which does not meet applicable district regulations when a building site is divided by such a right-of-way or easement.

Building site coverage: The area of the land within the perimeter of all structures located on the building site, not including the area under unenclosed eaves and unenclosed post-supported overhangs, patios, courts, malls, swimming pools, and off-street parking facilities, divided by the building site area.

Carport: A roofed structure, or a portion of a building, open on one or more sides, primarily for the parking of automobiles.

Cellar: A portion of a building partly or wholly underground and having more than one-half of its height below the ground-level grade. A cellar shall not be considered a story.

Centerline: A line described in the first situation that applies in the following instances:

- a. A section line, half-section line or quarter-section line whenever a mapped highway is plotted on the "Master Plan of Arterial Highways" along a section, half-section or quarter-section line.
- b. A line shown as a centerline on a map entitled "Precise Plan of Highway Alignment," and any amendments thereto.
- c. A line shown as a centerline on a recorded tract map, an approved record of survey map or a parcel map.
- d. A line in the center of the ultimate street right-of-way.

Cluster development: Refers to a residential subdivision consisting of a combination of residential lots and privately owned common recreation and open space areas arranged in accordance with a site plan with adequate provisions for permanent maintenance of the common ownership facilities.

Common area – residential: The area within a residential development that is not occupied by residential buildings and which is owned in common by homeowners in the development, and which is available for common use or enjoyment by all property owners in the development and their invitees (e.g. common parking facilities, recreation areas, landscaped areas, open space areas, and natural areas).

Community facility: A noncommercial use established primarily for the benefit and enjoyment of the population of the community in which it is located.

Community information center: A temporary or permanent structure principally used as an information pavilion and/or temporary real estate sales offices for the sale of homes in Ramsgate, including parking and related facilities.

Community service facility: A community service commercial, or nonprofit, noncommercial use established primarily to service the immediate population of the community in which it is located.

Conditional Use Permit: Synonymous with design review as discussed in section 9, Development Standards.

Conservation easement: Synonymous with all open space definitions provided herein.

Conventional subdivision: A subdivision consisting primarily of streets and lots. Commonly owned or special use areas may be included but are secondary and supplementary to the subdivision design.

Day nursery (including preschool and nursery schools): Any group of buildings, building or portion thereof used primarily for the daytime care of six or more children at any location other than their normal places or residence, excluding any children who normally reside on the premises.

Density: The number of dwelling units per gross acre.

Development: Residential, commercial, industrial, community facility or other construction, including necessary grading, landscaping and parking, together with the land upon which the building or structures are constructed.

Development unit: A portion of a development plan or tentative tract map within which all lots and amenities are constructed or developed at one time or in contiguous interrelated phases as a unit of the overall proposed development.

Driveway: A vehicular passageway for the exclusive use of the occupants of a project or property and their guests. A driveway shall not be considered a street.

Dwelling, single-family: A building containing one dwelling unit per building site.

Dwelling unit: One or more rooms in a structure, including a kitchen, designed for occupancy by one family for living and sleeping purposes, and including factory built and mobile homes

when such mobile home bears an insignia of approval issued by the California Department of Housing and Community Development or a housing seal number from the Federal Department of Housing and Urban Development (HUD).

Easement: A recorded right of interest in the land of another, which entitles the holder thereof to some use, privilege or benefit out of or over said land.

Exterior property line: A property line abutting a public or private street.

Family: One person, with or without resident domestic employees, occupying one dwelling unit; or two or more people related by blood, marriage or adoption, with or without domestic employees, occupying one dwelling unit; or a group of not more than six unrelated people, with or without domestic employees, occupying one dwelling unit; or a licensed family care home, foster family home, or maternity home, as defined in Title XXII, Sections 30011, 30013, 30015 of the California Administrative Code, serving six or fewer persons, when such care is provided on a twenty-four hour per day basis; or a family day care home, as defined in Title XXII, Section 30019(a) of the California Administrative Code.

Flood, One-hundred-year: The highest level of flooding that has an average frequency of occurrence in the order of one in one hundred years at a designated location, considering regional meteorological and hydrological conditions characteristic of the geographical region involved. This also means that the level of flooding having a one percent probability of occurrence in any year.

Flood plain: The land area adjacent to a watercourse which is subject to overflow of floodwaters.

Floodway: The channel of a stream or other watercourse and that part of the flood plain reasonably required for passage of a flood of given magnitude.

Floor area ratio: The numerical value obtained by dividing the gross floor area of a building or buildings located upon a lot or parcel of land by the total area of such lot or parcel of land.

Garage, private: A building, or a portion of a building, used primarily for the parking of automobiles belonging to the occupants of the property.

Garage, public: A building other than a private garage used for the maintenance or temporary storage of automobiles.

General Plan: Refers to the City of Lake Elsinore General Plan, and elements thereof, as they may pertain to the Ramsgate Specific Plan.

Grade, ground level: The average level of the finished ground surface surrounding a building.

Gross area: The entire land area within the boundary of a project, measured to the centerline of any abutting arterial highways.

Gross residential density: The density of a residential project computed by dividing the total number of dwelling units in the project by the gross area of the project.

Interior property line: A property line which does not abut a private or public street.

Joint use of parking: The shared use of off-street parking facilities by more than one type of land use. The same parking spaces are counted to satisfy the off-street parking requirements of more than one land use, e.g. use of the same parking facility to satisfy the off-street parking requirements of a church and an office building.

Kennel: Any property where four or more dogs, or cats, or any combination thereof, over the age of four months, are kept or maintained for any purpose.

Key lot: Any parcel shown on a recorded tract map, record of survey recorded pursuant to an approved division of land, parcel map, lot line adjustment or recorded Certificate of Compliance, having side property line(s) abutting the rear property line(s) of adjacent parcels.

Local agency: An agency for the local performance of governmental or proprietary function within limited boundaries. "Local agency" does not include the state, a city, or a county. "Local agency" does include but is not limited to school districts, sanitary and sanitation districts, and water districts.

Lot: Any parcel shown on a recorded tract map, a record of survey recorded pursuant to an approved vision of land, lot line adjustments, a parcel map, or recorded Certificate of Compliance. A lot is not necessarily a building site.

Lot coverage: The area of the land within the perimeter of all structures located on the building site, not including the area under unenclosed eaves and unenclosed post-supported overhangs, patios, courts, malls, swimming pools, and off-street parking facilities, divided by the building site area.

Main building(s): The building(s) containing the main or principal use(s) of the premises, or occupied for the purpose of operating or administering the main or principal use(s).

Manufactured Open Space: Any manufactured parcel of land or water which provides a recreational and/or scenic amenity to the community. This shall include major manufactured slopes when adjacent to natural open space.

Master Plan of Arterial Highways: A component of the Circulation Element of the Riverside County General Plan designating adopted and proposed routes for all commuter, secondary, primary, and major highways and transportation corridors within the County of Riverside.

Minimum Lot Area: The minimum square feet of land area for each lot.

Net residential area: The area of land remaining in a project, measured in acres or square feet, after deduction of the area contained in streets (both public and private), schools, public parks,

flood control works and any other use, easement or encumbrance which prevents the surface use of the property for a building site or construction of structures.

Nonconforming structure: A lawfully established building or structure that does not conform to the regulations of this code for the district in which it is located, either at the effective date of this code or as a result of subsequent amendments to this code.

Open space (Natural): Any parcel or area of land or water which is essentially unimproved and devoted to the preservation of plant and animal life, providing scenic and aesthetic values and an area which serves as links between major recreation and open space preservation areas.

Open space, usable: See Usable open space.

Open space transitional: Areas free and clear of urban development.

Outdoor advertising structure and sign: A sign placed for the purpose of advertising products or services that are not produced, stored or sold on the property upon which the sign is located.

Panhandle lot (Flat log): A building site wherein the only vehicular access to the site is by way of a corridor or vehicular access way which serves no other property, is less than forty feet wide and is more than forty feet long. In cases where panhandle/flag lots occur, on-street parking shall be provided at a minimum of one (1) space per unit/lot and may be aggregated within the community.

Parking area, private: An area, other than a street, designed or used primarily for the parking of private vehicles and not open to general public use.

Parking area, public: An area, other than a private parking area or private street, used for the parking of vehicles and available for general public use, either free or for remuneration.

Parking area, restricted: An area used for parking vehicles on a semi-permanent basis and not available to the general public for hourly or day-to-day parking.

Planned development: A residential subdivision wherein residences, common open areas and landscaping, common private recreation facilities, and pedestrian and vehicular access and circulation patterns are arranged as a unified comprehensive plan with an identifiable theme or concept and with adequate provisions for permanent maintenance of the common facilities.

Planning area: An area of land which is depicted on the Ramsgate Specific Plan and Statistical Summary.

Project: A land development readily recognizable as a unit, e.g., a residential neighborhood, condominium, apartment, shopping center, office or business park development, recreation lake, golf course or similar land developments.

Preliminary landscaping plan: A plan indicating the general location, size, type of plant materials and ground cover to be located in the yards and other open areas of a development.

Project Net Area: All of the land area included within a plan for a development project excepting those areas designated for public and private streets rights-of-way, schools, parks, and other uses or easements which would preclude the use of the land therein as part of the development project.

Public: Belonging and open to, and enjoyed, controlled, used and maintained by and for, the public generally.

Public agency: The United States, the State of California, the County of Riverside, the City of Lake Elsinore, special districts, and any other governmental entity authorized by law to perform functions for the public or segment thereof.

Recreation areas: Open space areas which offer active and passive recreation and/or scenic attraction of a local and regional significance.

Residential single-family: Refers to any residential zoning district or residential development wherein each dwelling unit is situated on a residential lot of record and no lot contains more than one dwelling unit. Single-family residential includes either attached or detached single-family dwellings, planned concept subdivision cluster developments, and may include conventional subdivisions and planned developments.

Riding and hiking trails: Any trail or walkway designed for and used by equestrians or pedestrians.

Right-of-way: An area or strip of land either public or private, on which an irrevocable right of passage has been recorded for the use of vehicles or pedestrians or both.

Sales Office: Real estate office which is used for sales leasing and information.

Setback area: The area between the building line and the property line, or when abutting a street, the ultimate right-of-way line.

Setback distance: The distance between the building line and the property line, or when abutting a street, the back of curb.

Sign: Any device used for visual communication or attraction, including any announcement, declaration, demonstration, display, illustration, insignia, vehicle or symbol used to advertise or promote the interests of any person, together with all parts, materials, frame and background.

Site development permit: A plan showing the details of building locations, structures, parking, vehicular access, landscaping and architectural design for a project or building site. This definition is synonymous with minor design review as discussed in Section 9, Development Standards.

Story: That portion of a building included between the upper surface of any floor and the upper surface of the floor next above, except that the topmost story shall be that portion of a building included between the upper surface or the topmost floor and the ceiling or roof above.

Street: A public or private vehicular right-of-way other than an alley or driveway, including both local streets and arterial highways.

Street opening: A curb break, or a means, place or way provided for vehicular access between a street and abutting property.

Structure: Anything constructed or erected requiring a fixed location on the ground or attached to something having a fixed location on the ground except business signs, tennis court fences, and other fences around unenclosed outdoor recreation facilities, landscape facilities, and other minor improvements. A mobile home on a permanent foundation is a structure.

Tot lot: An improved and equipped play area which is intended for children up to seven (7) years of age. Tot lots include facilities as play apparatus, paved areas for wheeled toys, benches, sand areas, small wading pools, and turn area.

Usable open space: Usable open space intended for common use by occupants of a development, either privately owned and maintained or dedicated to a public agency, normally including but not limited to lots, swimming pools, basketball courts, tennis courts, picnic facilities, open landscaped areas including major slopes, and greenbelts with pedestrian walkways and equestrian and bicycle trails. Usable open space areas do not contain the following: buildings and structures (other than accessory to the main use), or impervious surfaces (e.g. public/private streets, common driveways, and off-street parking facilities) devoted to non-recreational uses; surface utility facilities, median strips for roads or parking lots; road embankments; and property not reserved for the sole use and enjoyment of the occupants of the entire development and their guests.

Use: The purpose for which land or a building is occupied, arranged, designed or intended, or for which either land or building is or may be occupied or maintained.

Yard: The open space within a building site that is unoccupied and unobstructed by any structure or portion of a structure from 30 inches above the finished grade upward; except that eaves, fences, walls used as fences, poles, posts and other customary yard ornaments, accessories and furniture may be permitted in any yard subject to the regulations for the district in which it is located.

15.0 LIST OF PREPARERS

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