

TERRACINA SPECIFIC PLAN

IN THE CITY OF LAKE ELSINORE, CALIFORNIA

Prepared For:

City of Lake Elsinore
130 S. Main Street
Lake Elsinore, CA 92530

Prepared By:

Spectrum Communities
3334 E. Coast Highway #605
Corona Del Mar, CA 92625

TERRACINA
SPECIFIC PLAN

IN THE CITY OF LAKE ELSINORE, CALIFORNIA

Prepared For:

City of Lake Elsinore
130 S. Main Street
Lake Elsinore, CA 92530

Prepared By:

Spectrum Communities
3334 E. Coast Highway #605
Corona Del Mar, CA 92625

TERRACINA
SPECIFIC PLAN
IN THE CITY OF LAKE ELSINORE, CALIFORNIA

Prepared For:

CITY OF LAKE ELSINORE

130 S. Main Street
Lake Elsinore, CA 92530
(951) 674-3124

Prepared By:

SPECTRUM COMMUNITIES

3334 E. Coast Highway #605
Corona Del Mar, CA 92625
(714) 745-6546

Preparer:

DAVID JEFFERS CONSULTING, INC

19 Spectrum Pointe Drive
Suite 609
Lake Forest, CA 92630
(949) 586-5778

ADOPTED BY CITY COUNCIL ON JULY 14, 2015

T E R R A C I N A
S P E C I F I C P L A N

IN THE CITY OF LAKE ELSINORE, CALIFORNIA

City Approvals:

Resolution Adopting Mitigated Negative Declaration No. 2015-01

- *Adopted by City Council on July 14, 2015 by Resolution No. 2015-033*

Resolution Adopting Findings of Consistency with Western Riverside County Multiple Species Habitat Conservation Plan

- *Adopted by City Council on July 14, 2015 by Resolution No. 2015-034*

Terracina Specific Plan No. 2012-01 and Zone Change No. 2012-05

- *Adopted by City Council by Ordinance No. 2015-1336*
 - *First Reading on July 14, 2015*
 - *Second Reading on July 28, 2015*

Resolution Approving General Plan Amendment No. 2012-03

- *Adopted by City Council on July 14, 2015 by Resolution No. 2015-035*

Resolution Approving Vesting Tentative Tract Map No. 36557

- *Adopted by City Council on July 14, 2015 by Resolution No. 2015-036*

Resolution Approving Tentative Tract Map No. 36577

- *Adopted by City Council on July 14, 2015 by Resolution No. 2015-037*

ORDINANCE NO. 2015-1336

ORDINANCE NO. 2015-1336

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LAKE
ELSINORE, CALIFORNIA ADOPTING THE TERRACINA SPECIFIC
PLAN (SP NO. 2012-01) AND ADOPTING ZONE CHANGE NO. 2012-05**

WHEREAS, an application has been filed with the City of Lake Elsinore by Spectrum Communities (the "Developer") requesting approval of the Terracina Specific Plan No. 2012-01 and its related cases ("Project") relating to properties located adjacent to Lakeshore Drive, between Terra Cotta Road and Dryden Street, and extending to Hoff Avenue (APN 378-040-004 through 007, 378-040-012, 389-180-001 and 002, and 389-190-002) ("the Properties"); and

WHEREAS, Spectrum Communities has also filed an application with the City of Lake Elsinore to change the zoning of the City's Official Zoning Map ("Zone Change") for properties located adjacent to Lakeshore Drive, between Terra Cotta Road and Dryden Street, and extending to Hoff Avenue; said Zone Change requesting to change the zoning on the subject property (APN 378-040-004 through 007, 378-040-012, 389-180-001 and 002, and 389-190-002) ("the Properties") from R-1 (Single-Family Residential District) SP (Specific Plan); and

WHEREAS, the proposed Specific Plan with its maximum of 448 dwelling units is consistent with the subject property's adopted Low Density Residential ("LDR") and Low-Medium Density Residential ("LMR") General Plan Land Use Designations which would allow a maximum of 824 dwelling units.

WHEREAS, the Specific Plan and Zone Change conform to and are consistent with the proposed General Plan Amendment No. 2012-03 that accompany them for the Properties; and

WHEREAS, the Project is subject to the provisions of the California Environmental Quality Act (Public Resources Code §§ 21000, et seq.: "CEQA") and the State Implementation Guidelines for CEQA (14 California Code of Regulations Sections 15000, et seq.: "CEQA Guidelines") because the Project involves an activity which may cause either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment, and involves the issuance of a lease, permit license, certificate, or other entitlement for use by one or more public agencies (Public Resources Code Section 21065); and

WHEREAS, pursuant to CEQA Guidelines Section 15063, the City conducted an Initial Study to determine if the Project would have a significant effect on the environment. The Initial Study revealed that the project would have potentially significant environmental impacts but those potentially significant impacts could be mitigated to less than significant levels; and

WHEREAS, pursuant to CEQA Guidelines Section 15072, on October 16, 2014 the City duly issued a notice of intent to adopt a Mitigated Negative Declaration; and in accordance with CEQA Guidelines Section 15073, the Initial Study/Mitigated Negative

Declaration was made available for public review and comment for thirty days beginning on October 16, 2014 and ending on November 17, 2014.

WHEREAS, the Planning Commission has been delegated with the responsibility of making recommendations to the City Council pertaining to proposed Specific Plans, General Amendments, Zone Changes, and the subdivision of land; and

WHEREAS, on December 2, 2014, January 6, 2015, and March 17, 2015 at duly noticed public hearings the Planning Commission considered evidence presented by the Community Development Department and other interested parties with respect to this item; and adopted Planning Commission Resolution No. 2015-08 recommending that the City Council approve Terracina Specific Plan No. 2012-01 and Zone Change No. 2012-05 by ordinance; and

WHEREAS, pursuant to Section 17.188.050 and Section 17.204.130 of the Lake Elsinore Municipal Code, the City Council has the authority to approve, modify or conditions, or deny zone changes, specific plans and ; and

WHEREAS, on May 12, 2015 and July 14, 2015, at duly noticed public hearings, the City Council has considered the recommendation of the Planning Commission as well as evidence presented by the Community Development Department and other interested parties with respect to this item.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF LAKE ELSINORE, CALIFORNIA, DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:

SECTION 1. The City Council has reviewed and analyzed the proposed Terracina Specific Plan No. 2012-01 and Zone Change No. 2012-05 pursuant to the California Planning and Zoning Laws (Cal. Gov. Code §§ 65000 et seq.), the Lake Elsinore General Plan and proposed General Plan Amendment, and the Lake Elsinore Municipal Code and finds and determines that the proposed Terracina Specific Plan No. 2012-01 and Zone Change No. 2012-05 are consistent with the requirements of California Planning and Zoning Law and with the goals and policies of the Lake Elsinore General Plan and proposed General Plan Amendment and the Lake Elsinore Municipal Code.

SECTION 2. The City Council has considered Mitigated Negative Declaration No. 2014-02 and the Mitigation Measures appertaining thereto. Mitigated Negative Declaration No. 2014-02 was prepared pursuant to Section 15162 of the California Environmental Quality Act (CEQA) Guidelines. Appropriate findings were made, and Mitigated Negative Declaration No. 2014-02 provides the necessary environmental clearance for Terracina Specific Plan No. 2012-01 and Zone Change No. 2012-05.

SECTION 3. That in accordance with the State Planning and Zoning Law and Chapter 17.204 (SPD Specific Plan District) of the Lake Elsinore Municipal Code, the

City Council hereby makes the following findings for the approval of the Terracina Specific Plan No. 2012-01 and Zone Change No. 2012-05:

1. The location and design of the proposed development shall be consistent with the goals and policies of the City's General Plan and with any other applicable plan or policies adopted by the City.

The land uses and densities associated with the Terracina Specific Plan provide a variety of lot and home size product type in order to implement the objectives of the City's General Plan and the project proponents. It also includes a land use change from the existing General Plan designations of Low Density Residential and Low-Medium Density Residential for the 151-acre site. Using these designations, the City's General Plan allows a maximum of 824 dwelling units. The proposed project allows a maximum of 452 homes.

2. The proposed Specific Plan and Zone Change will permit reasonable development of the area consistent with its constraints and will make the area more compatible with adjacent properties.

The proposed Terracina Specific Plan and SP zoning will allow for the development of the Terracina Specific Plan, a master planned development with approximately 76.5 acres of single-family residential development (452 dwelling units), 22 acres of open space, 22.5 acres of roadways, 4.2 acres of park (5.1 gross acres), and 28.2 acres of graded slopes and basins.

3. All vehicular traffic generated by the development, either in phased increments or at full build-out, is to be accommodated safely and without causing undue congestion upon adjoining streets.

A Traffic Impact Analysis dated January 29, 2014, was prepared by Kunzman Associates, Inc. for the Terracina Specific Plan and its related cases. The Traffic Impact Analysis provided mitigation measures through all phases of development of the specific plan. Additionally the Terracina Specific Plan has been conditioned to extend Terra Cotta Road from the project boundary to Nichols Road; thereby affording it the opportunity to take access from two main roadways (Lakeshore and Nichols Road), as well as providing additional paved access to existing residential development in proximity to the project site.

4. The overall design of the specific plan will produce an attractive, efficient and stable development.

Design standards and guidelines have been incorporated into the specific plan to ensure an attractive, efficient and vibrant project. Visual graphics and photos accompany the design guidelines that capture the atmosphere and cohesiveness that the specific plan seeks to emulate.

- 5. The proposed Specific Plan and Zone Change will not be a) detrimental to the health, safety, comfort or general welfare of the persons residing or working within the neighborhood of the proposed amendment or within the City, or b) injurious to the property or improvements in the neighborhood or within the City.

The proposed Zone Change has been analyzed relative to its potential to have detrimental effects and conditions have been imposed on the subject project to ensure that the health, safety and welfare of surrounding residents will be protected.

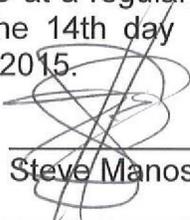
- 6. The proposed development will not have a significant effect on the environment.

The effects of the project has been analyzed in the Mitigated Negative Declaration/Initial Study (SCH #2013091083) prepared for the Terracina Specific Plan and its related cases, and adequate mitigation measures have been prepared where necessary.

SECTION 4. Based upon the evidence presented, both written and testimonial, and the above findings, and the attached conditions of approval, the City Council hereby adopts Terracina Specific Plan No. 2012-01 and Zone Change No. 2012-05 by ordinance.

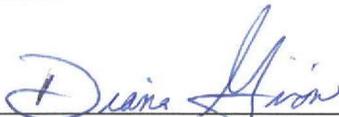
SECTION 5. This Ordinance shall take effect from and after the date of its passage and adoption.

APPROVED AND INTRODUCED at a regular meeting of the City Council of the City of Lake Elsinore, California, on the 14th day of July 2015 and adopted at the regular City Council meeting of July 28, 2015.



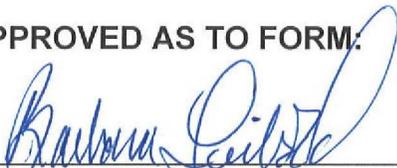
Steve Manos, Mayor

ATTEST:



Diana Girón, Deputy City Clerk

APPROVED AS TO FORM:



Barbara Leibold, City Attorney

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

GENERAL

1. The proposed project (Terracina Specific Plan No. 2012-01) proposes a residential development, with approximately 76.5 acres of residential (maximum of 452 dwelling units), 22 acres of open space, 22.5 acres of roadways, 4.2 acres of park (5.1 gross acres), and 28.2 acres of graded slopes and basins. The southern project boundary is located adjacent to Lakeshore Drive, between Terra Cotta Road and Dryden Street. Hoff Avenue is located along the northern boundary.
2. The applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City, its Officials, Officers, Employees, and Agents from any claim, action, or proceeding against the City, its Officials, Officers, Employees or Agents to attach, set aside, void, or annul an approval of the City, its advisory agencies, appeal boards, or legislative body concerning the Terracina Specific Plan No. 2012-01.
3. Within 30 days of project approval, the applicant shall sign and complete an "Acknowledgment of Conditions" and shall return the executed original to the Community Development Department for inclusion in the case records.
4. The City intends to file a Notice of Determination with the Riverside County Clerk's office within five (5) business days from the approval of this specific plan and its related cases by the City Council. The applicant shall submit a check in the amount of \$2,260.00 made payable to the County of Riverside for the filing of a Notice of Determination. The check shall be submitted to the Planning Division for processing within 48 hours of the project's approval.

PLANNING DIVISION

5. The Draft Terracina Specific Plan shall be revised to incorporate any corrections and changes required by the Planning Commission and/or City Council and these conditions of approval. A Final Terracina Specific Plan document shall be submitted for review and approval by the Community Development Director or designee within 30 days of approval by the City Council. No permit shall be issued until the Terracina Specific Plan document and any required revisions are administratively approved by the Community Development Director or designee.
 - a. The Terracina Specific Plan shall be amended to ~~delete change~~ "Commercial child day care centers, (Village 3 Recreation Area only.)" as a use that is allowed within the specific plan ~~subject to a conditional use permit to read~~ "Commercial child day care centers (Village 3 Recreation Area only); subject to the requirement that the Village 3 Recreation Area is made sufficiently larger to maintain a minimum 2.1 acre gross (1.6

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

- ~~acre net) park site independent of the area used for the commercial child day care center and associated playgrounds.~~
- b. The Terracina Specific Plan shall be amended to include a provision that "All fireplaces shall be natural gas fireplaces only. No wood burning fireplaces shall be allowed."
 - c. The Terracina Specific Plan shall be amended to replace all discussion related to a 2.1 acre project park with revised discussion reflecting a 5.1 acre gross (4.2 acre net) park site within Village 3, as shown on the attached Exhibits 1 and 2.
 - d. Exhibit IV-2 (Park Exhibit) of the Terracina Specific Plan shall be revised to reflect the revised conceptual park design shown on the attached Exhibit 2 as amended by these conditions of approval.
 - e. The Terracina Specific Plan shall be amended to change the number of maximum dwelling units to 452 and to revise all text and tables to show the reduction in dwelling units and the increase in the park size shown on the attached Exhibit 1.
 - f. All exhibits in the Terracina Specific Plan shall be revised to eliminate the cul-de sac on Terracina Drive and to show Terracina Drive as a thru-street connecting to Dryden Street in alignment with Arnold Avenue.

(Amended by Staff prior to July 14, 2015 City Council hearing and by the City Council at its July 14, 2015 hearing.)

- 6. All implementing development projects shall comply with those standards and guidelines contained in the Terracina Specific Plan document.
- 7. Those issues, standards, guidelines, etc. not addressed in the Terracina Specific Plan will revert to the City of Lake Elsinore Municipal Code and/or Zoning Code in effect at the time that implementing development projects are approved and developed.
- 8. Density transfers between "Villages" within the Terracina Specific Plan shall not be permitted, except through the Specific Plan Amendment process.
- 9. Any amendment to the Terracina Specific Plan, even though it may affect only one portion of the Specific Plan, shall be accompanied by a complete specific plan document which includes the entire specific plan, including both changed and unchanged parts.

PUBLIC WORKS DEPARTMENT/ ENGINEERING DIVISION

General

- 10. All utilities except electrical over 35 KV shall be placed underground, as approved by the serving utility. Arrangements for relocation of utility company facilities (power poles, vaults; etc.) out of the roadway or alley shall be the responsibility of the property owner

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

or his agent.

11. The applicant shall install permanent bench marks to Riverside County Standards and at a location to be determined by City Engineer.
12. Applicant shall pay all applicable development fees; including but not all inclusive, ~~TUMF, TIF and area drainage fees~~ as follows:
 - a. ~~TUMF: Rate/Per Dwelling Unit. Due prior to occupancy; payable at rate in effect at time of payment.~~ Due prior to occupancy; amount payable based on fee at time the application for VTTM 36557 was deemed complete, plus inflationary increases and such other reasonable increases in effect at time of payment as contemplated under LEMC Section 16.83.040, subpart C. In the event that VTTM 36557 is not adopted or, alternatively, VTTM 36557 expires, developer shall pay such fee in effect at the time of payment.
 - b. ~~TIF: Rate/Per Dwelling Unit. Due prior to occupancy; payable at the rate in effect at time of payment.~~ Due prior to occupancy; amount payable based on fee at the time the application for VTTM 36557 was deemed complete plus inflationary increases in effect at time of payment as provided by Resolution No. 2002-22. In the event that VTTM 36557 is not adopted or, alternatively, VTTM 36557 expires, developer shall pay such fee in effect at the time of payment.
 - c. ~~Public Building Facilities Fee: Rate/Per Dwelling Unit. Due prior to occupancy; amount payable based on fee at the time the application for VTTM 36557 was deemed complete plus inflationary increases in effect at time of payment as provided by Resolution No. 2005-96. In the event that VTTM 36557 is not adopted or, alternatively, VTTM 36557 expires, developer shall pay such fee in effect at the time of payment.~~
 - d. ~~Fire Facilities Fee: Rate/Per Dwelling Unit. Due prior to occupancy; amount payable based on fee at the time the application for VTTM 36557 was deemed complete plus inflationary increases in effect at time of payment as provided by Resolution No. 2006-69. In the event that VTTM 36557 is not adopted or, alternatively, VTTM 36557 expires, developer shall pay such fee in effect at the time of payment.~~
 - e. ~~Library Facilities Fee. Rate/Per Dwelling Unit. Due prior to occupancy; amount payable based on fee at the time the application for VTTM 36557 was deemed complete. In the event that VTTM 36557 is not adopted or, alternatively, VTTM 36557 expires, developer shall pay such fee in effect at the time of payment.~~
 - f. ~~MSHCP Fee. Due prior to occupancy; amount payable based on fee at the time the application for VTTM 36557 was deemed complete plus inflationary increases in effect at time of payment as provided by LEMC Section 16.85.090. In the event~~

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

that VTTM 36557 is not adopted or, alternatively, VTTM 36557 expires, developer shall pay such fee in effect at the time of payment.

- g. Area Drainage: The project lies within West Lake Elsinore (approx acres 128-23) and Nichols SW (approx acres 128). Area Drainage due at grading permit; payable at the rate in effect at time of Payment. Current Rates: West Lake Elsinore - \$5,955/gross acre; Nichols SW - \$6,080/ gross acre. The project lies within West Lake Elsinore (approx. acres 23) and Nichols SW (approx. acres 128). Area Drainage due at grading permit; amount payable based on fee at time vesting map application was deemed complete, plus inflationary increases in effect at time of payment as provided by LEMC Section 16.72.060. In the event that VTTM 36557 is not adopted or, alternatively, VTTM 36557 expires, developer shall pay such fee in effect at the time of payment. Current Rates: West Lake Elsinore - \$5,955/gross acre; Nichols SW - \$6,080/ gross acre.
- h. Future Impact Fees. In the event that VTTM 36557 is not adopted or, alternatively, VTTM 36557 expires, developer shall pay all applicable development impact fees in effect at the time of payment.

(Amended by Staff prior to January 6, 2015 and March 17, 2015 Planning Commission hearings.)

13. Street lighting and landscaping on public right-of-way shall be maintained by a maintenance assessment district LLMD 1. The project will annex into LLMD #1 prior to first building permit issuance.
14. All open space and slopes except for public parks and schools and flood control district facilities, outside the public right-of-way will be owned and maintained by either a home owner's association or private property owner. An access road for maintenance shall be provided. Adequate access through the developed road system and / or open spaces shall be provided for maintenance and delineated on grading plans. (Amended by Staff prior to January 6, 2015 Planning Commission hearing.)
15. Construction traffic shall use Terra Cotta Road via Nichols Road to minimize impacts to existing residents.
16. 10 year storm runoff shall be contained within the curb and the 100 year storm runoff shall be contained within the street right-of-way. When either of these criteria are exceeded, drainage facilities shall be provided.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

Grading

17. A grading plan signed and stamped by a Calif. Registered Civil Engineer shall be required.
18. Prior to commencement of grading operations, developer is to provide to the City with a map of all proposed haul routes to be used for movement of export material. All such routes shall be subject to the review and approval of the City Engineer. Haul route shall be submitted prior to issuance of a grading permit. Hauling in excess of 5,000 cy shall be approved by City Council. (LEMC 15.72.065)
19. All export material shall be discharged into a legal disposal site. No permittee shall process, including, but not limited to, crush, sift, or segregate, excavated earth materials on site for export and commercial sale without first obtaining a permit pursuant to Chapter 14.04 LEMC regarding surface mining and reclamation. (LEMC 15.72.065)
20. All grading shall be done under the supervision of a geotechnical engineer and he shall certify all slopes steeper than 2 to 1 for stability and proper erosion control. All manufactured slopes greater than 30 feet in height shall be contoured.
21. ~~Applicant shall protect all downstream properties from damage caused by alteration of the drainage patterns, i.e., concentrations or diversion of flow. Protection shall be provided by constructing adequate drainage facilities: including enlarging existing facilities and/or by securing a drainage easement. A maintenance mechanism shall be in place for any private drainage facilities constructed on site or off site. Any grading or drainage onto private off site or adjacent property shall require a written permission to grade and/or a permission to drain letter from the affected landowner. (Deleted by Staff prior to January 6, 2015 Planning Commission hearing.)~~
22. All drainage facilities in this tract shall be constructed to Riverside County Flood Control District Standards. An Adequate and safe access road for maintenance to of detention/water quality basins shall be provided. (Amended by Staff prior to January 6, 2015 Planning Commission hearing.)
23. All storm drain plans connecting to Riverside County Flood Control facilities will be approved by RCFC, and an encroachment permit from RCFCFCD will be required.
24. All compaction reports, grade certifications, monument certifications (with tie notes delineated on 8 ½ x 11" Mylar) shall be submitted to the Engineering Division before final inspection of public works improvements will be scheduled and approved.
25. A precise survey with closures for boundaries and all lots shall be provided per the LEMC.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

26. ~~All waste material, debris, vegetation and other rubbish generated during cleaning, demolition, clear and grubbing or other phases of the construction shall be disposed of at appropriate recycling centers. The applicant should contract with CR&R Inc. for recycling and storage container services, but the applicant may use the services of another recycling vendor. Another recycling vendor, other than CR&R Inc., cannot charge the applicant for bin rental or solid waste disposal. If the applicant is not using CR&R Inc. for recycling services and the recycling material is either sold or donated to another vendor, the applicant shall supply proof of debris disposal at a recycling center, including verification of tonnage by certified weigh master tickets. (Deleted by Staff prior to January 6, 2015 Planning Commission hearing.)~~
27. In accordance with the City's Franchise Agreement for waste disposal & recycling, the applicant shall be required to contract with CR&R Inc. for removal and disposal of all waste material, debris, vegetation and other rubbish generated during cleaning, demolition, clear and grubbing or all other phases of construction.
28. ~~On-site drainage shall be conveyed to a public facility, accepted by adjacent property owners by a letter of drainage acceptance, or conveyed to a drainage easement. Drainage from the project site shall be released from the project site in a safe manner as approved by the City Engineer including but not limited to release to natural channels, public facilities and/or drainage easements existing on adjacent properties or new letters of drainage acceptance. (Amended by Staff prior to January 6, 2015 Planning Commission hearing.)~~
29. All natural (historic, pre-development) drainage traversing the site shall be conveyed through the site, or, shall be collected and conveyed to a safe and appropriate discharge point by a method approved by the City Engineer.
30. Applicant shall obtain all necessary off-site easements for any off-site grading, if needed, from the adjacent property owners prior to final map approval. (Amended by Staff prior to January 6, 2015 Planning Commission hearing.)

Improvements

31. All Public Works requirements shall be complied with as a condition of development as specified in the Lake Elsinore Municipal Code (LEMC) prior to final map approval.
32. An Encroachment Permit shall be obtained prior to any work in City right-of-way.
33. Terra Cotta Road shall be graded and used as construction access prior to precise

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

grading activity. Prior to building permits, Terra Cotta Road shall be paved, with final lift of asphalt to be placed at completion of building activity.

34. All existing accesses for ingress/egress to Terra Cotta Road from abutting properties must be maintained.
35. Construct Terra Cotta Road at its full width section as a Secondary Highway with a 90' Right of Way from Lakeshore Drive north to the northern boundary of the project. Construction of full improvement of Terra Cotta may be staged as approved by the City Engineer. (Amended by Staff prior to January 6, 2015 Planning Commission hearing.)
36. Construct the extension of Terra Cotta Road from the north project boundary to Nichols Road with a 32' paved roadway width, including an 8' and a 4' graded shoulder on the north and south bound sides, as approved by the City Engineer. (Amended by Staff prior to July 14, 2015 City Council hearing.)
37. Construct the extension of Hoff Avenue from the west project boundary to Terra Cotta Road with a 32' half width, including sidewalk and parkway improvements on the north side in conjunction with development. with a paved half width section as approved by the City Engineer. (Amended by Staff prior to July 14, 2015 Planning Commission hearing.)
38. ~~Construct the extension of Pierce Street from the project boundary to Nichols Road with a 32' paved roadway width, including an 8' graded shoulder on the north and south bound sides.~~ (Deleted by Staff prior to January 6, 2015 Planning Commission hearing.)
39. Install a traffic signal at the intersection of Terra Cotta Road (NS) and Nichols Road (EW) including the following lane geometry:
1 NB left, 1 NB right, 1 EB through, 1 EB right, 1 WB left, 1 WB through, to include the storage length per the project traffic study, width and transitions per City Standards. Fair share mitigation in lieu of construction may be accepted with the amount approved by the City Engineer. (Amended by Staff prior to January 6, 2015 and March 17, 2015 Planning Commission hearings.)
40. Construct Lakeshore Drive adjacent to the project site at its ultimate half width section (60'), including sidewalk and parkway improvements consistent with the adjacent improved sections of Lakeshore Drive and additional 14' width for a NB right turn lane on Lakeshore at Terra Cotta Road in conjunction with development.
41. Install a full intersection traffic signal at all legs of the off-set intersection of Lakeshore Drive and Terra Cotta Road as designed by the Project's Traffic Engineer and reviewed and approved by the City Engineer. (Amended by Staff prior to January 6, 2015 Planning

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

Commission hearing.)

42. Construct Dryden Street adjacent to the project site at its ultimate half width section, including sidewalk and parkway improvements in conjunction with development.
43. ~~Install a traffic signal at the intersection of Lakeshore Drive and Dryden Street. Dryden Street at Lakeshore Avenue shall be restricted to right turn to Dryden and right turn to Lakeshore. The design of this intersection by the Project's Traffic Engineer shall be reviewed and approved by the City Engineer.~~ (Amended by Staff prior to July 14, 2015 City Council hearing.)
44. Construct Stoddard Street adjacent to the project site at its ultimate half width section, to include sidewalk and parkway improvements in conjunction with development.
45. The developer shall be responsible for acquiring right-of-ways in which the developer or the City has no legal title or interest. If the developer is unsuccessful in acquiring such right-of-ways, the City could assist the developer in the Eminent Domain process at developer's cost. (Added by Staff prior to March 17, 2015 Planning Commission hearing.)
46. Costs of General Plan circulation improvements and signalization may be at a minimum partially reimbursable through the City's Traffic Impact Fee Program. (TIF)
47. Some of the improvements shown on the Map and/or required by these conditions are located offsite on property which neither the City nor the subdivider may have no title or interest to permit the improvements to be made without acquisition of title or interest. The subdivider shall pay all costs for acquisition of title or interest.
48. A Calif. Registered Civil Engineer shall prepare street and drainage improvement plans and specifications. Improvements shall be designed and constructed to City of Lake Elsinore Standards, latest edition, and City Codes (LEMC titles 12. and 16.). Street improvement plans shall show existing and future profiles at centerline of street; at top of curb and at centerline of the alley. The profiles and contours will extend to 50' beyond the property limits.
49. Interior streets shall be dedicated and improved as public residential street (40'/50' with a 3' PUE).
50. Traffic Signing and Striping plans shall be required with the street improvement plans. Signing and striping shall be installed in accordance with the plans approved by the City Traffic Engineer.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

Storm Water Management / Pollutant Prevention / NPDES

Design

51. The project is responsible for complying with the Santa Ana Region NPDES Permits as warranted based on the nature of development and/or activity. These Permits include:
 - a. General Permit -Construction
 - b. MS4
52. The 2010 SAR MS4 Permit requires implementation of LID Principles and LID Site Design, where feasible, to treat the pollutants of concern identified for the project, in the following manner (from highest to lowest priority) : (Section XII.E.2, XII.E.3, and XII.E.7)
53. Preventative measures (these are mostly non-structural measures, e.g., preservation of natural features to a level consistent with the MEP standard; minimization of Urban Runoff through clustering, reducing impervious areas, etc.)
54. The Project shall 'Infiltrate, harvest and use, evapotranspire and/or bio-treat the Design Capture Volume (DCV).
55. The Project shall consider a properly engineered and maintained bio-treatment system only if infiltration, harvesting and use and evapotranspiration cannot be feasibly implemented at the project site.
56. Any portion of [the DCV] that is not infiltrated, harvested and used, evapotranspired, and/or biotreated shall be treated and discharged in accordance with the requirements set forth in Section XII.G.
57. The project shall implement LID practices that treat the 85th percentile storm.
58. Project hardscape areas shall be designed and constructed to provide for drainage into adjacent landscape.
59. Hydromodification / Hydraulic Conditions of Concern – The project shall identify potential Hydraulic Conditions of Concern (HCOC) and implement measures to limit disturbance of natural water bodies and drainage systems; conserve natural areas; protect slopes, channels and minimize significant impacts from urban runoff.
60. CEQA – If CEQA identifies resources requiring Clean Water Act Section 401 Permitting, the applicant shall obtain certification through the Santa Ana Regional Water Quality Control Board and provide a copy to the Engineering Division.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

Construction

61. Both a Storm Water Pollution Prevention Plan (SWPPP) and a Water Quality Management Plan (WQMP) for post construction are required for this project.
62. SWPPP - A copy of the current SWPPP shall be kept at the project site, updated as necessary and be available for review upon request. Projects that are not subject to coverage under the General Permit – Construction will prepare and implement an Erosion and Sediment Control Plan in compliance with the California Building Code and Local Ordinances.
63. **Prior to grading or building permit** the applicant shall demonstrate that compliance with the permit has been obtained by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the letter of notification of the issuance of a Waste Discharge Identification (WDID) Number or other proof of filing to the satisfaction of the City Engineer.
64. Erosion & Sediment Control - **Prior to the issuance of any grading or building permit**, the applicant shall submit for review and approval by the City Engineer, an Erosion and Sediment Control Plan as a separate sheet of the grading plan submittal to demonstrate compliance with the City's NPDES Program and state water quality regulations for grading and construction activities. The Erosion and Sediment Control Plan shall identify how all construction materials, wastes, grading or demolition debris, and stockpiles of soil, aggregates, soil amendments, etc. shall be properly covered, stored and secured to prevent transport into local drainages or waters by wind, rain, tracking, or dispersion. The plan shall also describe how the project will ensure that all BMPs will be maintained during construction of any future right of ways. A copy of the plan shall be incorporated into the SWPPP as applicable, kept updated as needed to address changing circumstances of the project site, be kept at the project site and available for review upon request.

Post Construction

65. A preliminary WQMP shall be submitted during the project entitlement stage. The level of detail in a preliminary Project-Specific WQMP will depend upon the level of detail known about the overall project design at the time project approval is sought. At a minimum, the preliminary Project-Specific WQMP shall identify the type, size, location, and final ownership of Stormwater BMPs adequate to serve new roadways and any common areas, and to also manage runoff from an expected reasonable estimate of the square footage of future roofs, driveways, and other impervious surfaces on each individual lot.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

66. The applicant shall use the Water Quality Management Plan for the Santa Ana Region of Riverside County guidance document and template for preparation of both the preliminary and final WQMP.
67. The project shall complete and submit for review and approval to the Engineering Division a final WQMP, incorporating the LID Principles and Stormwater BMPs committed to in the preliminary Project-Specific WQMP. The final WQMP shall be approved **prior to issuance of any grading or building permit.**
68. Operation and Maintenance (O&M) Plan and Agreement that (1) describes the long-term operation and maintenance requirements for BMPs identified in the BMP Exhibit; (2) identifies the entity that will be responsible for long-term operation and maintenance of the referenced BMPs; and (3) describes the mechanism for funding the long-term operation and maintenance of the referenced BMPs. The City format shall be used.
69. All storm drain inlet facilities shall be appropriately marked "Only Rain in the Storm Drain" using the City authorized marker to prevent illegal dumping in the drain system.
70. Prior to the issuance of a certificate of use and/or occupancy, the applicant shall demonstrate compliance with applicable NPDES permits for construction, industrial/commercial, MS4, etc. to include:
 1. Demonstrate that all structural Best Management Practices (BMP's) described in the BMP Exhibit from the project's approved WQMP have been implemented, constructed and installed in conformance with approved plans and specifications.
 2. Demonstrate that the project has complied with all non-structural BMPs described in the project's WQMP.
 3. Provide signed, notarized certification from the engineer of work that the structural BMP's identified in the project's WQMP are installed and operational.
 4. Submit a copy of the fully executed, recorded Operations and Maintenance (O&M) Plan for all structural BMPs.
 5. Demonstrate that copies of the project's approved WQMP (with recorded O&M Plan attached) are available for each of the initial occupants (commercial/industrial) or HOA as appropriate.
 6. Agree to pay for a Special Investigation from the City of Lake Elsinore for a date twelve (12) months after the issuance of a Certificate of Use and/or Occupancy for the project to verify compliance with the approved WQMP and O&M Plan. A signed/sealed certification from the engineer of work dated 12 months after C of O will be considered in lieu of a Special Investigation by the City.
 7. Provide a recorded copy of one of the following:
 - a. CC&R's (they must include the approved WQMP and O&M Plan) for the

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

- project's Home Owners Association.
- b. A water quality implementation agreement has the approved WQMP and O&M Plan attached; or
 - c. The final approved Water Quality Management Plan and Operations and Maintenance Plan.

Final Tract or Parcel Map

- 71. The developer shall submit for plan check review and approval a final map.
- 72. Phasing plan, if any, shall be approved by the City Engineer prior to issuance of any permits.
- 73. Prior to City Council approval of the final Tract Map the developer shall, in accordance with Government Code, have constructed all improvements or have improvement plans submitted and approved, agreements executed and securities posted.
- 74. Street abandonment shall be processed and approved as part of the final map.
- 75. Make an offer of dedication for all public streets and easements required by these conditions or shown on the Tentative Map. All land so offered shall be granted to the City, free and clear of all liens and encumbrances and without cost to the city.
- 76. Applicant shall record C C & R's for funding, operation and maintenance of slopes and drainage facilities within the project. The C C & R's shall be approved by the Planning Director and City Engineer prior to recordation of final map.
- 77. The Final Tract Map or Parcel Map shall include the phasing boundaries consistent with the parcels of the Tentative Tract or Parcel Map. The phasing boundaries or parcels shall be processed as separate tract maps.
- 78. Underground water rights shall be dedicated to the City pursuant to: the provisions of Section 16.52.030 (LEMC), and consistent with the City's agreement with the Elsinore Valley Municipal Water District.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

Prior to Issuance of a Grading Permit

79. Submit grading plans with appropriate security, Hydrology and Hydraulic Reports prepared by a Registered Civil Engineer for approval by the City Engineer. Developer shall mitigate any flooding and/or erosion downstream caused by development of the site and/or diversion of drainage.
80. Provide soils, geology and seismic report including street design recommendations. Provide final soils report showing compliance with recommendations.
81. A seismic study shall be performed on the site to identify any hidden earthquake faults, liquefaction and/or subsidence zones present on-site. A certified letter from a registered geologist or geotechnical engineer shall be submitted confirming the absence of this hazard.
82. The applicant shall obtain all necessary off-site easements for off-site grading and/or drainage acceptance, if needed, from the adjacent property owners prior to grading permit issuance. (Amended by Staff prior to January 6, 2015 Planning Commission hearing.)
83. The developer shall apply for, obtain and submit to the City Engineering Division a letter from Southern California Edison (SCE) indicating that the construction activity will not interfere with existing SCE facilities (aka SCE NIL).
84. Developer shall execute and submit grading and erosion control agreement, post grading security and pay permit fees as a condition of grading permit issuance.
85. A preconstruction meeting with the City Public Works Inspector (Engineering Division) is required prior to commencement of ANY grading activity.
86. A traffic improvement plan which includes the timing of phased improvements shall be submitted to the City Engineer for review and approval prior to issuance of any grading permits for the project. Secondary access shall be provided for each phase.

Prior to Issuance of Building Permit:

87. All Public Works requirements shall be complied with as a condition of development as specified in the Lake Elsinore Municipal Code (LEMC) prior to building permit.
88. Submit a "Will Serve" letter to the City Engineering Division from the applicable water agency stating that water and sewer arrangements have been made for this project and specify the technical data for the water service at the location, such as water pressure

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

and volume etc. Submit this letter prior to applying for a building permit.

89. Pay all Capital Improvement Mitigation fees (LEMC 16.34).
90. The Final Tract Map shall be recorded.
91. **Prior to the issuance of the first building permit:** Construct Terra Cotta Road at its full width section as a Secondary Highway with a 90' Right of Way from Lakeshore Drive north to the northern boundary of the project. The City Engineer at his/her discretion may allow for the phased construction of the ultimate improvements. (Amended by Staff prior to January 6, 2015 Planning Commission hearing.)
92. **Prior to the issuance of the first building permit:** Construct a 5-foot wide sidewalk on the west side of Terra Cotta Road between Lakeshore Drive and Harrison Avenue. (Added by Staff prior to the July 14, 2015 City Council hearing.)
93. **Prior to the issuance of the first building permit:** Construct the extension of Terra Cotta Road from the north project boundary to Nichols Road with a 32' paved roadway width with paved roadway section approved by the City Engineer. (Amended by Staff prior to July 14, 2015 City Council hearing.)
94. ~~Prior to the issuance of the first building permit:~~ ~~Construct the extension of Pierce Street from the project boundary to Nichols Road with a 32' paved roadway width, including an 8' graded shoulder on the north and south bound sides.~~ **Prior to the issuance of the 300th building permit:** The developer shall pay fee in-lieu of construction of future median improvements on Lakeshore Drive. The fee shall be equal to current cost estimate for improvements (including contingency) plus an additional 15% of the total construction cost estimate to cover design and administrative costs. The cost estimate shall be approved by the City Engineer. (Amended by Staff prior to January 6, 2015 Planning Commission hearing.)

Prior to Occupancy

95. All compaction reports, grade certifications, monument certifications (with tie notes delineated on 8 1/2" x 11" Mylar) shall be submitted to the Engineering Division before final inspection of off-site improvements will be scheduled and approved.
96. All traffic signing and striping shall be completed in accordance with the approved plans to the satisfaction of the City Traffic Engineer.
97. **Prior to the final inspection and occupancy of the 50th dwelling unit:** Install a full

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

intersection traffic signal at all legs of the off-set intersection of Lakeshore Drive and Terra Cotta Road. (Amended by Staff prior to January 6, 2015 Planning Commission hearing.)

98. **Prior to the final inspection and occupancy of the 150th dwelling unit:** Install a traffic signal at the intersection of Lakeshore Drive and Dryden Street. (Added by Staff prior to July 14, 2015 City Council hearing.)
99. The fair share cost of future improvements as a condition of this development shall be paid, as per tables 9 and 10 of Appendix E of the October 2014 2014 the January 29, 2014 Revised Terracina Traffic Impact Analysis prepared by Kunzman Associates, Inc. (Appendix E of Mitigated Negative Declaration No. 2014-02). This condition implements Mitigation Measure TRA-4 of Mitigated Negative Declaration No. 2014-02. In lieu of Applicant's Fair Share contribution, Applicant shall install improvements outlined in Condition #39. (Amended by Staff prior to January 6, 2015 and March 17, 2015 Planning Commission hearing.)
100. TUMF fees shall be paid. The TUMF fees shall be the effective rate at the time of payment in full in accordance with the LEMC.
101. All required public right-of-way dedications, easements, dedications and vacations and easement agreement(s) for ingress and egress through adjacent property(ies) shall be recorded with a recorded copy provided to the City prior to final project approval.
102. ~~**Prior to the final inspection and occupancy of the dwelling unit:** The developer shall pay fee in lieu of construction of future median improvements on Lakeshore Drive. The fee shall be equal to current cost estimate for improvements (including contingency) plus an additional 15% of the total construction cost estimate to cover design and administrative costs. The cost estimate shall be approved by the City Engineer. (Deleted by Staff prior to January 6, 2015 Planning Commission hearing.)~~
103. In the event of damage to City roads from hauling or other construction related activity, applicant shall pay full cost of restoring public roads to the baseline condition.
104. As-built plans for all in-field revisions to approved plan sets shall be submitted for review and approval by the City. The developer/developer/owner is responsible for revising the original mylar plans. (Amended by Staff prior to January 6, 2015 Planning Commission hearing.)
105. All final studies and reports, grade certifications, monument certifications (with tie notes delineated on 8 ½ x 11" mylar) shall be submitted in .tif format on a CD/DVD. Studies and reports include, Soils, Seismic, Hydrology, Hydraulics, Grading, SWPPP, WQMP,

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

etc.

106. All plan sets and recorded maps shall be digitized and provided on CD/DVD as follows:

- a. Final Map(s) - GIS Shape files* and .tif of recorded map.
- b. Improvement Plans – GIS Shape files* and .tif of approved as built mylar.
- c. Grading Plans - .tif of approved as built mylar.

*GIS Shape files must be in projected Coordinate System: NAD 83 State Plane California Zone VI U.S. Fleet.

COMMUNITY SERVICES DEPARTMENT

107. If any of the following conditions of approval differ from the Specific Plan text or exhibits, the conditions enumerated herein shall take precedence.

108. ~~The 2.1 acre private park/recreation center in Village 3 and all~~ All open space shall be owned and maintained by the Homeowner's Association (HOA). (Amended by Staff prior to July 14, 2015 City Council hearing.)

109. The 5.1 acre public park (~~Lot 470 as shown on attached Exhibit 1~~) shall be included in the Community Facilities District for maintenance and renovation costs. (Added by Staff prior to July 14, 2015 City Council hearing.)

110. ~~The design of the 2.1 acre private park/recreation center located in Village 3 shall be consistent with the conceptual design and guidelines identified within the Specific Plan. The design shall be approved by the Director of Community Services prior to the approval of the final map. The public park shall include:~~

An informal sports field

Restroom approximately 300 sq. ft.

On-site parking

1 cover picnic area with 4 tables

Barbeque, hot ash container

4 waste containers

Drinking fountain

Half court basketball

8 benches

One 2-5 year and one 5-12 year playground with shade over the entire play structure

Perimeter walking trail with exercise stations

Park monument sign

Security Lighting

Lockable gate to the parking lot

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

(Amended by Staff prior to July 14, 2015 City Council hearing.)

111. The design of the proposed park site shall provide pedestrian circulation and shall be in compliance with American with Disabilities Act (ADA) requirements. (Added by Staff prior to July 14, 2015 City Council hearing.)
112. Prior to submittal of construction plans, the developer shall meet with the Director of Communities Services to determine the location and specifications of the park amenities to be provided. The final conceptual design of the park will be approved by the Director of Community Services. (Added by Staff prior to July 14, 2015 City Council hearing.)
113. Construction plans and specifications for the park shall be reviewed and approved by the Director of Community Services prior to the approval of the final map. (Added by Staff prior to July 14, 2015 City Council hearing.)
114. The developer shall post security and enter into a park improvement agreement to improve the public park prior to issuance of the first building permit. (Added by Staff prior to July 14, 2015 City Council hearing.)
115. Construction of the park shall commence pursuant to a pre-construction meeting with the developer, the developer's construction contractor and City representatives. Failure to comply with the City's review and inspection process may preclude acceptance of the park by the City. (Added by Staff prior to July 14, 2015 City Council hearing.)
116. The developer, the developer's successor or assignee, shall be responsible for all the maintenance of the public park, including the 90 day maintenance period. After successful completion of the 90 day maintenance period following construction, these responsibilities will be accepted by the City. (Added by Staff prior to July 14, 2015 City Council hearing.)
117. The public park shall be improved and then conveyed to the City free and clear of any liens, assessment fees, or easements that would preclude the City from utilizing the property for public purposes. A policy of title insurance and a soils assessment report shall be provided with the conveyance of the property. (Added by Staff prior to July 14, 2015 City Council hearing.)
118. No park credits will be given for the private park/recreation center. The completion of the public park shall be in lieu of any Quimby and park Development Impact Fees (DIF) requirements for the development. (Amended by Staff prior to July 14, 2015 City Council hearing.)

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

119. The developer, the developer's successor or assignee, shall be responsible for all maintenance of the ~~2.1 acre park site and~~ all open space areas until such time as those responsibilities are provided by the HOA. (Amended by Staff prior to July 14, 2015 City Council hearing.)
120. The ~~private 2.4~~ public 5.1 acre park/recreation center shall be completed to the satisfaction of the Community Services Director prior to the issuance of the 100th residential building permit. (Amended by Staff prior to July 14, 2015 City Council hearing.)
121. Class II bicycle lanes, as specified in the Specific Plan, shall be identified on the street improvements plans and constructed in concurrence with the completion of said street improvements.
122. ~~Prior to issuance of building permits, the developer shall pay Quimby Act in lieu fees at the rates in effect at the time the application for VTTM 36557 was deemed complete. In the event that VTTM 36557 is not adopted or, alternatively, VTTM 36557 expires, developer shall pay the Quimby Act in lieu fees, and any other park development impact fees (DIF) in effect at the time of payment.~~ (Deleted by Staff prior to July 14, 2015 City Council hearing.)

FIRE PROTECTION PLANNING OFFICE

General Conditions

123. **Lake Elsinore Fire Protection Planning Office Responsibility** - It is the responsibility of the recipient of these Fire Department conditions to forward them to all interested parties. The permit number (as it is noted above) is required on all correspondence. Questions should be directed to the Riverside County Fire Department, Lake Elsinore Fire Protection Planning Division at 130 S. Main St., Lake Elsinore, CA 92530. Phone: (951) 671-3124 Ext. 225. The following fire department conditions shall be implemented in accordance with the Lake Elsinore Municipal Code and the adopted codes at the time of project building plan submittal, these conditions are in addition to the adopted code requirements.
124. **Blue Dot Reflectors** - Blue retro-reflective pavement markers shall be mounted on private streets, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Dept.
125. **Minimum Hydrant Fire Flow** - Minimum required fire flow shall be 1,000 GPM for 2 hours duration at 20 PSI residual operating pressure, which must be available before any

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

combustible material is placed on the job site. Average spacing between hydrants 500' and 250' maximum distance from any point on the street or road frontage to hydrant. Standard Fire hydrants shall be installed (6"x4"x2-1/2").

126. **Hazardous Fire Area** - The proposed project is located high or very high fire zone as adopted in the Lake Elsinore Municipal Code. The project shall adhere to all high fire requirements as prescribed in the Title 24 Codes, any applicable state and local codes pertaining to high fire. The structures shall comply with Chapter 7A of the Building Code and or Section R327 of the California Residential Code. Roofing Materials shall be classified at not less than class "A".
127. **Fuel Modification Plan** - Fuel modification plans shall be provided to the Lake Elsinore Fire Protection Planning office. Plans shall include fuels modeling and comprehensive details with regard to the vegetation management plan. The fuels modification zone shall be not less than 100' from all structures and may be required to be increased.
128. **Minimum Access Standards** - The following access requirements are required to be implemented to ensure fire department and emergency vehicular access. All roadways shall conform to the City of Lake Elsinore approved roadway standards but in no case shall the minimum fire department vehicular access be less the following provisions:
1. Twenty-four feet (24') clear width. Where parking is to be provided, each parking side shall be provided with eight (8') additional feet on each side of the fire department access.
 2. Median openings or crossovers between opposing lanes of a divided highway or street shall be located only at approved intersections at intervals of not less than 500 feet. [Ord. 529 § 3.2(F), 1973].
 3. The required all weather vehicular access shall be able to support no less than 70,000 lbs. over 2 axles.
 4. Roadway gradient shall not exceed 15% on any access road, driveways, and perimeter roads.
 5. Turning Radius shall be 26' inside and 38' outside for all access roads.
129. **Secondary Access** - In the interest of Public Safety, this project shall provide an Alternate or Secondary Access. Said access shall be constructed in accordance to the City of Lake Elsinore Engineering Department standards to accommodate full fire response and community evacuation.

Prior to Building Permit Issuance

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

130. **Water System Plans** - Applicant and/or developer shall separately submit 2 sets of water system plans to the Fire Department for review. Plans must be signed by a registered Civil Engineer and/or water purveyor prior to Fire Department review and approval. Mylars will be signed by the Fire Department after review and approval. Two (2) copies of the signed and approved water plans shall be returned to the Fire Department before release of a building permit.
131. **Prior to Building Construction Verification** - This project shall be inspected and approved by the Fire Marshal or designee prior to bringing combustible materials on site. During such inspection all permanent road signs shall be in place, all hydrants shall be operating and approved for use by the water purveyor, and all permanent road surfaces shall be completed including primary and secondary access circulation.

Prior to Building Final Inspection

132. **Residential Fire Sprinkler Systems for Single family and two-family 13D** - Install a complete fire sprinkler system designed in accordance with California Residential Code, California Fire Code and adopted standards. A C-16 licensed contractor must submit plans, along with the current fee, to the Fire Department for review and approval prior to installation.
133. **Designated Fire Lanes** - The applicant shall prepare and submit to the Fire Department for approval, a site plan designating required fire lanes with appropriate lane painting and/ or signs.

DEPARTMENT OF ADMINISTRATIVE SERVICES

Annex into CFD 2015-1 (Safety) Law Enforcement, Fire and Paramedic Services CFD

134. Prior to approval of the Final Map, Parcel Map, ~~Site Development Plan~~ Residential Design Review, or Special Use Permit (as applicable), the applicant shall consent to the formation of a Community Facilities District or annex into the proposed Community Facilities District No. 2015-1 (Safety) the Law Enforcement, Fire and Paramedic Services Mello-Roos Community Facilities District to offset the annual negative fiscal impacts of the project on public safety operations and maintenance issues in the City. Applicant shall make a seven thousand five hundred dollar (\$7,500) non-refundable deposit to cover the cost of the formation or annexation process, as applicable. Contact David Bilby, Finance Manager, City of Lake Elsinore at (951) 674-3124 or DBilby@Lake-Elsinore.org. The applicant may propose alternative financing mechanisms to fund the annual negative fiscal impacts of the project on public safety operations and maintenance issues in the City in lieu of creating/annexing into a district. Contact the Administrative Services Director at 951-674-

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

3124. (Amended by Staff prior to March 17, 2015 Planning Commission hearing.)

Annex into the City of Lake Elsinore Community Facilities District No. 2015-2 (Maintenance Services)

135. Prior to approval of the Final Map, Parcel Map, ~~Site Development Plan~~ Residential Design Review, Special Use Permit or building permit (as applicable), the applicant shall consent to the formation of a Community Facilities District or annex into the proposed Community Facilities District No. 2015-2 (Maintenance Services) to fund the on-going operation and maintenance of the public right-of-way landscaped areas and neighborhood parks to be maintained by the City and for street lights in the public right-of-way for which the City will pay for electricity and a maintenance fee to Southern California Edison, including parkways, open space and public storm drains constructed within the development and federal NPDES requirements to offset the annual negative fiscal impacts of the project. Applicant shall make a seven thousand five hundred dollar (\$7,500) non-refundable deposit to cover the cost of the formation or annexation process, as applicable. ~~Contact David Bilby, Finance Manager, City of Lake Elsinore at (951) 674-3124 or DBilby@LakeElsinore.org.~~ The applicant may propose alternative financing mechanisms to fund the on-going operation and maintenance of the public right-of-way landscaped areas and neighborhood parks to be maintained by the City and for street lights in the public right-of-way for which the City will pay for electricity and a maintenance fee to Southern California Edison, including parkways, open space and public storm drains constructed within the development and federal NPDES requirements to offset the annual negative fiscal impacts of the project in lieu of creating/annexing into a district. Contact the Administrative Services Director at 951-674-3124. (Amended by Staff prior to March 17, 2015 Planning Commission hearing.)

MITIGATED NEGATIVE DECLARATION NO. No. 2014-02 (SCH #2013091083) MITIGATION MEASURES

136. Prior to the approval of any implementing project within the Terracina Specific Plan (i.e.: tract map, parcel map, conditional use permit, design review, etc.), the following conditions shall be placed on the implementing project:
137. The applicant shall comply with the following mitigation measures, which are set forth in the Mitigation Monitoring & Reporting Program (MMRP) for Mitigated Negative Declaration No. 2014-02, which was adopted for this project:
- a. **Mitigation Measure AIR-1:** All diesel powered construction equipment in use shall require control equipment that meets, at a minimum Tier 3 emission requirements.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

In the event Tier 3 equipment is not available, diesel powered construction equipment in use shall require emissions control equipment with minimum of Tier 2 diesel standards.

- b. **Mitigation Measure AIR-2:** The following measures shall be required during construction:
- i. The project applicant shall require that the site preparation and grading contractors implement the fugitive dust control actions provided in SCAQMD's Rule 403 for "Large Operations." If a more restrictive action is included below as project mitigation then that measure may be used in place of the applicable Rule 403 measure. A list of the Large Operations control actions from Rule 403 are provided in Appendix A of this Initial Study.
 - ii. When materials are transported off-site, all material shall be covered. As necessary, it may be effectively wetted to limited dust emissions, and at least six inches of freeboard space from the top of the container shall be maintained to the extent feasible. If warranted by site or weather conditions, material shall be effectively wetted to limit dust emissions.
 - iii. The developer shall require and ensure that the contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering, as necessary, to prevent transport of dust offsite.
 - iv. The developer shall post a publicly visible sign with the telephone number and person to contact regarding dust complaints. This person shall respond to any dust complaints and attempt corrective action within 24 hours.
 - v. The developer shall require and ensure that the contractor or builder shall formulate a high wind response plan for enhanced dust control if winds are forecast to exceed 25 mph in any upcoming 24-hour period.
 - vi. The developer shall use its best efforts to require and ensure that the contractor or builder shall restrict truck operation to "clean" trucks, such as a 2007 or newer model year or 2010 compliant vehicles.
 - vii. The developer shall use its best efforts to utilize CARB certified equipment for construction activities. Developer shall inform all contractors and subcontractors that use of CARB certified equipment for all construction activities is required where feasible and possible.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

- viii. The developer shall require and ensure that the contractor or builder shall suspend use of all construction equipment operations during first stage smog alerts.
- c. **Mitigation Measure AIR-3:** Electrical outlets shall be installed on the exterior walls of all residential buildings to promote the use electric landscape maintenance equipment.
- d. **Mitigation Measure BIO-1:** The project applicant shall ensure that a preconstruction presence/absence survey for burrowing owl shall be conducted where suitable habitat is present. The survey shall be conducted within 30 days prior to site disturbance. If burrowing owl are determined to be present, passive (i.e., use of one-way doors and collapse of burrows) relocation following accepted protocols will be utilized to ensure impacts to owls are minimized or avoided. Existing burrows shall be destroyed once they are vacated. In addition, disturbance of active nests will be avoided if burrowing owl is present during the nesting season (March 1st to August 31st). If active nests are identified, the biologist shall establish buffers around the vegetation containing the active nest of at least 150 meters
- e. **Mitigation Measure BIO-2:** The removal of potential nesting vegetation will be conducted outside of the nesting season (February 1 to August 31) to the extent that this is feasible. If vegetation must be removed during the nesting season, a qualified biologist shall conduct a nesting bird survey of potentially suitable nesting vegetation prior to removal. Surveys will be conducted no more than three (3) days prior to scheduled removals. If active nests are identified, the biologist shall establish buffers around the vegetation containing the active nest of at least 500 feet of an active listed species or raptor nest, and 300 feet of other sensitive or protected nests. The vegetation containing the active nest will not be removed, and no grading will occur within the established buffer, until a qualified biologist has determined that the nest is no longer active (i.e., the juveniles are surviving independent from the nest). If clearing is not conducted within three days of a negative survey, the nesting survey must be repeated to confirm the absence of nesting birds.
- f. **Mitigation Measure BIO-3:** Prior to the issuance of a grading permit, the project applicant shall obtain the necessary authorizations from the regulatory agencies for proposed impacts to jurisdictional waters. Authorizations may include a Section 404 Permit from the U.S. Army Corps of Engineers, a Section 1602 Streambed Alteration Agreement from the California Department of Fish and Wildlife, and a Section 401 Water Quality Certification/Waste Discharge Requirement from the Regional Water Quality Control Board. The Permittee shall offset impacts to riparian/riverine areas by purchasing credits at the Riverside-Corona Resource Conservation District in-

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

lieu fee program, or another approved in-lieu fee program or mitigation bank within the Santa Ana River Watershed, to be approved by the appropriate regulatory agency(s). The project shall offset the loss of 1.13 acres of riparian habitat at a 3:1 ratio, for a total of 3.39 acres; and shall offset the loss of 0.42 acre of unvegetated riverine areas at a ratio of 3:1, for a total of 1.26 acres. Total compensatory mitigation shall be a minimum of 4.65 acres.

- g. **Mitigation Measure BIO-4:** To avoid or reduce indirect impacts of the project on the MSHCP Conservation Area (Criteria Cell #4157) adjacent to or in close proximity of the project, the project shall include the following measures:

Drainage. The project shall incorporate measures to ensure that the quantity and quality of runoff discharged to the MSHCP Conservation Area is not altered in an adverse way when compared with existing conditions. In particular, measures shall be put in place to avoid discharge of untreated surface runoff from developed and paved areas into the MSHCP Conservation

Area. The project shall implement BMPs as identified in the Preliminary Water Quality Management Plan (Appendix B of this Initial Study).

Toxics. Land uses proposed in proximity to the MSHCP Conservation Area that use chemicals or generate bioproducts such as manure that are potentially toxic or may adversely affect wildlife species, habitat or water quality shall incorporate measures to ensure that application of such chemicals does not result in discharge to the MSHCP Conservation Area.

Lighting. Night lighting shall be directed away from the MSHCP Conservation Area to protect species within the MSHCP Conservation Area from direct night lighting, ensuring that ambient lighting in the MSHCP Conservation Area is not increased. Additionally, the project shall adhere to the City's lighting standards which would avoid shining light onto adjacent properties.

Noise. Proposed noise generating land uses affecting the MSHCP Conservation Area shall incorporate setbacks, berms or walls to minimize the effects of noise on MSHCP Conservation Area resources pursuant to applicable rules, regulations and guidelines related to land use noise standards. The project shall include applicable structures to ensure that wildlife within the MSHCP Conservation Area will not be subject to noise that would exceed residential noise standards, both during and post-construction.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

Invasives. Project landscaping shall use native, drought-tolerant and noninvasive plants. Specifically, the project shall avoid the use of invasive plant species listed in Volume I, Table 6-2

Barriers. Proposed land uses adjacent to the MSHCP Conservation Area shall incorporate barriers, where appropriate in individual project designs to minimize unauthorized public access, domestic animal predation, illegal trespass or dumping in the MSHCP Conservation Area. Such barriers may include native landscaping, rocks/boulders, fencing, walls, signage and/or other appropriate mechanisms.

Grading/Land Development. No manufactured slopes associated with the project shall extend into the MSHCP Conservation Area.

- h. **Mitigation Measure BIO-5:** The developer shall comply with the City's updated landscape requirements for the use of native, drought-tolerant and non-invasive plants, and shall not install invasive species listed at Volume I, Table 6-2 of the MSHCP. This measure applies during construction and installation of improvements.
- i. **Mitigation Measure BIO-6:** The developer shall provide language in the Covenants, Conditions, and Restrictions (CC&Rs) for the project which requires compliance with the City's updated landscape requirements for the use of native, drought-tolerant and non-invasive plants and provides that homeowners may not replace such plants with invasive species. Developer shall incorporate into the CC&Rs the requirement that the invasive species provided on Volume I, Table 6-2 of the MSHCP are prohibited. The CC&Rs shall incorporate the list of invasive species, Volume I, Table 6-2 of the MSHCP, for reference.
- j. **Mitigation Measure CUL-1:** All earth moving activities within the project area during construction shall be monitored by a qualified archaeologist selected from the latest Riverside County Cultural Resources Consultant List.
- k. **Mitigation Measure CUL-2:** If inadvertent discoveries of subsurface archaeological/cultural resources are discovered during grading, the developer, the project archaeologist, and the appropriate tribe shall assess the significance of such resources and shall meet and confer regarding the mitigation for such resources. Pursuant to California Public Resources Code Section 21083.2(b) avoidance is the preferred method of preservation for archaeological resources. If the developer and the Tribe cannot agree on the significance or the mitigation for such resources, these issues will be presented to the Community Development Director (CDD) for decision. The CDD shall make the determination based on the provisions of the California

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

Environmental Quality Act with respect to archaeological resources and shall take into account the religious beliefs, customs, and practices of the appropriate tribe.

- l. Mitigation Measure CUL-3:** At least 30 days prior to seeking a grading permit, the project applicant shall contact the appropriate Native American Tribal Representative (Representative)* to notify the Representative of the initiation of the grading, excavation and the monitoring program, and to coordinate with the City of Lake Elsinore and the Representative to develop a Cultural Resources Treatment and Monitoring Agreement. The Agreement shall address the responsibilities and participation of Native American Tribal monitors during grading, excavation and ground disturbing activities; project grading and development scheduling; terms of compensation; and treatment and final disposition of any cultural resources, sacred sites and human remains discovered on the site. The archaeological monitor and the appropriate Tribe will evaluate the significance of any archaeological resource discovered on the property. Tribal and archaeological monitors shall be allowed to monitor all grading, excavation and groundbreaking activities, and shall have the authority to stop and redirect grading activities. (*It is anticipated that the Pechanga Tribe will be the "appropriate" Tribe due to prior and extensive coordination with the City in determining potentially significant impacts and appropriate mitigation measures and its demonstrated cultural affiliation with the project area.)
- m. Mitigation Measure CUL-3A:** Prior to any grading at or near the vicinity of the known surface boundaries of CA-RIV-5782 and CA-RIV-5783, the developer shall meet and confer with the appropriate Tribe and the project archaeologist to develop an appropriate controlled grading plan. The purpose of the controlled grading at and around the site is to afford the opportunity to determine whether any subsurface resources are associated with the sites and, if so, to collect the resources for appropriate mitigation as outlined in the Treatment Agreement. All controlled grading shall be monitored in accordance to the provisions of the Agreement required in CUL-3.
- n. Mitigation Measure CUL-4:** The landowner shall relinquish ownership of all cultural resources, including sacred items, burial goods and all archaeological artifacts that are found on the project area to the appropriate tribe for proper treatment and disposition.
- o. Mitigation Measure CUL-5:** A paleontological grading observation schedule by a certified paleontologist shall be maintained when grading in bedrock sedimentary units to further evaluate the fossil resources of the site.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

- p. **Mitigation Measure CUL-6:** During construction-related activities of the project, should paleontological materials be unearthed, the Lake Elsinore Planning Department shall be notified immediately. Construction affecting the area shall be halted and the City shall coordinate the appropriate efforts for handling and/or disposition of these materials.
- q. **Mitigation Measure CUL-7:** If human remains are encountered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the Riverside County Coroner has made the necessary findings as to origin. Further, pursuant to California Public Resources Code Section 5097.98(b) remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the coroner shall contact the Native American Heritage Commission within 24 hours. Subsequently, the Native American Heritage Commission shall identify the person or persons it believes to be the "most likely descendant." The most likely descendant may then make recommendations, and engage in consultations concerning the treatment of the remains as provided in Public Resources Code 5097.98.
- r. **Mitigation Measure GRE-1:** The project applicant shall implement Measure E-1.3 from the Climate Action Plan, which requires that all of the proposed structures exceed the 2008 Title 24 energy efficiency standards by a minimum of 15 percent.
- s. **Mitigation Measure GRE-2:** The project applicant shall implement Measure T-1.2 from the Climate Action Plan, which requires the installation of sidewalks along all new streets to link neighborhood activity centers, major destinations and transit facilities.
- t. **Mitigation Measure GRE-3:** The project applicant shall implement Measure E-4.1 from the Climate Action Plan, which requires that the Landscape Plan for the proposed project adhere to the City's Assembly Bill 1881 Landscape Ordinance.
- u. **Mitigation Measure GRE-4:** The project applicant shall implement Measure E-4.2 from the Climate Action Plan, which requires that new developments reduce indoor water consumption by 30 percent. This shall be achieved through the use of low-flow fixtures for all faucets, toilets and showers that are installed in the proposed project.
- v. **Mitigation Measure GRE-5:** The project applicant shall implement Measure E-1.1 from the Climate Action Plan, which requires that new developments plant a minimum one 15 gallon nondeciduous umbrella form tree per 30 linear feet of

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

boundary length. This has been calculated to require the planting of a minimum of 470 trees on the project site.

- w. **Mitigation Measure GRE-6:** The project applicant shall implement Measure T-1.4 from the Climate Action Plan, which requires that new development implement and connect to the network of bikeways, trails and safety features identified in the General Plan, Bike Lane Master Plan, Trails Master Plan and Western Riverside County Non-Motorized Transportation Plan.
- x. **Mitigation Measure NOI-1:** During all project site excavation and grading on-site, construction contractors shall equip all construction equipment, fixed or mobile, with properly operating and maintained mufflers, consistent with manufacturer standards. The contractor shall place all stationary construction equipment so that emitted noise is directed away from the noise sensitive receptors nearest the project site.
- y. **Mitigation Measure NOI-2:** The contractor shall locate equipment staging in areas that will create the greatest distance between construction-related noise/vibration sources and sensitive receptors nearest the project site during all project construction.
- z. **Mitigation Measure NOI-3:** Temporary noise barriers that provide at least 10 dBA in attenuation must be installed when project construction occurs within 100 feet of existing residential structures. Any such barriers shall break the line of sight from noise generators to sensitive receptors. They shall also be constructed as close to the sensitive receptor as possible to achieve the greatest attenuation effect and have no gaps or openings. Such barriers shall be maintained throughout the construction period.
- aa. **Mitigation Measure NOI-4:** Provisions of the City's Noise Ordinance shall be satisfied during all site preparation and construction activity. Site preparation activity and construction shall not commence before 7:00 AM and shall cease no later than 5:00 PM, Monday through Friday. Only finish work and similar interior construction may be conducted on Saturdays and may commence no earlier than 8:00 am and shall cease no later than 4:00 p.m. Construction activity shall not take place on Sunday, or any Legal Holidays.
- bb. **Mitigation Measure NOI-5:** During construction, the developer shall require that all contractors turn off all construction equipment and delivery vehicles when not in use and prohibit idling in excess of 3 minutes. Easily visible signs shall be posted at the project site informing contractors and operators of this requirement.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

- cc. **Mitigation Measure NOI-6:** The developer shall limit haul truck deliveries to weekdays only and from 7:00 a.m. to 5:00 p.m. Haul routes shall avoid residential neighborhoods, following the haul routes determined by the City.
- dd. **Mitigation Measure NOI-7:** For the duration of construction activities, the construction manager shall serve as the contact person should noise levels become disruptive to local residents. Developer shall post a publicly visible sign with the telephone number and person to contact regarding noise complaints. The construction manager, within seventy-two (72) hours of receipt of a noise complaint, shall either take corrective actions or, if immediate action is not feasible, provide a plan or corrective action to address the source of the noise complaint.
- ee. **Mitigation Measure NOI-8:** Mitigation is required in order to achieve exterior noise levels of 65 dBA Ldn at several proposed sensitive receptors adjacent to Lakeshore Drive and Terra Cotta Road. This mitigation shall be provided by constructing a five-foot barrier along the property lines of Lots 66-72 and a six-foot high barrier at the property lines of Lots 5-16, 431-441, and 459-468. A six-foot barrier will be constructed along the entire frontage with Terra Cotta Road. Barriers shall be constructed of any material weighing at least 4 pounds per square foot. Barriers shall descend all the way to the ground and contain no holes or openings. Barriers shall wrap around to protect the side yards of lots adjacent to intersections. Recommended barrier configurations are shown in Appendix D (Figures 12 and 13) of this Initial Study.
- ff. **Mitigation Measure NOI-9:** As it is usually not aesthetically desirable to construct barriers high enough to reduce interior noise levels at second story sensitive receptors, enhanced building construction methods and materials must be employed to attenuate the approximately 20-28 dB required to achieve acceptable interior noise levels of 45 dBA Ldn. These methods include:

Noise Level Reduction of 15-20 dBA

1. Air conditioning or mechanical ventilation
2. Double-paned glass
3. Solid core doors with weather stripping and seals

Noise Level Reduction of 20-25 dBA

Measures 1-3 above and:

4. Stucco or brick veneer exterior walls or wood siding with one-half inch thick fiberboard underlayer

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

5. Glass portions of windows/doors not to exceed 20 percent
6. Exterior vents facing noise source shall be baffled

Noise Level Reduction of 25-30 dBA Measures 1-6 above and:

7. Interior sheetrock of exterior wall attached to studs by resilient channels or double walls
 8. Window assemblies, doors, wall construction materials, and insulation shall have a lab-tested STC rating of 30 or greater.
- gg. **Mitigation Measure TRA-1:** The developer shall require that the speed of earth-moving equipment will be 25 miles per hour or less, and shall post signs onsite to this effect.
- hh. **Mitigation Measure TRA-2:** The developer shall use reasonable trip reduction requirements during project construction including, for example, contracting with a local food truck company to provide lunch onsite.
- ii. **Mitigation Measure TRA-3:** Terra Cotta Road shall be graded and used as construction access prior to precise grading activities. Prior to building permits, Terra Cotta Road shall be paved (final lift to be placed at completion of building activity). Construction traffic shall use Terra Cotta via Nichols Road to minimize impacts to existing residents.
- jj. **Mitigation Measure TRA-4:** The developer shall participate in the phased construction of the off-site intersection improvements through payment of established City of Lake Elsinore fees, participation in the Western Riverside Transportation Uniform Mitigation Fees program, payment of the project's fair share traffic contribution (see Tables 9 and 10 of Appendix E), assessment district and/or community facilities district financing, and construction of off-site facilities under appropriate fee credit agreements.
- kk. **Mitigation Measure TRA-5:** The developer shall construct on-site and off-site roadway improvements, including but not limited to, the following:
- a. Construct Terra Cotta Road at its full-width improvement as a Secondary Highway with a 90-foot right-of-way from Lakeshore Drive north to the northern boundary of the project prior to building permit issuance.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

- b. Construct the extension of Terra Cotta Road from the north project boundary to Nichols Road with a paved roadway section, as approved by the City Engineer, in conjunction with development.
 - c. Construct the extension of Hoff Avenue from the west project boundary to Terra Cotta Road with a paved roadway section, as approved by the City Engineer, in conjunction with development.
 - d. Pay fair share of construction of a traffic signal at the intersection of Terra Cotta Road (NS) and Nichols Road (EW).
 - e. Construct Lakeshore Drive adjacent to the project site at its ultimate half-section width including sidewalk and parkway improvements consistent with the adjacent improved sections of Lakeshore Drive and additional 14' width for a northbound right turn lane on Lakeshore at Terra Cotta Road in conjunction with development.
 - f. Install a traffic signal at the off-set intersection of Lakeshore Drive and Terra Cotta Road.
 - g. Construct Dryden Street adjacent to the project site at its ultimate half-section width including sidewalk and parkway improvements in conjunction with development. Dryden Street shall be restricted to right turn in/out and left turns in only at its intersection with Lakeshore Drive.
 - h. Construct Stoddard Street adjacent to the project site at its ultimate half-section width including sidewalk and parkway improvements in conjunction with development.
 - i. On-site traffic signing/stripping shall be implemented in accordance with detailed street improvement plans for the project.
 - j. Sight distance at the project accesses shall comply with standard California Department of Transportation/City of Lake Elsinore sight distance standards. The final grading, landscaping, and street improvement plans shall demonstrate that sight distance standards are met. Such plans shall be reviewed and approved by the City of Lake Elsinore prior to the issuance of any grading permits for the project.
- II. **Mitigation Measure TRA-6:** The traffic improvements to be installed by the developer will be phased improvements as required by the build-out of the project to

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

address traffic impacts. A traffic improvement plan which includes the timing of phased improvements shall be submitted to the City of Lake Elsinore for review and approval prior to issuance of any grading permits for the project. Where improvements are needed to mitigate for operational impacts, the improvements must be in place and operational before occupancy permits are issued.

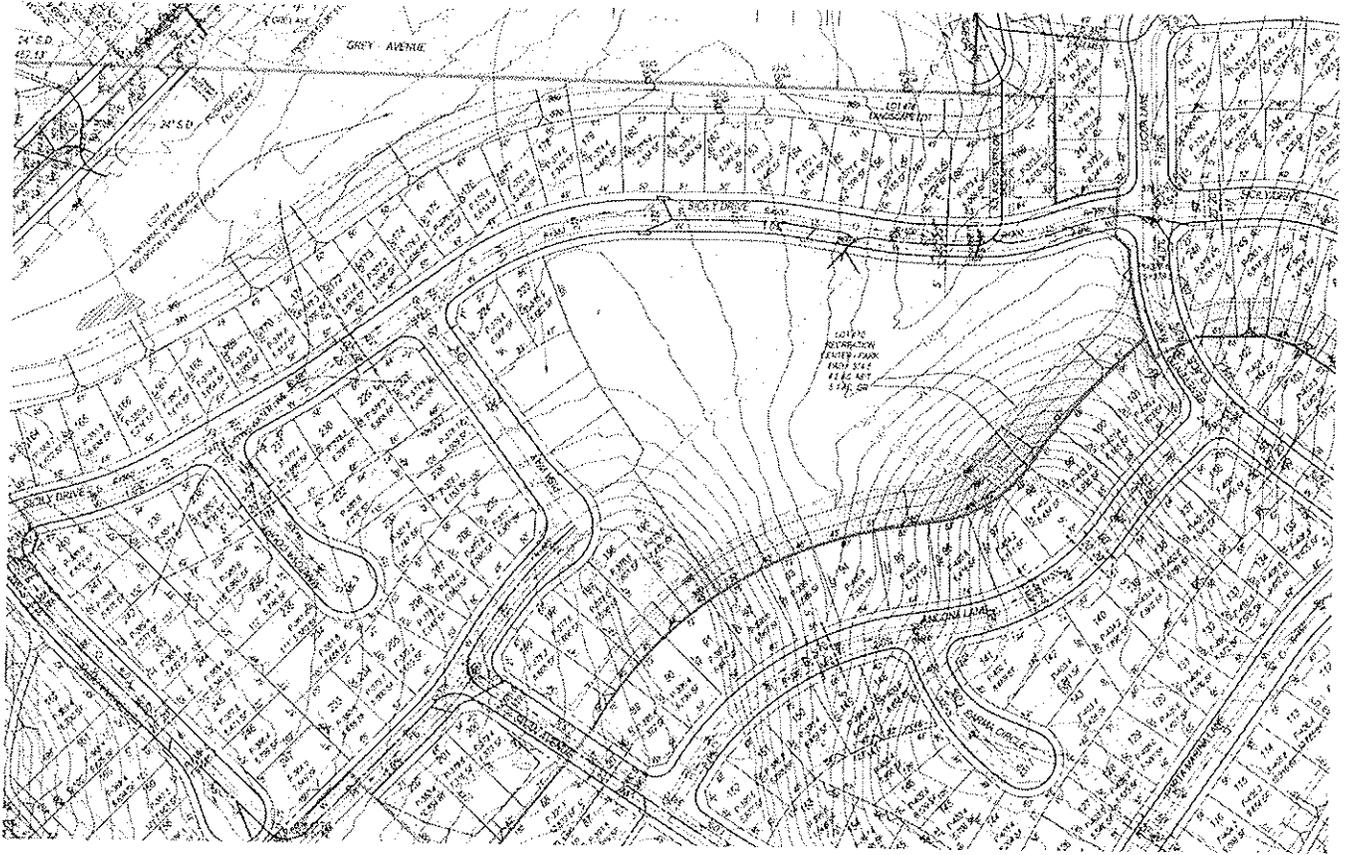
mm. **Mitigation Measure TRA-7:** The developer will comply with the traffic conditions of approval determined by the City of Lake Elsinore for the project, including but not limited to, the payment of Transportation Uniform Mitigation Fees and Traffic Infrastructure Fees as listed and required in Mitigation Measure TRA-4 and appropriate conditions of approval.

138. The applicant shall fund the implementation of the Mitigation Monitoring & Reporting Program (MMRP) through every stage of development. The City shall appoint an environmental monitor who shall periodically inspect the project site, documents submitted by the applicant, permits issued, and any other pertinent material, in order to monitor and report compliance to the City until the completion of the project.

END OF CONDITIONS

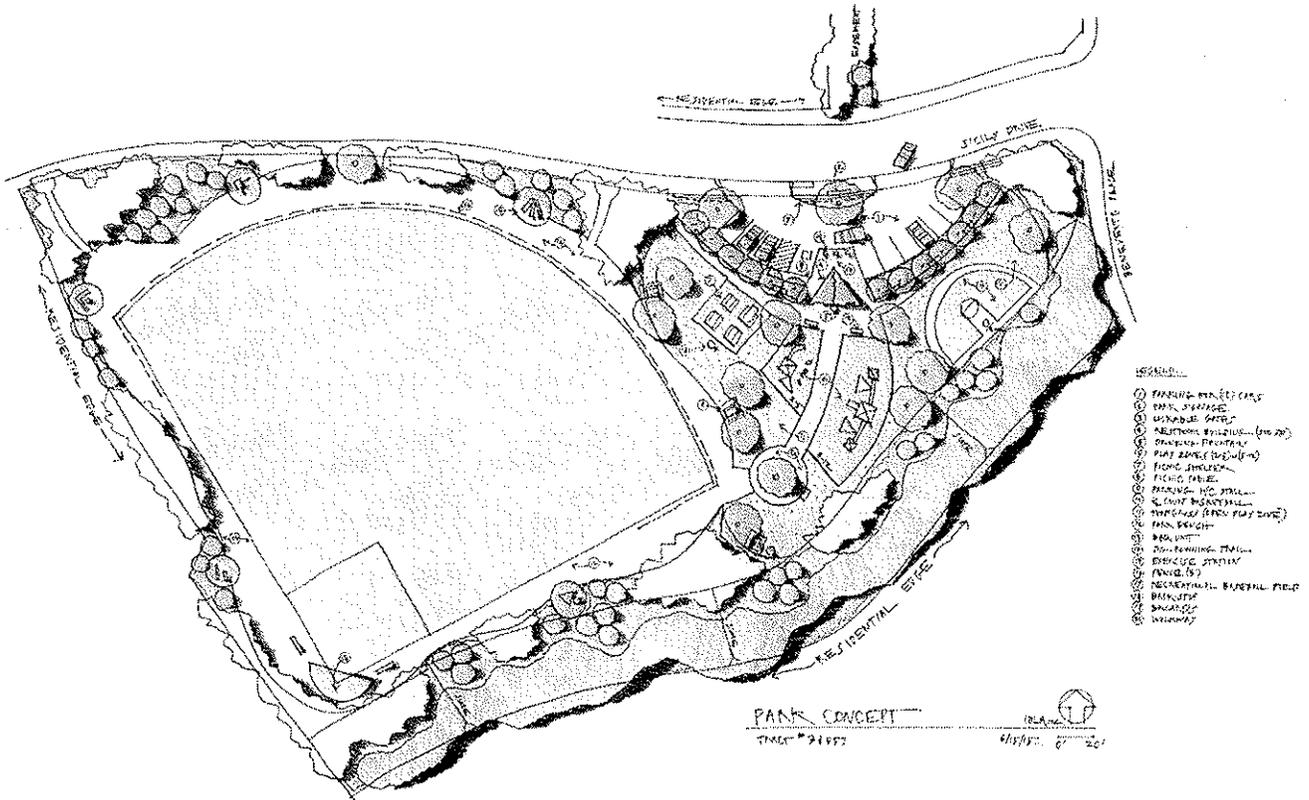
CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01

EXHIBIT 1



CITY OF LAKE ELSINORE
 CONDITIONS OF APPROVAL FOR
 TERRACINA SPECIFIC PLAN SP 2012-01

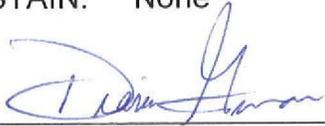
EXHIBIT 2



STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF LAKE ELSINORE)

I, Diana Girón, Deputy City Clerk of the City of Lake Elsinore, California, hereby certify that Ordinance No. 2015-1336 was introduced at the regular City Council meeting of July 14, 2015, and adopted at the regular meeting of July 28, 2015, by the following roll call vote:

AYES: Council Member Magee, Council Member Hickman, Council
 Member Johnson, Mayor Pro Tem Tisdale, and Mayor Manos
NOES: None
ABSENT: None
ABSTAIN: None



Diana Girón, Deputy City Clerk

CONDITIONS OF APPROVAL

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

GENERAL

1. The proposed project (Terracina Specific Plan No. 2012-01) proposes a residential development, with approximately 76.5 acres of residential (maximum of 452 dwelling units), 22 acres of open space, 22.5 acres of roadways, 4.2 acres of park (5.1 gross acres), and 28.2 acres of graded slopes and basins. The southern project boundary is located adjacent to Lakeshore Drive, between Terra Cotta Road and Dryden Street. Hoff Avenue is located along the northern boundary.
2. The applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City, its Officials, Officers, Employees, and Agents from any claim, action, or proceeding against the City, its Officials, Officers, Employees or Agents to attach, set aside, void, or annul an approval of the City, its advisory agencies, appeal boards, or legislative body concerning the Terracina Specific Plan No. 2012-01.
3. Within 30 days of project approval, the applicant shall sign and complete an "Acknowledgment of Conditions" and shall return the executed original to the Community Development Department for inclusion in the case records.
4. The City intends to file a Notice of Determination with the Riverside County Clerk's office within five (5) business days from the approval of this specific plan and its related cases by the City Council. The applicant shall submit a check in the amount of \$2,260.00 made payable to the County of Riverside for the filing of a Notice of Determination. The check shall be submitted to the Planning Division for processing within 48 hours of the project's approval.

PLANNING DIVISION

5. The Draft Terracina Specific Plan shall be revised to incorporate any corrections and changes required by the Planning Commission and/or City Council and these conditions of approval. A Final Terracina Specific Plan document shall be submitted for review and approval by the Community Development Director or designee within 30 days of approval by the City Council. No permit shall be issued until the Terracina Specific Plan document and any required revisions are administratively approved by the Community Development Director or designee.
 - a. The Terracina Specific Plan shall be amended to ~~delete change~~ "Commercial child day care centers. (Village 3 Recreation Area only.)" as a use that is allowed within the specific plan ~~subject to a conditional use permit to read~~ "Commercial child day care centers (Village 3 Recreation Area only); ~~subject to the requirement that the Village 3 Recreation Area is made sufficiently larger to maintain a minimum 2.1 acre~~

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

- ~~gross (1.6 acre net) park site independent of the area used for the commercial child day care center and associated playgrounds.~~
- b. The Terracina Specific Plan shall be amended to include a provision that “All fireplaces shall be natural gas fireplaces only. No wood burning fireplaces shall be allowed.”
 - c. The Terracina Specific Plan shall be amended to replace all discussion related to a 2.1 acre project park with revised discussion reflecting a 5.1 acre gross (4.2 acre net) park site within Village 3, as shown on the attached Exhibits 1 and 2.
 - d. Exhibit IV-2 (Park Exhibit) of the Terracina Specific Plan shall be revised to reflect the revised conceptual park design shown on the attached Exhibit 2 as amended by these conditions of approval.
 - e. The Terracina Specific Plan shall be amended to change the number of maximum dwelling units to 452 and to revise all text and tables to show the reduction in dwelling units and the increase in the park size shown on the attached Exhibit 1.
 - f. All exhibits in the Terracina Specific Plan shall be revised to eliminate the cul-de sac on Terracina Drive and to show Terracina Drive as a thru-street connecting to Dryden Street in alignment with Arnold Avenue.

(Amended by Staff prior to July 14, 2015 City Council hearing and by the City Council at its July 14, 2015 hearing.)

- 6. All implementing development projects shall comply with those standards and guidelines contained in the Terracina Specific Plan document.
- 7. Those issues, standards, guidelines, etc. not addressed in the Terracina Specific Plan will revert to the City of Lake Elsinore Municipal Code and/or Zoning Code in effect at the time that implementing development projects are approved and developed.
- 8. Density transfers between “Villages” within the Terracina Specific Plan shall not be permitted, except through the Specific Plan Amendment process.
- 9. Any amendment to the Terracina Specific Plan, even though it may affect only one portion of the Specific Plan, shall be accompanied by a complete specific plan document which includes the entire specific plan, including both changed and unchanged parts.

PUBLIC WORKS DEPARTMENT/ ENGINEERING DIVISION

General

- 10. All utilities except electrical over 35 KV shall be placed underground, as approved by

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

the serving utility. Arrangements for relocation of utility company facilities (power poles, vaults; etc.) out of the roadway or alley shall be the responsibility of the property owner or his agent.

11. The applicant shall install permanent bench marks to Riverside County Standards and at a location to be determined by City Engineer.
12. Applicant shall pay all applicable development fees; including but not all inclusive, ~~TUMF, TIF and area drainage fees~~ as follows:
 - a. ~~TUMF: Rate/Per Dwelling Unit. Due prior to occupancy; payable at rate in effect at time of payment.~~ Due prior to occupancy; amount payable based on fee at time the application for VTTM 36557 was deemed complete, plus inflationary increases and such other reasonable increases in effect at time of payment as contemplated under LEMC Section 16.83.040, subpart C. In the event that VTTM 36557 is not adopted or, alternatively, VTTM 36557 expires, developer shall pay such fee in effect at the time of payment.
 - b. ~~TIF: Rate/Per Dwelling Unit. Due prior to occupancy; payable at the rate in effect at time of payment.~~ Due prior to occupancy; amount payable based on fee at the time the application for VTTM 36557 was deemed complete plus inflationary increases in effect at time of payment as provided by Resolution No. 2002-22. In the event that VTTM 36557 is not adopted or, alternatively, VTTM 36557 expires, developer shall pay such fee in effect at the time of payment.
 - c. Public Building Facilities Fee: Rate/Per Dwelling Unit. Due prior to occupancy; amount payable based on fee at the time the application for VTTM 36557 was deemed complete plus inflationary increases in effect at time of payment as provided by Resolution No. 2005-96. In the event that VTTM 36557 is not adopted or, alternatively, VTTM 36557 expires, developer shall pay such fee in effect at the time of payment.
 - d. Fire Facilities Fee: Rate/Per Dwelling Unit. Due prior to occupancy; amount payable based on fee at the time the application for VTTM 36557 was deemed complete plus inflationary increases in effect at time of payment as provided by Resolution No. 2006-69. In the event that VTTM 36557 is not adopted or, alternatively, VTTM 36557 expires, developer shall pay such fee in effect at the time of payment.
 - e. Library Facilities Fee. Rate/Per Dwelling Unit. Due prior to occupancy; amount payable based on fee at the time the application for VTTM 36557 was deemed complete. In the event that VTTM 36557 is not adopted or, alternatively, VTTM 36557 expires, developer shall pay such fee in effect at the time of payment.
 - f. MSHCP Fee. Due prior to occupancy; amount payable based on fee at the time

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

- the application for VTTM 36557 was deemed complete plus inflationary increases in effect at time of payment as provided by LEMC Section 16.85.090. In the event that VTTM 36557 is not adopted or, alternatively, VTTM 36557 expires, developer shall pay such fee in effect at the time of payment.
- g. ~~Area Drainage: The project lies within West Lake Elsinore (approx acres 128-23) and Nichols SW (approx acres 128). Area Drainage due at grading permit; payable at the rate in effect at time of Payment. Current Rates: West Lake Elsinore – \$5,955/gross acre; Nichols SW - \$6,080/ gross acre.~~ The project lies within West Lake Elsinore (approx. acres 23) and Nichols SW (approx. acres 128). Area Drainage due at grading permit; amount payable based on fee at time vesting map application was deemed complete, plus inflationary increases in effect at time of payment as provided by LEMC Section 16.72.060. In the event that VTTM 36557 is not adopted or, alternatively, VTTM 36557 expires, developer shall pay such fee in effect at the time of payment. Current Rates: West Lake Elsinore – \$5,955/gross acre; Nichols SW - \$6,080/ gross acre.
- h. Future Impact Fees. In the event that VTTM 36557 is not adopted or, alternatively, VTTM 36557 expires, developer shall pay all applicable development impact fees in effect at the time of payment.

(Amended by Staff prior to January 6, 2015 and March 17, 2015 Planning Commission hearings.)

13. Street lighting and landscaping on public right-of-way shall be maintained by a maintenance assessment district LLMD 1. The project will annex into LLMD #1 prior to first building permit issuance.
14. All open space and slopes except for public parks and schools and flood control district facilities, outside the public right-of-way will be owned and maintained by either a home owner's association or private property owner. ~~An access road for maintenance shall be provided.~~ Adequate access through the developed road system and / or open spaces shall be provided for maintenance and delineated on grading plans. (Amended by Staff prior to January 6, 2015 Planning Commission hearing.)
15. Construction traffic shall use Terra Cotta Road via Nichols Road to minimize impacts to existing residents.
16. 10 year storm runoff shall be contained within the curb and the 100 year storm runoff shall be contained within the street right-of-way. When either of these criteria are exceeded, drainage facilities shall be provided.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

Grading

17. A grading plan signed and stamped by a Calif. Registered Civil Engineer shall be required.
18. Prior to commencement of grading operations, developer is to provide to the City with a map of all proposed haul routes to be used for movement of export material. All such routes shall be subject to the review and approval of the City Engineer. Haul route shall be submitted prior to issuance of a grading permit. Hauling in excess of 5,000 cy shall be approved by City Council. (LEMC 15.72.065)
19. All export material shall be discharged into a legal disposal site. No permittee shall process, including, but not limited to, crush, sift, or segregate, excavated earth materials on site for export and commercial sale without first obtaining a permit pursuant to Chapter 14.04 LEMC regarding surface mining and reclamation. (LEMC 15.72.065)
20. All grading shall be done under the supervision of a geotechnical engineer and he shall certify all slopes steeper than 2 to 1 for stability and proper erosion control. All manufactured slopes greater than 30 feet in height shall be contoured.
21. ~~Applicant shall protect all downstream properties from damage caused by alteration of the drainage patterns, i.e., concentrations or diversion of flow. Protection shall be provided by constructing adequate drainage facilities: including enlarging existing facilities and/or by securing a drainage easement. A maintenance mechanism shall be in place for any private drainage facilities constructed on-site or off-site. Any grading or drainage onto private off-site or adjacent property shall require a written permission to grade and/or a permission to drain letter from the affected landowner. (Deleted by Staff prior to January 6, 2015 Planning Commission hearing.)~~
22. All drainage facilities in this tract shall be constructed to Riverside County Flood Control District Standards. An Adequate and safe access road for maintenance to of detention/water quality basins shall be provided. (Amended by Staff prior to January 6, 2015 Planning Commission hearing.)
23. All storm drain plans connecting to Riverside County Flood Control facilities will be approved by RCFC, and an encroachment permit from RCFC will be required.
24. All compaction reports, grade certifications, monument certifications (with tie notes delineated on 8 ½ x 11" Mylar) shall be submitted to the Engineering Division before final inspection of public works improvements will be scheduled and approved.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

25. A precise survey with closures for boundaries and all lots shall be provided per the LEMC.
26. ~~All waste material, debris, vegetation and other rubbish generated during cleaning, demolition, clear and grubbing or other phases of the construction shall be disposed of at appropriate recycling centers. The applicant should contract with CR&R Inc. for recycling and storage container services, but the applicant may use the services of another recycling vendor. Another recycling vendor, other than CR&R Inc., cannot charge the applicant for bin rental or solid waste disposal. If the applicant is not using CR&R Inc. for recycling services and the recycling material is either sold or donated to another vendor, the applicant shall supply proof of debris disposal at a recycling center, including verification of tonnage by certified weigh master tickets. (Deleted by Staff prior to January 6, 2015 Planning Commission hearing.)~~
27. In accordance with the City's Franchise Agreement for waste disposal & recycling, the applicant shall be required to contract with CR&R Inc. for removal and disposal of all waste material, debris, vegetation and other rubbish generated during cleaning, demolition, clear and grubbing or all other phases of construction.
28. ~~On-site drainage shall be conveyed to a public facility, accepted by adjacent property owners by a letter of drainage acceptance, or conveyed to a drainage easement. Drainage from the project site shall be released from the project site in a safe manner as approved by the City Engineer including but not limited to release to natural channels, public facilities and/or drainage easements existing on adjacent properties or new letters of drainage acceptance. (Amended by Staff prior to January 6, 2015 Planning Commission hearing.)~~
29. All natural (historic, pre-development) drainage traversing the site shall be conveyed through the site, or, shall be collected and conveyed to a safe and appropriate discharge point by a method approved by the City Engineer.
30. Applicant shall obtain all necessary off-site easements for any off-site grading, if needed, from the adjacent property owners prior to final map approval. (Amended by Staff prior to January 6, 2015 Planning Commission hearing.)

Improvements

31. All Public Works requirements shall be complied with as a condition of development as specified in the Lake Elsinore Municipal Code (LEMC) prior to final map approval.
32. An Encroachment Permit shall be obtained prior to any work in City right-of-way.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

33. Terra Cotta Road shall be graded and used as construction access prior to precise grading activity. Prior to building permits, Terra Cotta Road shall be paved, with final lift of asphalt to be placed at completion of building activity.
34. All existing accesses for ingress/egress to Terra Cotta Road from abutting properties must be maintained.
35. Construct Terra Cotta Road at its full width section as a Secondary Highway with a 90' Right of Way from Lakeshore Drive north to the northern boundary of the project. Construction of full improvement of Terra Cotta may be staged as approved by the City Engineer. (Amended by Staff prior to January 6, 2015 Planning Commission hearing.)
36. Construct the extension of Terra Cotta Road from the north project boundary to Nichols Road with a 32' paved roadway width, ~~including an 8' and a 4' graded shoulder on the north and south bound sides,~~ as approved by the City Engineer. (Amended by Staff prior to July 14, 2015 City Council hearing.)
37. Construct the extension of Hoff Avenue from the west project boundary to Terra Cotta Road ~~with a 32' half width, including sidewalk and parkway improvements on the north side in conjunction with development.~~ with a paved half width section as approved by the City Engineer. (Amended by Staff prior to July 14, 2015 Planning Commission hearing.)
38. ~~Construct the extension of Pierce Street from the project boundary to Nichols Road with a 32' paved roadway width, including an 8' graded shoulder on the north and south bound sides.~~ (Deleted by Staff prior to January 6, 2015 Planning Commission hearing.)
39. Install a traffic signal at the intersection of Terra Cotta Road (NS) and Nichols Road (EW) including the following lane geometry:
1 NB left, 1 NB right, 1 EB through, 1 EB right, 1 WB left, 1 WB through, to include the storage length per the project traffic study, width and transitions per City Standards. Fair share mitigation in lieu of construction may be accepted with the amount approved by the City Engineer. (Amended by Staff prior to January 6, 2015 and March 17, 2015 Planning Commission hearings.)
40. Construct Lakeshore Drive adjacent to the project site at its ultimate half width section (60'), including sidewalk and parkway improvements consistent with the adjacent improved sections of Lakeshore Drive and additional 14' width for a NB right turn lane on Lakeshore at Terra Cotta Road in conjunction with development.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

41. Install a full intersection traffic signal at all legs of the off-set intersection of Lakeshore Drive and Terra Cotta Road as designed by the Project's Traffic Engineer and reviewed and approved by the City Engineer. (Amended by Staff prior to January 6, 2015 Planning Commission hearing.)
42. Construct Dryden Street adjacent to the project site at its ultimate half width section, including sidewalk and parkway improvements in conjunction with development.
43. ~~Install a traffic signal at the intersection of Lakeshore Drive and Dryden Street. Dryden Street at Lakeshore Avenue shall be restricted to right turn to Dryden and right turn to Lakeshore. The design of this intersection by the Project's Traffic Engineer shall be reviewed and approved by the City Engineer.~~ (Amended by Staff prior to July 14, 2015 City Council hearing.)
44. Construct Stoddard Street adjacent to the project site at its ultimate half width section, to include sidewalk and parkway improvements in conjunction with development.
45. The developer shall be responsible for acquiring right-of-ways in which the developer or the City has no legal title or interest. If the developer is unsuccessful in acquiring such right-of-ways, the City could assist the developer in the Eminent Domain process at developer's cost. (Added by Staff prior to March 17, 2015 Planning Commission hearing.)
46. Costs of General Plan circulation improvements and signalization may be at a minimum partially reimbursable through the City's Traffic Impact Fee Program. (TIF)
47. Some of the improvements shown on the Map and/or required by these conditions are located offsite on property which neither the City nor the subdivider may have no title or interest to permit the improvements to be made without acquisition of title or interest. The subdivider shall pay all costs for acquisition of title or interest.
48. A Calif. Registered Civil Engineer shall prepare street and drainage improvement plans and specifications. Improvements shall be designed and constructed to City of Lake Elsinore Standards, latest edition, and City Codes (LEMC titles 12. and 16.). Street improvement plans shall show existing and future profiles at centerline of street; at top of curb and at centerline of the alley. The profiles and contours will extend to 50' beyond the property limits.
49. Interior streets shall be dedicated and improved as public residential street (40'/50' with a 3' PUE).

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

50. Traffic Signing and Striping plans shall be required with the street improvement plans. Signing and striping shall be installed in accordance with the plans approved by the City Traffic Engineer.

Storm Water Management / Pollutant Prevention / NPDES

Design

51. The project is responsible for complying with the Santa Ana Region NPDES Permits as warranted based on the nature of development and/or activity. These Permits include:
- a. General Permit -Construction
 - b. MS4
52. The 2010 SAR MS4 Permit requires implementation of LID Principles and LID Site Design, where feasible, to treat the pollutants of concern identified for the project, in the following manner (from highest to lowest priority) : (Section XII.E.2, XII.E.3, and XII.E.7)
53. Preventative measures (these are mostly non-structural measures, e.g., preservation of natural features to a level consistent with the MEP standard; minimization of Urban Runoff through clustering, reducing impervious areas, etc.)
54. The Project shall 'Infiltrate, harvest and use, evapotranspire and/or bio-treat the Design Capture Volume (DCV).
55. The Project shall consider a properly engineered and maintained bio-treatment system only if infiltration, harvesting and use and evapotranspiration cannot be feasibly implemented at the project site.
56. Any portion of [the DCV] that is not infiltrated, harvested and used, evapotranspired, and/or biotreated shall be treated and discharged in accordance with the requirements set forth in Section XII.G.
57. The project shall implement LID practices that treat the 85th percentile storm.
58. Project hardscape areas shall be designed and constructed to provide for drainage into adjacent landscape.
59. Hydromodification / Hydraulic Conditions of Concern – The project shall identify potential Hydraulic Conditions of Concern (HCOC) and implement measures to limit disturbance of natural water bodies and drainage systems; conserve natural areas; protect slopes, channels and minimize significant impacts from urban runoff.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

60. CEQA – If CEQA identifies resources requiring Clean Water Act Section 401 Permitting, the applicant shall obtain certification through the Santa Ana Regional Water Quality Control Board and provide a copy to the Engineering Division.

Construction

61. Both a Storm Water Pollution Prevention Plan (SWPPP) and a Water Quality Management Plan (WQMP) for post construction are required for this project.
62. SWPPP - A copy of the current SWPPP shall be kept at the project site, updated as necessary and be available for review upon request. Projects that are not subject to coverage under the General Permit – Construction will prepare and implement an Erosion and Sediment Control Plan in compliance with the California Building Code and Local Ordinances.
63. **Prior to grading or building permit** the applicant shall demonstrate that compliance with the permit has been obtained by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the letter of notification of the issuance of a Waste Discharge Identification (WDID) Number or other proof of filing to the satisfaction of the City Engineer.
64. Erosion & Sediment Control - **Prior to the issuance of any grading or building permit**, the applicant shall submit for review and approval by the City Engineer, an Erosion and Sediment Control Plan as a separate sheet of the grading plan submittal to demonstrate compliance with the City's NPDES Program and state water quality regulations for grading and construction activities. The Erosion and Sediment Control Plan shall identify how all construction materials, wastes, grading or demolition debris, and stockpiles of soil, aggregates, soil amendments, etc. shall be properly covered, stored and secured to prevent transport into local drainages or waters by wind, rain, tracking, or dispersion. The plan shall also describe how the project will ensure that all BMPs will be maintained during construction of any future right of ways. A copy of the plan shall be incorporated into the SWPPP as applicable, kept updated as needed to address changing circumstances of the project site, be kept at the project site and available for review upon request.

Post Construction

65. A preliminary WQMP shall be submitted during the project entitlement stage. The level of detail in a preliminary Project-Specific WQMP will depend upon the level of detail known about the overall project design at the time project approval is sought. At a

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

minimum, the preliminary Project-Specific WQMP shall identify the type, size, location, and final ownership of Stormwater BMPs adequate to serve new roadways and any common areas, and to also manage runoff from an expected reasonable estimate of the square footage of future roofs, driveways, and other impervious surfaces on each individual lot.

66. The applicant shall use the Water Quality Management Plan for the Santa Ana Region of Riverside County guidance document and template for preparation of both the preliminary and final WQMP.
67. The project shall complete and submit for review and approval to the Engineering Division a final WQMP, incorporating the LID Principles and Stormwater BMPs committed to in the preliminary Project-Specific WQMP. The final WQMP shall be approved **prior to issuance of any grading or building permit**.
68. Operation and Maintenance (O&M) Plan and Agreement that (1) describes the long-term operation and maintenance requirements for BMPs identified in the BMP Exhibit; (2) identifies the entity that will be responsible for long-term operation and maintenance of the referenced BMPs; and (3) describes the mechanism for funding the long-term operation and maintenance of the referenced BMPs. The City format shall be used.
69. All storm drain inlet facilities shall be appropriately marked "Only Rain in the Storm Drain" using the City authorized marker to prevent illegal dumping in the drain system.
70. Prior to the issuance of a certificate of use and/or occupancy, the applicant shall demonstrate compliance with applicable NPDES permits for construction, industrial/commercial, MS4, etc. to include:
 1. Demonstrate that all structural Best Management Practices (BMP's) described in the BMP Exhibit from the project's approved WQMP have been implemented, constructed and installed in conformance with approved plans and specifications.
 2. Demonstrate that the project has complied with all non-structural BMPs described in the project's WQMP.
 3. Provide signed, notarized certification from the engineer of work that the structural BMP's identified in the project's WQMP are installed and operational.
 4. Submit a copy of the fully executed, recorded Operations and Maintenance (O&M) Plan for all structural BMPs.
 5. Demonstrate that copies of the project's approved WQMP (with recorded O&M Plan attached) are available for each of the initial occupants (commercial/industrial) or HOA as appropriate.
 6. Agree to pay for a Special Investigation from the City of Lake Elsinore for a date twelve (12) months after the issuance of a Certificate of Use and/or Occupancy

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

for the project to verify compliance with the approved WQMP and O&M Plan. A signed/sealed certification from the engineer of work dated 12 months after C of O will be considered in lieu of a Special Investigation by the City.

7. Provide a recorded copy of one of the following:
 - a. CC&R's (they must include the approved WQMP and O&M Plan) for the project's Home Owners Association.
 - b. A water quality implementation agreement has the approved WQMP and O&M Plan attached; or
 - c. The final approved Water Quality Management Plan and Operations and Maintenance Plan.

Final Tract or Parcel Map

71. The developer shall submit for plan check review and approval a final map.
72. Phasing plan, if any, shall be approved by the City Engineer prior to issuance of any permits.
73. Prior to City Council approval of the final Tract Map the developer shall, in accordance with Government Code, have constructed all improvements or have improvement plans submitted and approved, agreements executed and securities posted.
74. Street abandonment shall be processed and approved as part of the final map.
75. Make an offer of dedication for all public streets and easements required by these conditions or shown on the Tentative Map. All land so offered shall be granted to the City, free and clear of all liens and encumbrances and without cost to the city.
76. Applicant shall record C C & R's for funding, operation and maintenance of slopes and drainage facilities within the project. The C C & R's shall be approved by the Planning Director and City Engineer prior to recordation of final map.
77. The Final Tract Map or Parcel Map shall include the phasing boundaries consistent with the parcels of the Tentative Tract or Parcel Map. The phasing boundaries or parcels shall be processed as separate tract maps.
78. Underground water rights shall be dedicated to the City pursuant to: the provisions of Section 16.52.030 (LEMC), and consistent with the City's agreement with the Elsinore Valley Municipal Water District.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

Prior to Issuance of a Grading Permit

79. Submit grading plans with appropriate security, Hydrology and Hydraulic Reports prepared by a Registered Civil Engineer for approval by the City Engineer. Developer shall mitigate any flooding and/or erosion downstream caused by development of the site and/or diversion of drainage.
80. Provide soils, geology and seismic report including street design recommendations. Provide final soils report showing compliance with recommendations.
81. A seismic study shall be performed on the site to identify any hidden earthquake faults, liquefaction and/or subsidence zones present on-site. A certified letter from a registered geologist or geotechnical engineer shall be submitted confirming the absence of this hazard.
82. The applicant shall obtain all necessary off-site easements for off-site grading and/or drainage acceptance, if needed, from the adjacent property owners prior to grading permit issuance. (Amended by Staff prior to January 6, 2015 Planning Commission hearing.)
83. The developer shall apply for, obtain and submit to the City Engineering Division a letter from Southern California Edison (SCE) indicating that the construction activity will not interfere with existing SCE facilities (aka SCE NIL).
84. Developer shall execute and submit grading and erosion control agreement, post grading security and pay permit fees as a condition of grading permit issuance.
85. A preconstruction meeting with the City Public Works Inspector (Engineering Division) is required prior to commencement of ANY grading activity.
86. A traffic improvement plan which includes the timing of phased improvements shall be submitted to the City Engineer for review and approval prior to issuance of any grading permits for the project. Secondary access shall be provided for each phase.

Prior to Issuance of Building Permit:

87. All Public Works requirements shall be complied with as a condition of development as specified in the Lake Elsinore Municipal Code (LEMC) prior to building permit.
88. Submit a "Will Serve" letter to the City Engineering Division from the applicable water agency stating that water and sewer arrangements have been made for this project and

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

specify the technical data for the water service at the location, such as water pressure and volume etc. Submit this letter prior to applying for a building permit.

89. Pay all Capital Improvement Mitigation fees (LEMC 16.34).
90. The Final Tract Map shall be recorded.
91. **Prior to the issuance of the first building permit:** Construct Terra Cotta Road at its full width section as a Secondary Highway with a 90' Right of Way from Lakeshore Drive north to the northern boundary of the project. The City Engineer at his/her discretion may allow for the phased construction of the ultimate improvements. (Amended by Staff prior to January 6, 2015 Planning Commission hearing.)
92. **Prior to the issuance of the first building permit:** Construct a 5-foot wide sidewalk on the west side of Terra Cotta Road between Lakeshore Drive and Harrison Avenue. (Added by Staff prior to the July 14, 2015 City Council hearing.)
93. **Prior to the issuance of the first building permit:** Construct the extension of Terra Cotta Road from the north project boundary to Nichols Road with a 32' paved roadway width with paved roadway section approved by the City Engineer. (Amended by Staff prior to July 14, 2015 City Council hearing.)
94. ~~Prior to the issuance of the first building permit:~~ ~~Construct the extension of Pierce Street from the project boundary to Nichols Road with a 32' paved roadway width, including an 8' graded shoulder on the north and south bound sides.~~ **Prior to the issuance of the 300th building permit:** The developer shall pay fee in-lieu of construction of future median improvements on Lakeshore Drive. The fee shall be equal to current cost estimate for improvements (including contingency) plus an additional 15% of the total construction cost estimate to cover design and administrative costs. The cost estimate shall be approved by the City Engineer. (Amended by Staff prior to January 6, 2015 Planning Commission hearing.)

Prior to Occupancy

95. All compaction reports, grade certifications, monument certifications (with tie notes delineated on 8 1/2" x 11" Mylar) shall be submitted to the Engineering Division before final inspection of off-site improvements will be scheduled and approved.
96. All traffic signing and striping shall be completed in accordance with the approved plans to the satisfaction of the City Traffic Engineer.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

97. **Prior to the final inspection and occupancy of the 50th dwelling unit:** Install a full intersection traffic signal at all legs of the off-set intersection of Lakeshore Drive and Terra Cotta Road. (Amended by Staff prior to January 6, 2015 Planning Commission hearing.)
98. **Prior to the final inspection and occupancy of the 150th dwelling unit:** Install a traffic signal at the intersection of Lakeshore Drive and Dryden Street. (Added by Staff prior to July 14, 2015 City Council hearing.)
99. The fair share cost of future improvements as a condition of this development shall be paid, as per tables 9 and 10 of Appendix E of the October 2014 2014 the January 29, 2014 Revised Terracina Traffic Impact Analysis prepared by Kunzman Associates, Inc. (Appendix E of Mitigated Negative Declaration No. 2014-02). This condition implements Mitigation Measure TRA-4 of Mitigated Negative Declaration No. 2014-02. In lieu of Applicant's Fair Share contribution, Applicant shall install improvements outlined in Condition #39. (Amended by Staff prior to January 6, 2015 and March 17, 2015 Planning Commission hearing.)
100. TUMF fees shall be paid. The TUMF fees shall be the effective rate at the time of payment in full in accordance with the LEMC.
101. All required public right-of-way dedications, easements, dedications and vacations and easement agreement(s) for ingress and egress through adjacent property(ies) shall be recorded with a recorded copy provided to the City prior to final project approval.
102. ~~**Prior to the final inspection and occupancy of the dwelling unit:** The developer shall pay fee in lieu of construction of future median improvements on Lakeshore Drive. The fee shall be equal to current cost estimate for improvements (including contingency) plus an additional 15% of the total construction cost estimate to cover design and administrative costs. The cost estimate shall be approved by the City Engineer. (Deleted by Staff prior to January 6, 2015 Planning Commission hearing.)~~
103. In the event of damage to City roads from hauling or other construction related activity, applicant shall pay full cost of restoring public roads to the baseline condition.
104. As-built plans for all in-field revisions to approved plan sets shall be submitted for review and approval by the City. The developer/developer/owner is responsible for revising the original mylar plans. (Amended by Staff prior to January 6, 2015 Planning Commission hearing.)
105. All final studies and reports, grade certifications, monument certifications (with tie notes

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

delineated on 8 ½ x 11” mylar) shall be submitted in .tif format on a CD/DVD. Studies and reports include, Soils, Seismic, Hydrology, Hydraulics, Grading, SWPPP, WQMP, etc.

106. All plan sets and recorded maps shall be digitized and provided on CD/DVD as follows:
- a. Final Map(s) - GIS Shape files* and .tif of recorded map.
 - b. Improvement Plans – GIS Shape files* and .tif of approved as built mylar.
 - c. Grading Plans - .tif of approved as built mylar.
- *GIS Shape files must be in projected Coordinate System: NAD 83 State Plane California Zone VI U.S. Fleet.

COMMUNITY SERVICES DEPARTMENT

107. If any of the following conditions of approval differ from the Specific Plan text or exhibits, the conditions enumerated herein shall take precedence.
108. ~~The 2.1 acre private park/recreation center in Village 3 and all~~ All open space shall be owned and maintained by the Homeowner’s Association (HOA). (Amended by Staff prior to July 14, 2015 City Council hearing.)
109. The 5.1 acre public park (~~Lot 470~~ as shown on attached Exhibit 1) shall be included in the Community Facilities District for maintenance and renovation costs. (Added by Staff prior to July 14, 2015 City Council hearing.)
110. ~~The design of the 2.1 acre private park/recreation center located in Village 3 shall be consistent with the conceptual design and guidelines identified within the Specific Plan. The design shall be approved by the Director of Community Services prior to the approval of the final map. The public park shall include:~~
- An informal sports field
 - Restroom approximately 300 sq. ft.
 - On-site parking
 - 1 cover picnic area with 4 tables
 - Barbeque, hot ash container
 - 4 waste containers
 - Drinking fountain
 - Half court basketball
 - 8 benches
 - One 2-5 year and one 5-12 year playground with shade over the entire play structure
 - Perimeter walking trail with exercise stations
 - Park monument sign

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

Security Lighting
Lockable gate to the parking lot

(Amended by Staff prior to July 14, 2015 City Council hearing.)

111. The design of the proposed park site shall provide pedestrian circulation and shall be in compliance with American with Disabilities Act (ADA) requirements. (Added by Staff prior to July 14, 2015 City Council hearing.)
112. Prior to submittal of construction plans, the developer shall meet with the Director of Communities Services to determine the location and specifications of the park amenities to be provided. The final conceptual design of the park will be approved by the Director of Community Services. (Added by Staff prior to July 14, 2015 City Council hearing.)
113. Construction plans and specifications for the park shall be reviewed and approved by the Director of Community Services prior to the approval of the final map. (Added by Staff prior to July 14, 2015 City Council hearing.)
114. The developer shall post security and enter into a park improvement agreement to improve the public park prior to issuance of the first building permit. (Added by Staff prior to July 14, 2015 City Council hearing.)
115. Construction of the park shall commence pursuant to a pre-construction meeting with the developer, the developer's construction contractor and City representatives. Failure to comply with the City's review and inspection process may preclude acceptance of the park by the City. (Added by Staff prior to July 14, 2015 City Council hearing.)
116. The developer, the developer's successor or assignee, shall be responsible for all the maintenance of the public park, including the 90 day maintenance period. After successful completion of the 90 day maintenance period following construction, these responsibilities will be accepted by the City. (Added by Staff prior to July 14, 2015 City Council hearing.)
117. The public park shall be improved and then conveyed to the City free and clear of any liens, assessment fees, or easements that would preclude the City from utilizing the property for public purposes. A policy of title insurance and a soils assessment report shall be provided with the conveyance of the property. (Added by Staff prior to July 14, 2015 City Council hearing.)
118. ~~No park credits will be given for the private park/recreation center.~~ The completion of the public park shall be in lieu of any Quimby and park Development Impact Fees (DIF)

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

requirements for the development. (Amended by Staff prior to July 14, 2015 City Council hearing.)

119. The developer, the developer's successor or assignee, shall be responsible for all maintenance of ~~the 2.1 acre park site~~ and all open space areas until such time as those responsibilities are provided by the HOA. (Amended by Staff prior to July 14, 2015 City Council hearing.)
120. The ~~private 2.4~~ public 5.1 acre park/~~recreation center~~ shall be completed to the satisfaction of the Community Services Director prior to the issuance of the 100th residential building permit. (Amended by Staff prior to July 14, 2015 City Council hearing.)
121. Class II bicycle lanes, as specified in the Specific Plan, shall be identified on the street improvements plans and constructed in concurrence with the completion of said street improvements.
122. ~~Prior to issuance of building permits, the developer shall pay Quimby Act in-lieu fees at the rates in effect at the time the application for VTTM 36557 was deemed complete. In the event that VTTM 36557 is not adopted or, alternatively, VTTM 36557 expires, developer shall pay the Quimby Act in-lieu fees, and any other park development impact fees (DIF) in effect at the time of payment.~~ (Deleted by Staff prior to July 14, 2015 City Council hearing.)

FIRE PROTECTION PLANNING OFFICE

General Conditions

123. **Lake Elsinore Fire Protection Planning Office Responsibility** - It is the responsibility of the recipient of these Fire Department conditions to forward them to all interested parties. The permit number (as it is noted above) is required on all correspondence. Questions should be directed to the Riverside County Fire Department, Lake Elsinore Fire Protection Planning Division at 130 S. Main St., Lake Elsinore, CA 92530. Phone: (951) 671-3124 Ext. 225. The following fire department conditions shall be implemented in accordance with the Lake Elsinore Municipal Code and the adopted codes at the time of project building plan submittal, these conditions are in addition to the adopted code requirements.
124. **Blue Dot Reflectors** - Blue retro-reflective pavement markers shall be mounted on private streets, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Dept.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

125. **Minimum Hydrant Fire Flow** - Minimum required fire flow shall be 1,000 GPM for 2 hours duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site. Average spacing between hydrants 500' and 250' maximum distance from any point on the street or road frontage to hydrant. Standard Fire hydrants shall be installed (6"x4"x2-1/2").
126. **Hazardous Fire Area** - The proposed project is located high or very high fire zone as adopted in the Lake Elsinore Municipal Code. The project shall adhere to all high fire requirements as prescribed in the Title 24 Codes, any applicable state and local codes pertaining to high fire. The structures shall comply with Chapter 7A of the Building Code and or Section R327 of the California Residential Code. Roofing Materials shall be classified at not less than class "A".
127. **Fuel Modification Plan** - Fuel modification plans shall be provided to the Lake Elsinore Fire Protection Planning office. Plans shall include fuels modeling and comprehensive details with regard to the vegetation management plan. The fuels modification zone shall be not less than 100' from all structures and may be required to be increased.
128. **Minimum Access Standards** - The following access requirements are required to be implemented to ensure fire department and emergency vehicular access. All roadways shall conform to the City of Lake Elsinore approved roadway standards but in no case shall the minimum fire department vehicular access be less the following provisions:
1. Twenty-four feet (24') clear width. Where parking is to be provided, each parking side shall be provided with eight (8') additional feet on each side of the fire department access.
 2. Median openings or crossovers between opposing lanes of a divided highway or street shall be located only at approved intersections at intervals of not less than 500 feet. [Ord. 529 § 3.2(F), 1973].
 3. The required all weather vehicular access shall be able to support no less than 70,000 lbs. over 2 axles.
 4. Roadway gradient shall not exceed 15% on any access road, driveways, and perimeter roads.
 5. Turning Radius shall be 26' inside and 38' outside for all access roads.
129. **Secondary Access** - In the interest of Public Safety, this project shall provide an Alternate or Secondary Access. Said access shall be constructed in accordance to the City of Lake Elsinore Engineering Department standards to accommodate full fire response and community evacuation.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

Prior to Building Permit Issuance

130. **Water System Plans** - Applicant and/or developer shall separately submit 2 sets of water system plans to the Fire Department for review. Plans must be signed by a registered Civil Engineer and/or water purveyor prior to Fire Department review and approval. Mylars will be signed by the Fire Department after review and approval. Two (2) copies of the signed and approved water plans shall be returned to the Fire Department before release of a building permit.
131. **Prior to Building Construction Verification** - This project shall be inspected and approved by the Fire Marshal or designee prior to bringing combustible materials on site. During such inspection all permanent road signs shall be in place, all hydrants shall on operating and approved for use by the water purveyor, and all permanent road surfaces shall be completed including primary and secondary access circulation.

Prior to Building Final Inspection

132. **Residential Fire Sprinkler Systems for Single family and two-family 13D** - Install a complete fire sprinkler system designed in accordance with California Residential Code, California Fire Code and adopted standards. A C-16 licensed contractor must submit plans, along with the current fee, to the Fire Department for review and approval prior to installation.
133. **Designated Fire Lanes** - The applicant shall prepare and submit to the Fire Department for approval, a site plan designating required fire lanes with appropriate lane painting and/ or signs.

DEPARTMENT OF ADMINISTRATIVE SERVICES

Annex into CFD 2015-1 (Safety) Law Enforcement, Fire and Paramedic Services CFD

134. Prior to approval of the Final Map, Parcel Map, ~~Site Development Plan~~ Residential Design Review, or Special Use Permit (as applicable), the applicant shall consent to the formation of a Community Facilities District or annex into the proposed Community Facilities District No. 2015-1 (Safety) the Law Enforcement, Fire and Paramedic Services Mello-Roos Community Facilities District to offset the annual negative fiscal impacts of the project on public safety operations and maintenance issues in the City. Applicant shall make a seven thousand five hundred dollar (\$7,500) non-refundable deposit to cover the cost of the formation or annexation process, as applicable. ~~Contact David Bilby, Finance Manager, City of Lake Elsinore at (951) 674-3124 or DBilby@Lake-Elsinore.org.~~ The applicant may propose alternative financing

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

mechanisms to fund the annual negative fiscal impacts of the project on public safety operations and maintenance issues in the City in lieu of creating/annexing into a district. Contact the Administrative Services Director at 951-674-3124. (Amended by Staff prior to March 17, 2015 Planning Commission hearing.)

Annex into the City of Lake Elsinore Community Facilities District No. 2015-2 (Maintenance Services)

135. Prior to approval of the Final Map, Parcel Map, ~~Site Development Plan~~ Residential Design Review, Special Use Permit or building permit (as applicable), the applicant shall consent to the formation of a Community Facilities District or annex into the proposed Community Facilities District No. 2015-2 (Maintenance Services) to fund the on-going operation and maintenance of the public right-of-way landscaped areas and neighborhood parks to be maintained by the City and for street lights in the public right-of-way for which the City will pay for electricity and a maintenance fee to Southern California Edison, including parkways, open space and public storm drains constructed within the development and federal NPDES requirements to offset the annual negative fiscal impacts of the project. Applicant shall make a seven thousand five hundred dollar (\$7,500) non-refundable deposit to cover the cost of the formation or annexation process, as applicable. Contact David Bilby, Finance Manager, City of Lake Elsinore at (951) 674-3124 or DBilby@Lake-Elsinore.org. The applicant may propose alternative financing mechanisms to fund the on-going operation and maintenance of the public right-of-way landscaped areas and neighborhood parks to be maintained by the City and for street lights in the public right-of-way for which the City will pay for electricity and a maintenance fee to Southern California Edison, including parkways, open space and public storm drains constructed within the development and federal NPDES requirements to offset the annual negative fiscal impacts of the project in lieu of creating/annexing into a district. Contact the Administrative Services Director at 951-674-3124. (Amended by Staff prior to March 17, 2015 Planning Commission hearing.)

MITIGATED NEGATIVE DECLARATION NO. No. 2014-02 (SCH #2013091083) MITIGATION MEASURES

136. Prior to the approval of any implementing project within the Terracina Specific Plan (i.e.: tract map, parcel map, conditional use permit, design review, etc.), the following conditions shall be placed on the implementing project:
137. The applicant shall comply with the following mitigation measures, which are set forth in the Mitigation Monitoring & Reporting Program (MMRP) for Mitigated Negative Declaration No. 2014-02, which was adopted for this project:

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

- a. **Mitigation Measure AIR-1:** All diesel powered construction equipment in use shall require control equipment that meets, at a minimum Tier 3 emission requirements. In the event Tier 3 equipment is not available, diesel powered construction equipment in use shall require emissions control equipment with minimum of Tier 2 diesel standards.

- b. **Mitigation Measure AIR-2:** The following measures shall be required during construction:
 - i. The project applicant shall require that the site preparation and grading contractors implement the fugitive dust control actions provided in SCAQMD's Rule 403 for "Large Operations." If a more restrictive action is included below as project mitigation then that measure may be used in place of the applicable Rule 403 measure. A list of the Large Operations control actions from Rule 403 are provided in Appendix A of this Initial Study.

 - ii. When materials are transported off-site, all material shall be covered. As necessary, it may be effectively wetted to limited dust emissions, and at least six inches of freeboard space from the top of the container shall be maintained to the extent feasible. If warranted by site or weather conditions, material shall be effectively wetted to limit dust emissions.

 - iii. The developer shall require and ensure that the contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering, as necessary, to prevent transport of dust offsite.

 - iv. The developer shall post a publicly visible sign with the telephone number and person to contact regarding dust complaints. This person shall respond to any dust complaints and attempt corrective action within 24 hours.

 - v. The developer shall require and ensure that the contractor or builder shall formulate a high wind response plan for enhanced dust control if winds are forecast to exceed 25 mph in any upcoming 24-hour period.

 - vi. The developer shall use its best efforts to require and ensure that the contractor or builder shall restrict truck operation to "clean" trucks, such as a 2007 or newer model year or 2010 compliant vehicles.

 - vii. The developer shall use its best efforts to utilize CARB certified equipment for construction activities. Developer shall inform all contractors and

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

subcontractors that use of CARB certified equipment for all construction activities is required where feasible and possible.

- viii. The developer shall require and ensure that the contractor or builder shall suspend use of all construction equipment operations during first stage smog alerts.
- c. **Mitigation Measure AIR-3:** Electrical outlets shall be installed on the exterior walls of all residential buildings to promote the use electric landscape maintenance equipment.
- d. **Mitigation Measure BIO-1:** The project applicant shall ensure that a preconstruction presence/absence survey for burrowing owl shall be conducted where suitable habitat is present. The survey shall be conducted within 30 days prior to site disturbance. If burrowing owl are determined to be present, passive (i.e., use of one-way doors and collapse of burrows) relocation following accepted protocols will be utilized to ensure impacts to owls are minimized or avoided. Existing burrows shall be destroyed once they are vacated. In addition, disturbance of active nests will be avoided if burrowing owl is present during the nesting season (March 1st to August 31st). If active nests are identified, the biologist shall establish buffers around the vegetation containing the active nest of at least 150 meters
- e. **Mitigation Measure BIO-2:** The removal of potential nesting vegetation will be conducted outside of the nesting season (February 1 to August 31) to the extent that this is feasible. If vegetation must be removed during the nesting season, a qualified biologist shall conduct a nesting bird survey of potentially suitable nesting vegetation prior to removal. Surveys will be conducted no more than three (3) days prior to scheduled removals. If active nests are identified, the biologist shall establish buffers around the vegetation containing the active nest of at least 500 feet of an active listed species or raptor nest, and 300 feet of other sensitive or protected nests. The vegetation containing the active nest will not be removed, and no grading will occur within the established buffer, until a qualified biologist has determined that the nest is no longer active (i.e., the juveniles are surviving independent from the nest). If clearing is not conducted within three days of a negative survey, the nesting survey must be repeated to confirm the absence of nesting birds.
- f. **Mitigation Measure BIO-3:** Prior to the issuance of a grading permit, the project applicant shall obtain the necessary authorizations from the regulatory agencies for proposed impacts to jurisdictional waters. Authorizations may include a Section

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

404 Permit from the U.S. Army Corps of Engineers, a Section 1602 Streambed Alteration Agreement from the California Department of Fish and Wildlife, and a Section 401 Water Quality Certification/Waste Discharge Requirement from the Regional Water Quality Control Board. The Permittee shall offset impacts to riparian/riverine areas by purchasing credits at the Riverside-Corona Resource Conservation District in-lieu fee program, or another approved in-lieu fee program or mitigation bank within the Santa Ana River Watershed, to be approved by the appropriate regulatory agency(s). The project shall offset the loss of 1.13 acres of riparian habitat at a 3:1 ratio, for a total of 3.39 acres; and shall offset the loss of 0.42 acre of unvegetated riverine areas at a ratio of 3:1, for a total of 1.26 acres. Total compensatory mitigation shall be a minimum of 4.65 acres.

- g. **Mitigation Measure BIO-4:** To avoid or reduce indirect impacts of the project on the MSHCP Conservation Area (Criteria Cell #4157) adjacent to or in close proximity of the project, the project shall include the following measures:

Drainage. The project shall incorporate measures to ensure that the quantity and quality of runoff discharged to the MSHCP Conservation Area is not altered in an adverse way when compared with existing conditions. In particular, measures shall be put in place to avoid discharge of untreated surface runoff from developed and paved areas into the MSHCP Conservation

Area. The project shall implement BMPs as identified in the Preliminary Water Quality Management Plan (Appendix B of this Initial Study).

Toxics. Land uses proposed in proximity to the MSHCP Conservation Area that use chemicals or generate bioproducts such as manure that are potentially toxic or may adversely affect wildlife species, habitat or water quality shall incorporate measures to ensure that application of such chemicals does not result in discharge to the MSHCP Conservation Area.

Lighting. Night lighting shall be directed away from the MSHCP Conservation Area to protect species within the MSHCP Conservation Area from direct night lighting, ensuring that ambient lighting in the MSHCP Conservation Area is not increased. Additionally, the project shall adhere to the City's lighting standards which would avoid shining light onto adjacent properties.

Noise. Proposed noise generating land uses affecting the MSHCP Conservation Area shall incorporate setbacks, berms or walls to minimize the effects of noise on MSHCP Conservation Area resources pursuant to applicable rules, regulations and guidelines related to land use noise standards. The project shall include applicable

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

structures to ensure that wildlife within the MSHCP Conservation Area will not be subject to noise that would exceed residential noise standards, both during and post-construction.

Invasives. Project landscaping shall use native, drought-tolerant and noninvasive plants. Specifically, the project shall avoid the use of invasive plant species listed in Volume I, Table 6-2

Barriers. Proposed land uses adjacent to the MSHCP Conservation Area shall incorporate barriers, where appropriate in individual project designs to minimize unauthorized public access, domestic animal predation, illegal trespass or dumping in the MSHCP Conservation Area. Such barriers may include native landscaping, rocks/boulders, fencing, walls, signage and/or other appropriate mechanisms.

Grading/Land Development. No manufactured slopes associated with the project shall extend into the MSHCP Conservation Area.

- h. **Mitigation Measure BIO-5:** The developer shall comply with the City's updated landscape requirements for the use of native, drought-tolerant and non-invasive plants, and shall not install invasive species listed at Volume I, Table 6-2 of the MSHCP. This measure applies during construction and installation of improvements.
- i. **Mitigation Measure BIO-6:** The developer shall provide language in the Covenants, Conditions, and Restrictions (CC&Rs) for the project which requires compliance with the City's updated landscape requirements for the use of native, drought-tolerant and non-invasive plants and provides that homeowners may not replace such plants with invasive species. Developer shall incorporate into the CC&Rs the requirement that the invasive species provided on Volume I, Table 6-2 of the MSHCP are prohibited. The CC&Rs shall incorporate the list of invasive species, Volume I, Table 6-2 of the MSHCP, for reference.
- j. **Mitigation Measure CUL-1:** All earth moving activities within the project area during construction shall be monitored by a qualified archaeologist selected from the latest Riverside County Cultural Resources Consultant List.
- k. **Mitigation Measure CUL-2:** If inadvertent discoveries of subsurface archaeological/cultural resources are discovered during grading, the developer, the project archaeologist, and the appropriate tribe shall assess the significance of such resources and shall meet and confer regarding the mitigation for such resources. Pursuant to California Public Resources Code Section 21083.2(b)

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

avoidance is the preferred method of preservation for archaeological resources. If the developer and the Tribe cannot agree on the significance or the mitigation for such resources, these issues will be presented to the Community Development Director (CDD) for decision. The CDD shall make the determination based on the provisions of the California Environmental Quality Act with respect to archaeological resources and shall take into account the religious beliefs, customs, and practices of the appropriate tribe.

- l. Mitigation Measure CUL-3:** At least 30 days prior to seeking a grading permit, the project applicant shall contact the appropriate Native American Tribal Representative (Representative)* to notify the Representative of the initiation of the grading, excavation and the monitoring program, and to coordinate with the City of Lake Elsinore and the Representative to develop a Cultural Resources Treatment and Monitoring Agreement. The Agreement shall address the responsibilities and participation of Native American Tribal monitors during grading, excavation and ground disturbing activities; project grading and development scheduling; terms of compensation; and treatment and final disposition of any cultural resources, sacred sites and human remains discovered on the site. The archaeological monitor and the appropriate Tribe will evaluate the significance of any archaeological resource discovered on the property. Tribal and archaeological monitors shall be allowed to monitor all grading, excavation and groundbreaking activities, and shall have the authority to stop and redirect grading activities. (*It is anticipated that the Pechanga Tribe will be the “appropriate” Tribe due to prior and extensive coordination with the City in determining potentially significant impacts and appropriate mitigation measures and its demonstrated cultural affiliation with the project area.)
- m. Mitigation Measure CUL-3A:** Prior to any grading at or near the vicinity of the known surface boundaries of CA-RIV-5782 and CA-RIV-5783, the developer shall meet and confer with the appropriate Tribe and the project archaeologist to develop an appropriate controlled grading plan. The purpose of the controlled grading at and around the site is to afford the opportunity to determine whether any subsurface resources are associated with the sites and, if so, to collect the resources for appropriate mitigation as outlined in the Treatment Agreement. All controlled grading shall be monitored in accordance to the provisions of the Agreement required in CUL-3.
- n. Mitigation Measure CUL-4:** The landowner shall relinquish ownership of all cultural resources, including sacred items, burial goods and all archaeological artifacts that are found on the project area to the appropriate tribe for proper treatment and disposition.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

- o. **Mitigation Measure CUL-5:** A paleontological grading observation schedule by a certified paleontologist shall be maintained when grading in bedrock sedimentary units to further evaluate the fossil resources of the site.
- p. **Mitigation Measure CUL-6:** During construction-related activities of the project, should paleontological materials be unearthed, the Lake Elsinore Planning Department shall be notified immediately. Construction affecting the area shall be halted and the City shall coordinate the appropriate efforts for handling and/or disposition of these materials.
- q. **Mitigation Measure CUL-7:** If human remains are encountered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the Riverside County Coroner has made the necessary findings as to origin. Further, pursuant to California Public Resources Code Section 5097.98(b) remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the coroner shall contact the Native American Heritage Commission within 24 hours. Subsequently, the Native American Heritage Commission shall identify the person or persons it believes to be the “most likely descendant.” The most likely descendant may then make recommendations, and engage in consultations concerning the treatment of the remains as provided in Public Resources Code 5097.98.
- r. **Mitigation Measure GRE-1:** The project applicant shall implement Measure E-1.3 from the Climate Action Plan, which requires that all of the proposed structures exceed the 2008 Title 24 energy efficiency standards by a minimum of 15 percent.
- s. **Mitigation Measure GRE-2:** The project applicant shall implement Measure T-1.2 from the Climate Action Plan, which requires the installation of sidewalks along all new streets to link neighborhood activity centers, major destinations and transit facilities.
- t. **Mitigation Measure GRE-3:** The project applicant shall implement Measure E-4.1 from the Climate Action Plan, which requires that the Landscape Plan for the proposed project adhere to the City’s Assembly Bill 1881 Landscape Ordinance.
- u. **Mitigation Measure GRE-4:** The project applicant shall implement Measure E-4.2 from the Climate Action Plan, which requires that new developments reduce indoor water consumption by 30 percent. This shall be achieved through the use of low-flow fixtures for all faucets, toilets and showers that are installed in the proposed project.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

- v. **Mitigation Measure GRE-5:** The project applicant shall implement Measure E-1.1 from the Climate Action Plan, which requires that new developments plant a minimum one 15 gallon nondeciduous umbrella form tree per 30 linear feet of boundary length. This has been calculated to require the planting of a minimum of 470 trees on the project site.
- w. **Mitigation Measure GRE-6:** The project applicant shall implement Measure T-1.4 from the Climate Action Plan, which requires that new development implement and connect to the network of bikeways, trails and safety features identified in the General Plan, Bike Lane Master Plan, Trails Master Plan and Western Riverside County Non-Motorized Transportation Plan.
- x. **Mitigation Measure NOI-1:** During all project site excavation and grading on-site, construction contractors shall equip all construction equipment, fixed or mobile, with properly operating and maintained mufflers, consistent with manufacturer standards. The contractor shall place all stationary construction equipment so that emitted noise is directed away from the noise sensitive receptors nearest the project site.
- y. **Mitigation Measure NOI-2:** The contractor shall locate equipment staging in areas that will create the greatest distance between construction-related noise/vibration sources and sensitive receptors nearest the project site during all project construction.
- z. **Mitigation Measure NOI-3:** Temporary noise barriers that provide at least 10 dBA in attenuation must be installed when project construction occurs within 100 feet of existing residential structures. Any such barriers shall break the line of sight from noise generators to sensitive receptors. They shall also be constructed as close to the sensitive receptor as possible to achieve the greatest attenuation effect and have no gaps or openings. Such barriers shall be maintained throughout the construction period.
- aa. **Mitigation Measure NOI-4:** Provisions of the City's Noise Ordinance shall be satisfied during all site preparation and construction activity. Site preparation activity and construction shall not commence before 7:00 AM and shall cease no later than 5:00 PM, Monday through Friday. Only finish work and similar interior construction may be conducted on Saturdays and may commence no earlier than 8:00 am and shall cease no later than 4:00 p.m. Construction activity shall not take place on Sunday, or any Legal Holidays.

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

- bb. **Mitigation Measure NOI-5:** During construction, the developer shall require that all contractors turn off all construction equipment and delivery vehicles when not in use and prohibit idling in excess of 3 minutes. Easily visible signs shall be posted at the project site informing contractors and operators of this requirement.
- cc. **Mitigation Measure NOI-6:** The developer shall limit haul truck deliveries to weekdays only and from 7:00 a.m. to 5:00 p.m. Haul routes shall avoid residential neighborhoods, following the haul routes determined by the City.
- dd. **Mitigation Measure NOI-7:** For the duration of construction activities, the construction manager shall serve as the contact person should noise levels become disruptive to local residents. Developer shall post a publicly visible sign with the telephone number and person to contact regarding noise complaints. The construction manager, within seventy-two (72) hours of receipt of a noise complaint, shall either take corrective actions or, if immediate action is not feasible, provide a plan or corrective action to address the source of the noise complaint.
- ee. **Mitigation Measure NOI-8:** Mitigation is required in order to achieve exterior noise levels of 65 dBA Ldn at several proposed sensitive receptors adjacent to Lakeshore Drive and Terra Cotta Road. This mitigation shall be provided by constructing a five-foot barrier along the property lines of Lots 66-72 and a six-foot high barrier at the property lines of Lots 5-16, 431-441, and 459-468. A six-foot barrier will be constructed along the entire frontage with Terra Cotta Road. Barriers shall be constructed of any material weighing at least 4 pounds per square foot. Barriers shall descend all the way to the ground and contain no holes or openings. Barriers shall wrap around to protect the side yards of lots adjacent to intersections. Recommended barrier configurations are shown in Appendix D (Figures 12 and 13) of this Initial Study.
- ff. **Mitigation Measure NOI-9:** As it is usually not aesthetically desirable to construct barriers high enough to reduce interior noise levels at second story sensitive receptors, enhanced building construction methods and materials must be employed to attenuate the approximately 20-28 dB required to achieve acceptable interior noise levels of 45 dBA Ldn. These methods include:

Noise Level Reduction of 15-20 dBA

1. Air conditioning or mechanical ventilation
2. Double-paned glass
3. Solid core doors with weather stripping and seals

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

Noise Level Reduction of 20-25 dBA

Measures 1-3 above and:

4. Stucco or brick veneer exterior walls or wood siding with one-half inch thick fiberboard underlayer
5. Glass portions of windows/doors not to exceed 20 percent
6. Exterior vents facing noise source shall be baffled

Noise Level Reduction of 25-30 dBA Measures 1-6 above and:

7. Interior sheetrock of exterior wall attached to studs by resilient channels or double walls
8. Window assemblies, doors, wall construction materials, and insulation shall have a lab-tested STC rating of 30 or greater.

- gg. **Mitigation Measure TRA-1:** The developer shall require that the speed of earth-moving equipment will be 25 miles per hour or less, and shall post signs onsite to this effect.
- hh. **Mitigation Measure TRA-2:** The developer shall use reasonable trip reduction requirements during project construction including, for example, contracting with a local food truck company to provide lunch onsite.
- ii. **Mitigation Measure TRA-3:** Terra Cotta Road shall be graded and used as construction access prior to precise grading activities. Prior to building permits, Terra Cotta Road shall be paved (final lift to be placed at completion of building activity). Construction traffic shall use Terra Cotta via Nichols Road to minimize impacts to existing residents.
- jj. **Mitigation Measure TRA-4:** The developer shall participate in the phased construction of the off-site intersection improvements through payment of established City of Lake Elsinore fees, participation in the Western Riverside Transportation Uniform Mitigation Fees program, payment of the project's fair share traffic contribution (see Tables 9 and 10 of Appendix E), assessment district and/or community facilities district financing, and construction of off-site facilities under appropriate fee credit agreements.
- kk. **Mitigation Measure TRA-5:** The developer shall construct on-site and off-site roadway improvements, including but not limited to, the following:

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

- a. Construct Terra Cotta Road at its full-width improvement as a Secondary Highway with a 90-foot right-of-way from Lakeshore Drive north to the northern boundary of the project prior to building permit issuance.
- b. Construct the extension of Terra Cotta Road from the north project boundary to Nichols Road with a paved roadway section, as approved by the City Engineer, in conjunction with development.
- c. Construct the extension of Hoff Avenue from the west project boundary to Terra Cotta Road with a paved roadway section, as approved by the City Engineer, in conjunction with development.
- d. Pay fair share of construction of a traffic signal at the intersection of Terra Cotta Road (NS) and Nichols Road (EW).
- e. Construct Lakeshore Drive adjacent to the project site at its ultimate half-section width including sidewalk and parkway improvements consistent with the adjacent improved sections of Lakeshore Drive and additional 14' width for a northbound right turn lane on Lakeshore at Terra Cotta Road in conjunction with development.
- f. Install a traffic signal at the off-set intersection of Lakeshore Drive and Terra Cotta Road.
- g. Construct Dryden Street adjacent to the project site at its ultimate half-section width including sidewalk and parkway improvements in conjunction with development. Dryden Street shall be restricted to right turn in/out and left turns in only at its intersection with Lakeshore Drive.
- h. Construct Stoddard Street adjacent to the project site at its ultimate half-section width including sidewalk and parkway improvements in conjunction with development.
- i. On-site traffic signing/striping shall be implemented in accordance with detailed street improvement plans for the project.
- j. Sight distance at the project accesses shall comply with standard California Department of Transportation/City of Lake Elsinore sight distance standards. The final grading, landscaping, and street improvement plans shall demonstrate that sight distance standards are met. Such plans shall be

**CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01**

reviewed and approved by the City of Lake Elsinore prior to the issuance of any grading permits for the project.

- ll. **Mitigation Measure TRA-6:** The traffic improvements to be installed by the developer will be phased improvements as required by the build-out of the project to address traffic impacts. A traffic improvement plan which includes the timing of phased improvements shall be submitted to the City of Lake Elsinore for review and approval prior to issuance of any grading permits for the project. Where improvements are needed to mitigate for operational impacts, the improvements must be in place and operational before occupancy permits are issued.

- mm. **Mitigation Measure TRA-7:** The developer will comply with the traffic conditions of approval determined by the City of Lake Elsinore for the project, including but not limited to, the payment of Transportation Uniform Mitigation Fees and Traffic Infrastructure Fees as listed and required in Mitigation Measure TRA-4 and appropriate conditions of approval.

138. The applicant shall fund the implementation of the Mitigation Monitoring & Reporting Program (MMRP) through every stage of development. The City shall appoint an environmental monitor who shall periodically inspect the project site, documents submitted by the applicant, permits issued, and any other pertinent material, in order to monitor and report compliance to the City until the completion of the project.

END OF CONDITIONS

CITY OF LAKE ELSINORE
CONDITIONS OF APPROVAL FOR
TERRACINA SPECIFIC PLAN SP 2012-01

EXHIBIT 1



**CITY OF LAKE ELSINORE
 CONDITIONS OF APPROVAL FOR
 TERRACINA SPECIFIC PLAN SP 2012-01**

EXHIBIT 2



DESIGN TEAM CONSULTANTS

Civil Engineering

Mayers and Associates Civil Engineering, Inc.

19 Spectrum Pointe Drive, Suite 609
Lake Forest, CA 92630
(949) 599-0870

Environmental

Glenn Lukos Associates

29 Orchard
Lake Forest, CA 92630
(949) 837-0404

Fuel Modification

Firesafe Planning Solutions

302 N. El Camino Real, Suite 202
San Clemente, CA 92672
(949) 240-5911

Geotechnical

Lawson Geotechnical Consultants

31915 Rancho California Road, #200343
Temecula, CA 92591
(951) 719-1340

Land Planning

David Jeffers Consulting, Inc.

19 Spectrum Pointe Drive, Suite 609
Lake Forest, CA 92630
(949) 586-5778

Legal Counsel

Lewis Brisbois Bisgaard and Smith

28765 Single Oak Drive, Suite 140
Temecula, CA 92590
(951) 252-6152

Traffic/Noise/Air Quality

Kunzman Associates

1111 Town and Country Road, Suite 34
Orange, CA 92868
(714) 973-8383

TABLE OF CONTENTS

	Page No.
I. Executive Summary.....	I-1
A. Purpose and Intent	I-1
B. Project Plan	I-1
C. Process and Documents Prepared	I-1
D. Specific Plan Organization	I-1
E. Summary.....	I-2
II. Introduction.....	II-1
A. Authority.....	II-1
B. Project Background.....	II-1
C. Project Location and Description.....	II-3
D. Objectives, Scope and Purpose.....	II-7
E. Consistency with City General Plan.....	II-7
III. Existing Setting.....	III-1
A. On-site and Surrounding Land Uses.....	III-1
B. Environmental Setting.....	III-1
C. Public Facilities, Services and Utilities.....	III-5
D. Issues, Constraints and Opportunities.....	III-7
IV. Development Plan.....	IV-1
A. Land Use Plan.....	IV-1
1. General Discussion/Opportunities	
2. Planning Areas/Villages	
B. Circulation Plan.....	IV-7
C. Public Facilities, Services and Utilities.....	IV-15
D. Grading Plan.....	IV-17
E. Maintenance Plan.....	IV-18
F. Climate Action Plan.....	IV-22
G. Fuel Modification Plan.....	IV-26
H. Water Quality Plan.....	IV-28
I. Phasing Plan.....	IV-29

TABLE OF CONTENTS – Continued

	Page No.
V. Design Guidelines.....	V-1
A. Architectural Guidelines.....	V-1
1. Purpose and Intent	
2. Residential Design Criteria	
3. Residential Theming	
4. Residential Site Planning Criteria	
B. Landscape Guidelines.....	V-13
1. Purpose and Intent	
2. Entry Statements	
3. Parks, Recreation Center and Open Space	
4. Slopes and Natural Open space	
5. Lighting	
6. Basins	
VI. Development Regulations.....	VI-1
A. Zoning.....	VI-1
B. Uses, Standards and Regulations.....	VI-1
VII. Implementation.....	VII-1
A. Administrative Review Process.....	VII-1
B. Phasing and Scheduling.....	VII-1
C. Amendments to the Specific Plan	VII-1
VIII. Financing Options	VIII-1
A. Special Assessment Districts.....	VIII-1
B. Mello-Roos Community Facilities District.....	VIII-1
C. Builder Funding.....	VIII-2
1. Design Costs	
2. Construction Costs	
3. Potential Credits and/or Reimbursements	

LIST OF EXHIBITS

Exh. No.		Page No.
II-1	Previously Approved Tentative Tract Map.....	II-2
II-2	Regional Location	II-4
II-3	Existing Terrain	II-5
II-4	Existing Street Access	II-6
II-5	Assessors Parcel Numbers and Project Legal Description.....	II-8
III-1	Existing General Plan/Land Use.....	III-2
III-2	MSHCP Exhibit.....	III-3
III-3	Existing Biologically Sensitive Area	III-4
III-4	Existing Sewer-Lakeshore Drive	III-6
III-5	Existing Water Lines	III-8
III-6	Existing Drainage Areas	III-9
III-7	Existing Storm Drain in Lakeshore Drive	III-10
IV-1	Proposed Land Uses and Villages	IV-2
IV-2	Park Exhibit.....	IV-5
IV-3	Terra Cotta Road and Lakeshore Drive Cross Sections	IV-8
IV-4	Terra Cotta Road and Hoff Avenue Off-site Extensions	IV-10
IV-5	Dryden Street and Stoddard Street Cross Sections	IV-11
IV-6	Dolbeer Street, Hoff Avenue and Pierce Street Cross Sections.....	IV-12
IV-7	Local Streets Cross Section	IV-13
IV-8	Main Entry Street Cross Section	IV-14
IV-9	Entry Street – Village 6	IV-16
IV-10	Existing Topography	IV-19
IV-11	Terraced Grading Concept with View-sheds	IV-20
IV-12	Maintenance Plan.....	IV-21
IV-13	Fuel Modification Plan.....	IV-27
IV-14	Phasing Plan.....	IV-30
V-1	Architectural Style Santa Barbara.....	V-3
V-2	Architectural Style Santa Barbara	V-4
V-3	Architectural Style Tuscan.....	V-5
V-4	Architectural Style Tuscan.....	V-6
V-5	Architectural Style California Ranch.....	V-7
V-6	Architectural Style California Ranch.....	V-8
V-7	Architectural Style Spanish Bungalow.....	V-9
V-8	Architectural Style Spanish Bungalow.....	V-10
V-9	Craftsman Architectural Style.....	V-11
V-10	Craftsman Architectural Style	V-12
V-11	Main Entry Statement.....	V-14
V-12	Land Use Breakdown.....	V-16

LIST OF TABLES

Table No.		Page No.
IV-1	Maximum Dwelling Unit Count per Village.....	IV-7
V-1	Land Use Breakdown.....	V-17

I. EXECUTIVE SUMMARY

This Executive Summary is intended to highlight project issues and design considerations of the Terracina project in summary form.

A. Purpose and Intent

A Specific Plan's purpose is to provide policy, regulatory and land use criteria for a specific site promoting logical development and quality design which meets marketplace demands. Specific objectives are described in the document which complement and enhance the City's General Plan.

It is the intent of this plan to supersede the previously approved project for the site (Tentative Tract Map 32786) in favor of this Specific Plan, which is accompanied by a new Tentative Tract Map and updated environmental studies, all providing a comprehensive plan of development for the site.

B. Project Plan

The project consists of 151 acres of generally rolling terrain in the northwesterly portion of the City and is further defined by its six planning areas, or villages, each having the capability of a different lot size and product type. The Development Plan also features a 5.1 gross acre park site and natural open space throughout the project. The City's current General Plan allows a maximum of 824 dwelling units but the Specific Plan only allows for a maximum build-out of 452 homes.

C. Process and Documents Prepared

The procedure for the processing of this project (with the exception of Design Review) will follow the City's established Planning Entitlement Process and Flow Chart for the various entitlement applications submitted. The documents included in this review process will be the Specific Plan (SP), Tentative Tract Map (TTM) and various other reports and/or studies as may be needed to supplement the SP and TTM such as a traffic report and updated biological studies.

D. Specific Plan Organization

This Specific Plan is organized in a manner to assist the City staff, consultants and future builders with implementation of the project in a logical, orderly manner based on the Development Plan, Design Guidelines, Development Regulations and Implementation sections of this plan.

The Table of Contents generally follows the City's "Submittal Requirements for Specific Plans" format and expands on that format where needed to provide additional necessary information to assist in presenting the most comprehensive document practical.

Exhibits are provided in the document, wherever needed, to demonstrate an example of the design element being discussed or to show an application of a design or other measure. Exhibits are generally provided in the sections of the text where the discussion is being made.

E. Summary

The City's existing General Plan designations of LDR and LMDR will not be changed for Terracina. The maximum yield for the site of 824 homes is considerably more than the Terracina proposal of 452 homes.

There are no criteria cells located within the Terracina ownership but cell #4157 abuts the northerly boundary.

An existing biologically sensitive area of 3.8 acres will be preserved in its natural condition to meet requirements of U.S.A.C., E.C.D.W.Q.C.B. and C.D.F.W.S.

All public facilities, services and utilities exist for the surrounding homes and will be extended to serve Terracina. Existing water lines through the middle of the site will be used where practical.

The proposed densities of the Development Plan are in keeping with the City's existing designations of the General Plan while the proposed lot sizes are in keeping with the existing lot sizes in the surrounding neighborhoods.

The Plan offers 6 neighborhoods with different lot sizes/dimensions for 6 different home products. Each village neighborhood has its own ingress and egress points separating it from the other villages. A 5.1-acre park is located in the central portion of the site and will contain such amenities as: restrooms, BBQ facilities, picnic tables, sports field, etc as approved by the City.

The Circulation Plan has six (6) access points into the main portion of the project while also extending Terra Cotta Road off-site, northerly to existing Nichols Road. Hoff Avenue will also be extended from the northerly project boundary to Terra Cotta Road in an effort to maximize traffic circulation.

The grading concept for the site respects the natural topography as much as can be attained while creating lots with views of Lake Elsinore to the south and the hills to the north.

The two main maintenance entities for the various components of the project are the City and the project HOA. The individual lot owners will

be responsible for their ownership while the City will maintain the public streets. The project basins, some slopes and natural open space areas will be maintained by the project HOA.

The Terracina project complies, where applicable, with the City's Climate Action Plan and the applicable project-level Climate Action Plan consistency outline.

A Fuel Modification Plan was prepared for the project in an effort to identify areas of the site susceptible to wildland fires. The Fuel Modification Plan also proposed mitigation for those areas in an effort to protect the future homes.

A Water Quality Management Plan was required for the project to address and mitigate storm flows from the site which may have been polluted by the development. The WQMP also proposes basins throughout the site to mitigate this polluted water.

The Phasing Plan for the project follows the various villages. The order of the construction phasing will be determined by the future builder(s) of the Terracina project based on market conditions at the time.

The Design Guidelines for the project, both architectural and landscaping, have been described to complement each other throughout the project with details proposed at the discretion of the ultimate builder but at the same time must follow the details and themes presented herein as appropriate.

The Development Regulations (zoning) for the Terracina project closely follows, with minor exceptions, the City of Lake Elsinore Municipal Code Title 17 (Zoning). There will be one zone for the project ("R-1") with minimum lot sizes, setbacks and dimensions for each village.

Implementation of the project will follow the City's current process for all components, (i.e. maps, permits, etc.) stated herein. Amendments are broken down into "major" and "minor" amendments.

Financing options, Special Assessment Districts, Mello-Roos CFD, and builder funding are discussed in an effort to show various mechanisms available to implement construction of the project.

II. INTRODUCTION

A. Authority

This Specific Plan document is prepared in accordance with the authority granted to the City of Lake Elsinore by the California Government Code, Title 7, Division I, Chapter 3, Article 8, Sections 65450 through 65457. The Government Code authorizes cities to adopt specific plans either by resolution as policy or by ordinance as a regulation. Planning Commission and City Council public hearings are required.

The Government Code also requires, at a minimum, all specific plans to include the following information:

- The proposed distribution, location, and extent of the use of land within the area covered by the Plan.
- The distribution, location, extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities to be located within the Plan area and needed to support the proposed land uses.
- Standards and criteria by which development will proceed, as well as the standards for the conservation, development, and utilization of natural resources.
- A program of implementation measures, including regulations, programs, public works projects, and financing measures necessary to carry out the Plan.
- A statement of the relationship of the Specific Plan to the applicable General Plan.

B. Project Background

In the early 2000s Centex Homes, through an assemblage of parcels from various owners, created an irregular-shaped project site totaling 150.8 acres. The assemblage was surrounded on all sides with existing rights-of-way including Lakeshore Drive, Terra Cotta Road, Grey Avenue, Dolbeer Street, Hoff Avenue, Pierce Street, Arnold Avenue and Dryden Street.

Once assembled, Centex Homes subdivided the property and had prepared, submitted to the City and received approval for Tentative Tract Map 32786 (Exhibit II-1 "Previously Approved Tentative Tract Map") on October 11, 2005.

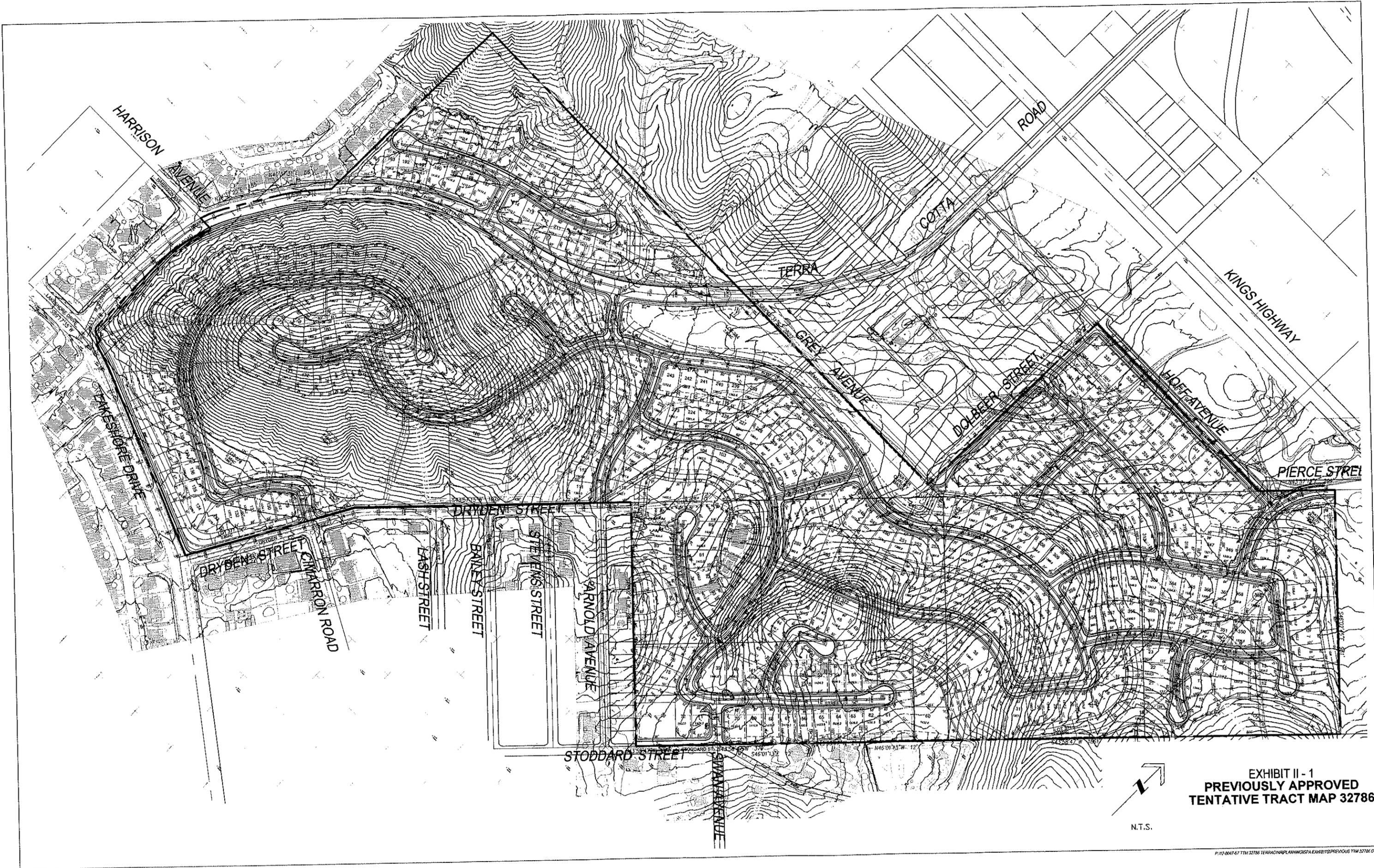


EXHIBIT II - 1
PREVIOUSLY APPROVED
TENTATIVE TRACT MAP 32786

N.T.S.

Centex Homes took the next step in development of the site by creating final improvement plans for grading, tract/final map, sewer, water, storm drain and a water quality plan. However, these improvement plans were not finalized and no permits were issued. There has been no improvement to the site to date with the exception of a portion of a water line constructed by Elsinore Valley Water District in the central portion of the site.

The land was subsequently purchased by Terracina Investors, LLC (Spectrum Communities) in May, 2012. This ownership purchased the site with the understanding that in order to make this a viable project, the costs to develop had to be reduced and the lot count had to be slightly increased while maintaining a quality development proposal.

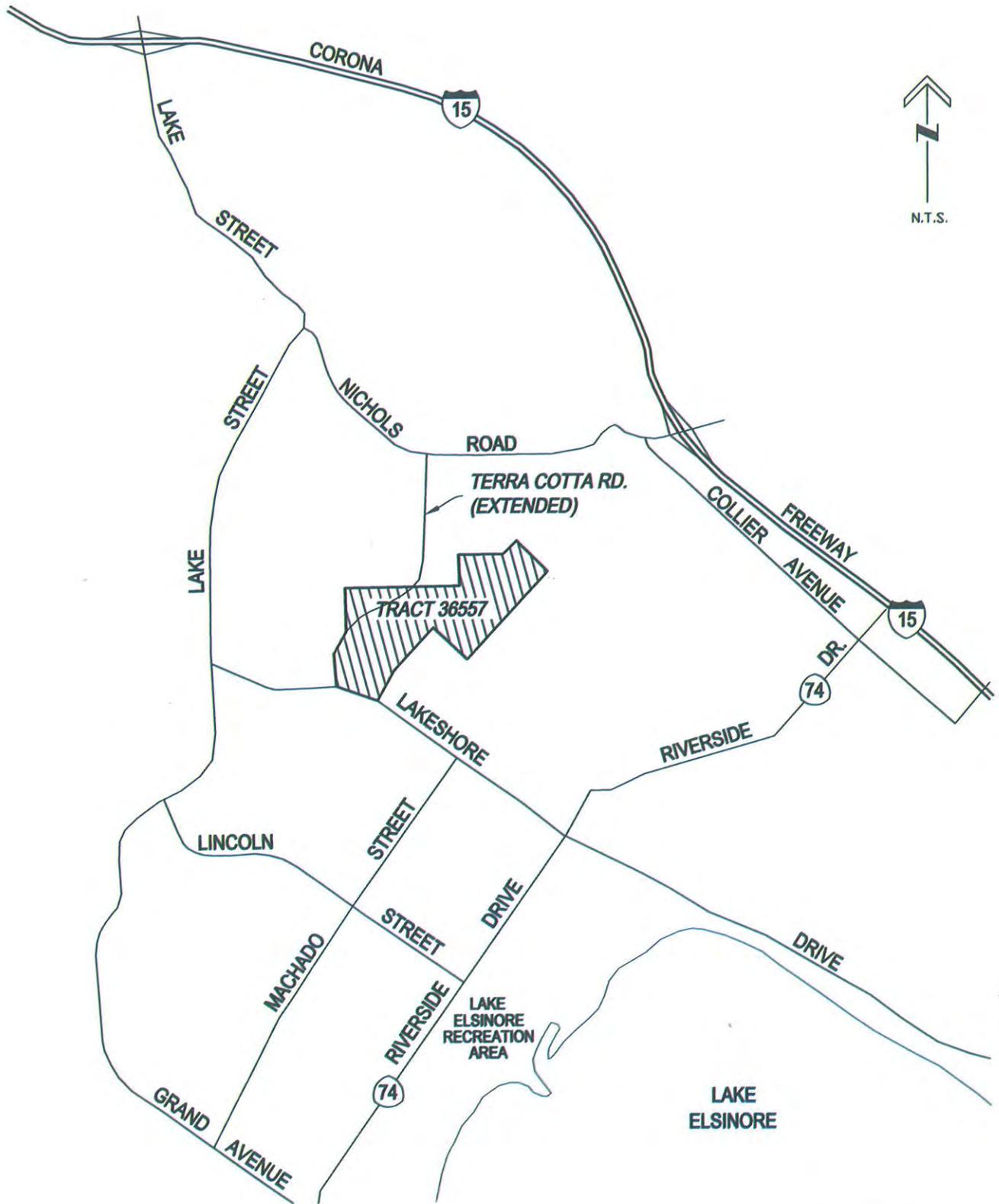
C. Project Location and Description

The City of Lake Elsinore is made up of eleven (11) different neighborhoods or Planning Districts under the General Plan. The Terracina project is located within the Alberhill District in the northern area of the City.

The project site is located southwesterly of the Interstate 15 Freeway on the northern side of existing Lakeshore Drive between Dryden Street and Terra Cotta Road. The northern portion of the site is bounded by Dolbeer Street and Holt Avenue. (Exhibit II-2 "Regional Location").

The 151 acre irregular-shaped site is characterized by a hill or knoll in the westerly portion and gently rolling terrain for the remainder of the site extending to the east. (Exhibit II-3 "Existing Terrain").

Lakeshore Drive, Terra Cotta Road, Dryden Street, Stoddard Street, Swan Avenue, Dolbeer Street, Hoff Avenue, Grey Avenue and Pierce Street all currently provide frontage and access to and from the site either by existing street improvements and/or dedicated right-of-way. (Exhibit II-4 "Existing Street Access")



**EXHIBIT II - 2
REGIONAL LOCATION**



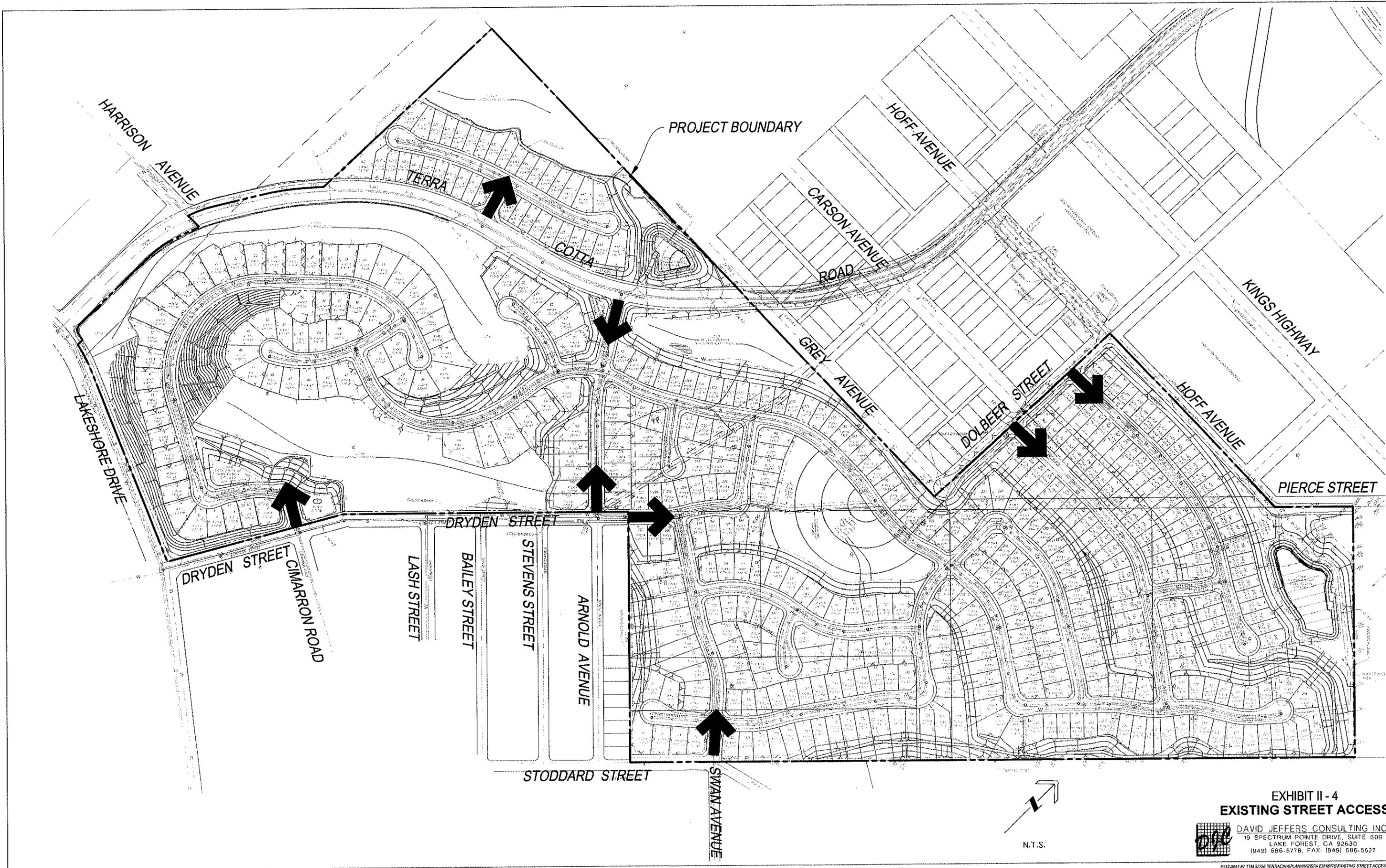
DAVID JEFFERS CONSULTING INC.
19 SPECTRUM POINTE DRIVE, SUITE 609
LAKE FOREST, CA 92630
(949) 586-5778, FAX: (949) 586-5527



**EXHIBIT II - 3
EXISTING TERRAIN**



DAVID JEFFERS CONSULTING INC.
19 SPECTRUM POINTE DRIVE, SUITE 609
LAKE FOREST, CA 92630
(949) 586-5778, FAX: (949) 586-5527



**EXHIBIT II - 4
EXISTING STREET ACCESS**

DAVID JEFFERS CONSULTING INC.
 19 SPECTRUM POINTE DRIVE, SUITE 609
 LAKE FOREST, CA 92630
 (949) 586-5778, FAX: (949) 586-5527



The project proposal consists of six (6) different planning areas, or villages, each having two separate points of ingress/egress with its own unique lot size. The architecture, although unique to each village, will complement the overall theme of the development whether it be Spanish Bungalow, Tuscan, California Ranch, Craftsman, Santa Barbara or some other style chosen by the builder and approved by the City.

Exhibit II-5: "Assessors Parcel Numbers and Project Legal Description" is taken from a Preliminary Title Report prepared by First American Title Company dated February 12, 2012.

D. Objectives, Scope and Purpose

The objectives of this Specific Plan are simply to provide a guide for the future development of the project development plan and to accomplish the following:

- Provide a specific development plan within the goals, policies and objectives of the City's General Plan.
- Provide flexibility in zoning and regulatory measures to help implement the vision of the plan and to meet future market demands.
- To act as a master plan for the development of the site.
- Provide for a cohesive community through implementation of guidelines, standards, theming and quality design and construction.
- Provide future builders with entitlements in land use and zoning.
- Provide for inherent value in the future neighborhoods through creative design techniques to create such things as views of the surrounding hills and Lake Elsinore.
- To reduce, where practical, such things as public improvements to minimize pavement in favor of landscaping and reduce grading to keep construction costs to a minimum.
- To attract strong buyers who have "disposal income" and who will enhance the economic base of the City.

E. Consistency with City General Plan

This section of the Terracina Specific Plan discusses the project's consistency with the City's General Plan. The Goals and Policies of each

ASSESSOR'S PARCEL NUMBERS

378-040-004, 378-040-005, 378-040-006, 378-040-007, 378-040-012, 389-180-001,
389-180-002, 389-190-002.

LEGAL DESCRIPTION

Parcel A:

GOVERNMENT LOT 1 AND ALL THOSE PORTIONS OF GOVERNMENT LOT 2, AND THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 35, AND THE PORTION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 34, BOTH IN TOWNSHIP 5 SOUTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 35; THENCE SOUTH 89°23' EAST, ALONG THE NORTH LINE OF SAID SECTION 35, A DISTANCE OF 172.06 FEET TO A POINT THEREON FOR THE TRUE POINT OF BEGINNING, SAID POINT BEING THE NORTHEAST CORNER OF THAT CERTAIN PARCEL OF LAND CONVEYED TO HAROLD LEADER, AS PARCEL 1 BY DEED RECORDED FEBRUARY 7, 1964 AS INSTRUMENT NO. 16051; THENCE SOUTH 00°15' WEST, A DISTANCE OF 878.23 FEET; THENCE SOUTH 39°59' WEST, A DISTANCE OF 65.63 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE SOUTHEAST, HAVING A RADIUS OF 1,020.00 FEET; THENCE SOUTHWESTERLY ALONG SAID CURVE, TO THE LEFT, THROUGH A CENTRAL ANGLE OF 09°45' AN ARC DISTANCE OF 173.57 FEET TO THE END THEREOF; THENCE SOUTH 30°14' WEST, A DISTANCE OF 194.55 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 450.00 FEET; THENCE SOUTHWESTERLY ALONG SAID CURVE, TO THE LEFT, THROUGH A CENTRAL ANGLE OF 13°37' AN ARC DISTANCE OF 106.95 FEET TO THE SOUTHEAST CORNER OF THE PARCEL CONVEYED TO LEADER, AS AFORESAID, FROM WHICH POINT THE CENTER OF SAID CURVE BEARS SOUTH 73°23' EAST. THE LAST FIVE COURSES AND DISTANCES FOLLOW ALONG THE EASTERLY BOUNDARY LINE OF SAID PARCEL CONVEYED TO LEADER AS AFORESAID; THENCE NORTH 88°42'04" EAST, ALONG THE EASTERLY PROLONGATION OF THE SOUTHERLY LINE OF THE PARCEL CONVEYED TO LEADER AS AFORESAID, A DISTANCE OF 108.50 FEET TO A POINT IN THE EAST LINE OF ILLINIOS STREET TO THE TOWN OF LUCERNE, AS SHOWN BY MAP ON FILE IN BOOK 11 PAGE 499 OF MAPS, SAN DIEGO COUNTY RECORDS; THENCE SOUTH 01°02'34" EAST, ALONG SAID EAST LINE, A DISTANCE OF 655.02 FEET TO A POINT ON THE NORTH LINE OF ROBB ROAD (50.00 FEET WIDE), DECLARED A PUBLIC ROAD BY ORDER OF THE RIVERSIDE COUNTY BOARD OF SUPERVISORS, A COPY OF WHICH IS IN MINUTE BOOK 26 PAGE 5 OF SAID COUNTY BOARD OF SUPERVISORS, AND SHOWN BY MAP 9-P, ON FILE IN THE RIVERSIDE COUNTY ROAD DEPARTMENT, SAID POINT BEING ON A CURVE, CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 590.00 FEET, FROM WHICH THE CENTER LINE OF SAID CURVE BEARS SOUTH 16°31'31" WEST; THENCE SOUTHEASTERLY ALONG SAID NORTH LINE AND ALONG SAID CURVE, TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 05°47'59" AN ARC DISTANCE OF 60.53 FEET TO THE END THEREOF; THENCE SOUTH 67°40'30" EAST, ALONG SAID NORTH LINE OF ROBB ROAD, A DISTANCE OF 787.85 FEET TO A POINT ON THE SOUTHEASTERLY LINE OF SAID GOVERNMENT LOT 2; THENCE NORTH 28°28' EAST, ALONG SAID SOUTHEASTERLY LINE, A DISTANCE OF 690.43 FEET TO AN ANGLE POINT IN SAID SOUTHEASTERLY LINE; THENCE NORTH 43°20' EAST, ALONG SAID SOUTHEASTERLY LINE AND ALONG THE SOUTHEASTERLY LINE OF SAID GOVERNMENT LOT 1, A DISTANCE OF 2,289.60 FEET TO THE MOST EASTERLY CORNER OF SAID GOVERNMENT LOT 1; THENCE NORTH 89°23' WEST, ALONG THE NORTH LINE OF SAID GOVERNMENT LOT 1 AND ALONG THE NORTH LINE OF SAID SECTION 35, A DISTANCE OF 2,525 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL B:

LOTS 13 THROUGH 18 AND LOTS 22 THROUGH 24 ALL IN BLOCK 8 OF THE TOWN OF LUCERNE, AS SHOWN BY MAP ON FILE IN BOOK 11 PAGE 499 OF MAPS, RECORDS OF SAN DIEGO COUNTY, CALIFORNIA. TOGETHER WITH THAT PORTION OF THE ALLEY ADJOINING SAID LOTS 15 AND 16 ON THE WEST VACATED AND CLOSED TO PUBLIC USE; ALSO TOGETHER WITH THAT PORTION OF THE SOUTH HALF OF HARRISON AVENUE ADJOINING SAID LOT 24 ON THE NORTH AS VACATED AND CLOSED TO PUBLIC USE; EXCEPTING THEREFROM THOSE PORTIONS AS CONVEYED TO THE CITY OF LAKE ELSINORE BY DEED RECORDED JUNE 27, 1986 AS INSTRUMENT NOS. 149712 AND 149713 BOTH OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

PARCEL C:

LOTS 19, 20 AND 21, BLOCK 8 OF THE TOWN OF LUCERNE, AS SHOWN BY MAP ON FILE IN BOOK 11 PAGE 499 OF MAPS, RECORDS OF SAN DIEGO COUNTY, CALIFORNIA. EXCEPTING THEREFROM THOSE PORTIONS AS CONVEYED TO THE CITY OF LAKE ELSINORE BY DEED RECORDED JUNE 27, 1986 AS INSTRUMENT NO. 149712 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

EXHIBIT II - 5 ASSESSORS PARCEL NUMBERS AND PROJECT LEGAL DESCRIPTION



DAVID JEFFERS CONSULTING INC.
19 SPECTRUM POINTE DRIVE, SUITE 609
LAKE FOREST, CA 92630
(949) 586-5778, FAX: (949) 586-5627

LEGAL DESCRIPTION CONTINUED

PARCEL B:

THAT PORTION OF LOW ROLLING HILLS, RANCHO LAGUNA, IN THE CITY OF LAKE ELSINORE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, SHOWN BY MAP ON FILE IN BOOK 8 PAGE 377 OF MAPS, SAN DIEGO COUNTY RECORDS, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT OF INTERSECTION OF THE SOUTHERLY LINE OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, AND THE NORTHWESTERLY BOUNDARY OF RANCHO LAGUNA; THENCE NORTH 43°24' EAST, 1544.94 FEET; THENCE SOUTH 46°36' EAST, 961.27 FEET; THENCE SOUTH 43°24' WEST, 1666.56 FEET; THENCE NORTH 43°24' WEST, 400 FEET; THENCE SOUTH 43°24' WEST, 1089.00 FEET; THENCE NORTH 46°36' WEST, 561.27 FEET; THENCE NORTH 43°24' EAST, 1210.62 FEET TO THE POINT OF BEGINNING. EXCEPTING THEREFROM THE NORTHEASTERLY 1536.00 FEET. ALSO EXCEPTING THEREFROM THE MOST SOUTHWESTERLY 500 FEET.

PARCEL C:

THE MOST SOUTHWESTERLY 500 FEET OF THAT PORTION OF LOW ROLLING HILLS, RANCHO LAGUNA, IN THE CITY OF LAKE ELSINORE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, SHOWN BY MAP ON FILE IN BOOK 8 PAGE 377 OF MAPS, SAN DIEGO COUNTY RECORDS, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT OF INTERSECTION OF THE SOUTHERLY LINE OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, AND THE NORTHWESTERLY BOUNDARY OF RANCHO LAGUNA; THENCE NORTH 43°24' EAST, 1544.94 FEET; THENCE SOUTH 46°36' EAST, 961.27 FEET; THENCE SOUTH 43°24' WEST, 1666.56 FEET; THENCE NORTH 46°24' WEST, 400 FEET; THENCE SOUTH 43°24' WEST, 1089.00 FEET; THENCE NORTH 46°36' WEST, 561.27 FEET; THENCE NORTH 43°24' EAST, 1210.62 FEET TO THE POINT OF BEGINNING.

PARCEL D:

THE SOUTHWESTERLY 768.00 FEET OF THE NORTHEASTERLY 1536.00 FEET OF THAT PORTION OF LOW ROLLING HILLS, RANCHO LAGUNA, IN THE CITY OF LAKE ELSINORE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, SHOWN BY MAP ON FILE IN BOOK 8 PAGE 377 OF MAPS, SAN DIEGO COUNTY RECORDS, DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

THENCE NORTH 43°24' EAST, 1544.94 FEET; THENCE SOUTH 46°36' EAST, 961.27 FEET; THENCE SOUTH 43°24' WEST, 1666.56 FEET; THENCE NORTH 46°24' WEST, 400 FEET; THENCE SOUTH 43°24' WEST 1089.00 FEET; THENCE NORTH 46°36' WEST, 561.27 FEET; THENCE NORTH 43°24' EAST, 1210.62 FEET TO THE POINT OF BEGINNING.

PARCEL E:

THE NORTHEASTERLY 768.00 FEET OF THAT PORTION OF LOW ROLLING HILLS, RANCHO LAGUNA, IN THE CITY OF LAKE ELSINORE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, SHOWN BY MAP ON FILE IN BOOK 8 PAGE 377 OF MAPS, SAN DIEGO COUNTY RECORDS, DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT THE POINT OF INTERSECTION OF THE SOUTHERLY LINE OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, AND THE NORTHWESTERLY BOUNDARY OF RANCHO LAGUNA; THENCE NORTH 43°24' EAST, 1544.94 FEET; THENCE SOUTH 46°36' EAST, 961.27 FEET; THENCE SOUTH 43°24' WEST, 1666.56 FEET; THENCE NORTH 46°24' WEST, 400 FEET; THENCE SOUTH 43°24' WEST, 1089.00 FEET; THENCE NORTH 46°36' WEST, 561.27 FEET; THENCE NORTH 43°24' EAST, 1210.62 FEET TO THE POINT OF BEGINNING.

PARCEL F:

ALL OF BLOCK 14 OF HOFF'S ADDITION TO TERRA COTTA CITY, AS SHOWN BY MAP ON FILE IN BOOK 12, PAGE 568 OF MAPS, RECORDS OF SAN DIEGO COUNTY, CALIFORNIA.

PARCEL G:

ALL OF BLOCK 13 OF HOFF'S ADDITION TO TERRA COTTA CITY, AS SHOWN BY MAP ON FILE IN BOOK 12, PAGE 568 OF MAPS, RECORDS OF SAN DIEGO



chapter of the General Plan, including those for the Alberhill District, are listed below with an accompanying discussion of consistency.

Chapter 2.0 - Community Form

2.3.4 Land Use Goals and Policies

Goal 1

Create a diverse and integrated balance of residential, commercial, industrial, recreational, public and open space land uses.

Policies

1.1 Promote innovative site design, and encourage the preservation of unique natural features, such as steep slopes, watercourses, canyons, ridgelines, rock formations, and open space with recreational opportunities.

1.2 Encourage development of unified or clustered community-level and neighborhood-level commercial centers and discourage development of strip commercial uses.

1.3 Encourage the development of sit-down restaurant establishments where appropriate and discourage the proliferation of drive-through fast food establishments.

1.4 Encourage development of a mix of industrial uses including light industrial, clean manufacturing, technology, research and development, medium industrial and extractive uses.

1.5 Encourage the development of large planned industrial and/or professional office parks on large parcels.

1.6 Encourage development of institutions including hospitals and educational campuses and facilities.

1.7 Encourage the use of paseos, green belts, linear parks, and trails within future developments.

1.8 Encourage a jobs/housing balance of one job for every 1.05 households by the year 2030.

1.9 Encourage rehabilitation and new construction to replace aging commercial facilities.

CONSISTENCY:

The Terracina land uses are balanced throughout the project with a variety of residential uses complemented by recreational, public and open spaces. Terracina does not propose commercial or industrial land uses as

this would not be consistent with the City's General Plan for this particular site location.

Due to the irregular and hilly natural terrain of its site, the Terracina land plan promotes innovative design in its terraced, graded super-pads which are conveniently made into separate "villages" of residential product type.

Recreational land uses within the Terracina land plan are strategically located within the project for the maximum enjoyment of all residents. The main recreational center and park is centrally located in Village 3. Large acreages of natural open space have been preserved in Village 1 of the Terracina plan.

Goal 2

Establish and maintain the City as a year-round recreation destination.

Policies

2.1 Encourage recreational uses including parks, beaches, marinas, motocross, soaring, skydiving, and a multipurpose trail within the City's rights of way.

2.2 Consider the feasibility and encourage if feasible the development of a new pier near the end of Main Street to connect the lake with the Downtown area.

2.3 Consider the feasibility of development of geothermal resources such as a spa or bathhouse establishment in the Downtown area.

2.4 Continue to evaluate the provision of public access to the lake and open space areas when making land use decisions.

2.5 Encourage a pedestrian circulation route around the lake to improve public access to this amenity.

CONSISTENCY:

The stated goal and policies do not apply to the Terracina project.

Goal 3

Establish a development pattern that preserves aesthetics and enhances the environmental resources of the City.

Policies

3.1 Upon availability of appropriate funding the City shall establish hillside grading standards that address unique natural features and encourage the sensitive treatment of hillsides in the site design and architecture of new construction.

3.2 Encourage new commercial and/or industrial developments incorporate buffers which minimize the impacts of noise, light, visibility, or activity and vehicular traffic on residential uses and MSHCP conservation areas.

CONSISTENCY:

The development pattern and grading themes of Terracina center around the existing knoll to the southwest and the 173 feet of natural topographic relief on the northeasterly portions of the site. In each area, the grading design produces view lots from these unique natural features. In Village 1, the knoll has been left in a predominantly natural state by the winding street design to its top thereby showing sensitive treatment of its hillside through preservation. In the eastern areas of the site terraced super-pads have been designed to maximize views to the north and west from the tops of slopes created by the varying super-pad elevations.

Goal 4

Develop a viable downtown area that preserves potentially significant historical structures and provides civic and cultural opportunities as well as a destination for shopping, meeting, and gathering for both tourists and residents.

Policies

4.1 Encourage the historic registration of potentially significant historic buildings as identified in Section 4.7 of the General Plan.

4.2 Encourage the preservation, innovative reconstruction, and reuse of historic buildings in and around the Historic District.

4.3 Consider locating additional civic, public, and cultural facilities, and encourage both residential and commercial mixed uses, in and around the Main Street Overlay area.

4.4 Encourage the revitalization of the Historic District through the revisions of the Historic Elsinore Architectural Design Guidelines and implementation of the Downtown Master Plan.

CONSISTENCY:

This Terracina plan does not contribute directly to the development of a viable downtown area as referenced in this Goal and its Policies.

Goal 5

Promote land use strategies that decrease reliance on automobile use, increase the use of alternative modes of transportation, maximize efficiency of urban services provision and reduce emissions of greenhouse gas emissions, as detailed in the Climate Action Plan.

CONSISTENCY:

The plan for Terracina proposes an on-site recreation area, open space acreage, and parks in an effort to minimize off-site automobile use for these facilities.

Because Terracina is located adjacent to existing residential uses, its functionality is merely an extension of the urban services already being used by the existing residences.

(The City's Climate Action Plan is addressed in other sections of this Specific Plan.)

2.4.4 Circulation Goal and Policies

Goal 6

Optimize the efficiency and safety of the transportation system within the City of Lake Elsinore.

Policies

6.1 The interconnection and coordination of traffic signals shall be achieved through two processes, namely the requirements in the conditions of approval on development projects and/or through the implementation of Capital Improvement Program projects.

6.2 Enforce and comply with proper intersection "sight distance" requirements as described by the Engineering Division.

6.3 Maximize the use of shared driveways and on-site circulation to minimize conflicts at access points to the roadway network.

6.4 Maintain the system of bike lanes and multi use trails throughout the City. Encourage the implementation of the network of Class I, II, and III bike lanes on all development projects through construction of the facility as described in the Bike Lane Master Plan and/or the Trails Master Plan.

6.5 The City will monitor traffic and congestion on Grand Avenue and Corydon Street through the review of project-specific traffic studies, and apply mitigation measures to ensure that projected traffic does not exceed daily capacities as new development occurs in the area.

6.6 As appropriate, coordinate City improvements with the efforts of the County and adjacent cities that provide a circulation network which moves people and goods efficiently to and from the City.

CONSISTENCY:

Terracina proposes, through Conditions of Approval from the various City Departments, for the extension of Terra Cotta Road through the project

and further off-site to Nichols Road, the off-site extension of Hoff Avenue to Terra Cotta Road, the expansion of additional travel lanes for Lakeshore Drive and traffic signals as warranted in the project traffic report, all in an effort to optimize and implement the Transportation system within the City by way of its General Plan.

All sight distance design requirements, the number of access points into the project and bike lanes proposed in arterial and local street rights-of-way will comply with City codes, policies and standards.

The project also provides for connections to the regional circulation network by being in close proximity to Lake Street which intersects with the I-15 Freeway and by the extension of Terra Cotta Road to Nichols Road which also intersects with the I-15 Freeway, thereby moving people and goods more efficiently to and from the City.

2.5.2 Growth Management Goal and Policy

Goal 7

Maintain orderly, efficient patterns of growth that enhance the quality of life for the residents of Lake Elsinore.

Policy

7.1 Encourage mixed-use developments to reduce public service costs and environmental impacts through compatible land use relationships, and efficient circulation and open space systems.

CONSISTENCY:

The Terracina plan follows the orderly and efficient patterns of growth by complying with the land uses allocated for the site in the General Plan. The quality of life will be enhanced for future Terracina residents due to the cohesive community village concept implemented into the site design coupled with the amenities of parks, open space, a recreation center, efficient circulation patterns and proximity to existing City services, public facilities and recreational facilities.

2.7.3 Parks and Recreation Goals and Policies

Goal 8

Maintain an adequate quantity, quality, type, and distribution of parks and recreational facilities throughout the City that serve the current and future needs of residents and visitors.

Policies

8.1 Continue to utilize the City of Lake Elsinore Parks and Recreation Master Plan as a guide for decision-making and implementation of the Parks and Recreation Program.

8.2 Ensure parkland and recreation facilities support new development through acquisition and/or dedication. Meet the requirement of the Park Capital Improvement Fund, Resolution No. 91-42 and the Quimby Act by acquiring five (5) acres of useable park land per 1,000 population.

8.3 Explore the use of public-private partnerships, corporate sponsorships, and leasing agreements that provide for additional parks and recreational facilities, and other programs including cooperation with applicable school districts to allow joint use of facilities.

8.4 Consider the addition of a centralized forum for community activities such as a convention center, amphitheater, cultural arts center, or waterfront promenade.

8.5 Continue to develop public beach lands and recreational facilities such as campgrounds, boat launch areas, and water access to the Diamond Stadium, to complement the state and county recreation system.

8.6 Encourage the development of private recreational facilities within residential and mixed use developments.

8.7 Ensure that recreation facilities are accessible to the elderly, children, and persons with disabilities as set forth in the Americans with Disabilities Act including increased wheelchair access, height variations on drinking fountains, and any other requirements necessary to serve these individuals.

CONSISTENCY:

Although the City's Parks and Recreation Master Plan does not show for the location of a public park within the Terracina site, Terracina does propose a 5.1 gross acre park area within Village 3.

The builders of Terracina will be required to comply with the Quimby Act of the State of California and the ADA requirement. The Quimby Act allows for developer fees to be paid in lieu of dedication parklands. Terracina will provide for dedication of land and improvements in Village 3.

The Terracina project is not consistent with Policy 8.2 requirement of 5 acres of usable park land per 1,000 populations, (i.e. 7.6 acres of usable park land based upon 452 dwelling units and 3.37 persons per dwelling unit.)

Goal 9

Establish a primary trail network for equestrians and hikers.

Policy

9.1 Encourage public and private systems that interface with other existing and proposed trails (i.e., bikeways) assuring links with the City, County of Riverside, and state recreational facilities.

CONSISTENCY:

The City's Trails Master Plan does not show for the construction of any Regional Trail, Lake, River or Levee Trail, Community Trails, Historic Trail or Loop Trail within the boundaries of the Terracina site. However, trails in the form of bikeways and sidewalks will be constructed within the right-of-way of perimeter streets for Lakeshore Drive and Terra Cotta Road. In addition, neighborhood bikeways and sidewalks will be constructed within the rights-of-way for all on-site local streets to allow for connectivity with the arterial streets mentioned above thereby providing more direct access to nearby schools, markets and City-wide recreational facilities such as the lake and the inter-connectivity of the project's various Villages.

Chapter 3.0 - Public Safety and Welfare

3.2.3 Air Quality Goals and Policies

Goal 1

Continue to coordinate with the Air Quality Management District and the City's Building Department to reduce the amount of fugitive dust that is emitted into the atmosphere from unpaved areas, parking lots, and construction sites.

Policy

1.1 Continue to implement requirements identified in the National Pollutant Discharge Elimination System (NPDES).

CONSISTENCY:

The Terracina project will be required to follow AQMD's guidelines and the City's project Conditions of Approval to minimize fugitive dust by watering during grading operations for the project. The Engineering and Building and Safety Departments of the City will require the Terracina builder to prepare and have approved a Storm Water Pollution Prevention Plan to meet the requirements of the NPDES.

Goal 2

Work with regional and state governments to develop effective mitigation measures to improve air quality.

Policies

2.1 Support the SCAQMD in its development of improved ambient air quality monitoring capabilities and establishment of standards, thresholds, and rules to address, and where necessary mitigate, the air quality impacts of new development.

2.2 Support programs that educate the public about regional air quality issues, opportunities and solutions.

2.3 Evaluate the purchase of alternative fuel vehicles for official City vehicles.

CONSISTENCY:

The stated goal and policies do not apply to the Terracina project.

3.3.3 Hazards and Hazardous Materials Goal and Policies

Goal 3

Reduce the level of risk associated with the use, transport, treatment, and disposal of hazardous materials to protect the community's safety, health, and natural resources.

Policies

3.1 Continue to require hazardous waste generators to implement a waste reduction program per the Riverside County Hazardous Waste Management Plan with necessary inspections per the Riverside County Hazardous Materials Handlers Program.

3.2 Require any proposed development within close proximity to an active and/or inactive landfill to complete a technical analysis that focuses on public safety and hazard issues. The analysis shall be prepared by a professional consultant.

3.3 Encourage the safe disposal of hazardous materials with County agencies to protect the City against a hazardous materials incident.

3.4 Continue operating household hazardous waste education and collection programs in collaboration with the Riverside County Department of Environmental Health.

3.5 Evaluate new development on or adjacent to the Santa Ana Regional Interceptor (SARI) line requiring extensive subsurface components or containing sensitive land uses such as schools on a project-by-project basis to determine impacts if an accident occurs.

CONSISTENCY:

The Terracina project is a residential construction project and not a hazardous waste generator, does not anticipate the use, or therefore, require the disposal of toxic or hazardous materials.

Future residents of Terracina who may use such items as gasoline, pesticides and some household cleaning products are, under normal homeowner circumstances of use, considered a minor threat to others within the City.

3.4.1 Wildfire Hazards Goal and Policies

Goal 4

Adhere to an integrated approach to minimizing the threat of wildland fires to protect life and property using pre-fire management, suppression, and post-fire management.

Policies

4.1 Require on-going brush clearance and establish low fuel landscaping policies to reduce combustible vegetation along the urban/wildland interface boundary.

4.2 Create fuel modification zones around development within high hazard areas by thinning or clearing combustible vegetation within 100 feet of buildings and structures. The fuel modification zone size may be altered with the addition of fuel resistant building techniques. The fuel modification zone may be replanted with fire-resistant material for aesthetics and erosion control.

4.3 Establish fire resistant building techniques for new development such as non-combustible wall surfacing materials, fire-retardant treated wood, heavy timber construction, glazing, Country Club Heights Fire enclosed materials and features, insulation without paper-facing, and automatic fire sprinklers.

4.4 Encourage programs that educate citizens about the threat of human wildfire origination from residential practices such as outdoor barbeques and from highway use such as cigarette littering.

CONSISTENCY:

The Terracina site is located within a Very High Fire Hazard Zone as shown in the City's General Plan exhibit for Wildfire Susceptibility. As such, the developers have contracted with a fire suppression company specializing in creating mitigation to minimize the effects of wildland fires on the residents and homes within Terracina. The report and study for Terracina recommends the reduction of combustible vegetation by means of fuel modification and thinning zones in certain areas of the site most

susceptible to fires due to prevailing winds and the proximity to homes within the project. Other mitigations include non-combustible roof materials, non-combustible materials and structures (e.g. sheds) in rear and side yards of residences as well as sprinkler systems in the fuel modification zones of rear and side yards. (Refer to “Fuel Modification Plan”.)

In addition, all fireplaces shall be natural gas fireplaces ONLY. No wood burning fireplaces shall be allowed.

3.5.1 Flooding and Floodplains Goal and Policies

Goal 5

Minimize risk of injury to residents and visitors, and property damage due to flooding.

Policies

5.1 Continue to ensure that new construction in floodways and floodplains conforms to all applicable provisions of the National Flood Insurance Program in order to protect buildings and property from flooding.

5.2 Utilize the Capital Improvement Program for storm drainage projects and maintenance and improvement of local storm drain systems including channels, pipes, and inlets to ensure capacity for maximum runoff flows.

CONSISTENCY:

Although the Terracina project is not located in or near any mapped floodway or flood plain areas, the developer has contracted with a civil engineer and hydrology consultant to address local drainage flows from the site. This local storm drain system of underground pipes will be constructed by the ultimate builder of Terracina and maintained by the City of Lake Elsinore. These on-site pipes will be sized to handle the flows throughout the site.

3.6.3 Seismic Activity Goal and Policies

Goal 6

Minimize the rise of loss of life, injury, property damage, and economic and social displacement due to seismic and geological hazards resulting from earthquakes and geological constraints.

Policies

6.1 Encourage the pursuit of federal and state programs that assist in the seismic upgrading of buildings to meet building and safety codes.

6.2 Continue to require Alquist-Priolo and other seismic analyses be conducted for new development to identify the potential for ground

shaking, liquefaction, slope failure, seismically induced landslides, expansion and settlement of soils, and other related geologic hazards for areas of new development in accordance with the Fault Rupture Hazard Overlay District adopted by the City of Lake Elsinore Zoning Code. The City may require site-specific remediation measures during permit review that may be implemented to minimize impacts in these areas.

CONSISTENCY:

A geotechnical report was prepared for Terracina. That report found that there are no geologic issues associated with the project which cannot be mitigated to the satisfaction of the State of California and City guidelines and codes and which would cause the loss of life, injury, property damage and economic and social displacement.

3.7.3 Noise Goal and Policies

Goal 7

Maintain an environment for all City residents and visitors free of unhealthy, obtrusive, or otherwise excessive noise.

Policies

7.1 Apply the noise standards set forth in the Lake Elsinore Noise and Land Use Compatibility Matrix (see Table 3-1) and Interior and Exterior Noise Standards (see Table 3-2) when considering all new development and redevelopment proposed within the City.

7.2 Require that mixed-use structures and areas be designed to prevent transfer of noise and vibration from commercial areas to residential areas.

7.3 Strive to reduce the effect of transportation noise on the I-15.

7.4 Consider estimated roadway noise contours based upon Figure 3.6, Noise Contours, when making land use design decisions along busy roadways throughout the City.

CONSISTENCY:

The Terracina project consists of land uses of residential, recreational and open space which are not considered to be excessive noise producers when constructed. Noise from construction is considered short-term and only during normal hourly construction periods. As such, the construction can only take place during daytime hours to minimize noise impacts during sensitive morning and evening hours.

Terracina will be required to mitigate any interior and exterior noise to a level of acceptability especially along Lakeshore Drive as defined by the City's General Plan: 45 LDN for interior and 60 LDN for exterior noise levels. Some homes along this Lakeshore Drive corridor may be required

to mitigate noise levels to a level of acceptability by such means as constructing concrete block walls for exterior noise levels and double paned glass for certain exposed windows for interior noise levels.

3.8.2 Fire and Police/Law Enforcement Goal and Policies

Goal 8

Provide efficient and effective public safety services for the community.

Policies

8.1 Continue to follow Riverside County Fire Department most current guidelines to achieve standard response times and staffing levels.

8.2 Coordinate with the County of Riverside to provide adequate police service and staffing levels.

8.3 Continue to provide Lake Patrol personnel who enforce boating rules and regulations, and perform rescue tactics.

8.4 Promote the establishment of programs such as Neighborhood Watch and Crime-Free Multi-Housing in conjunction with law enforcement agencies to encourage community participation in the surveillance of neighborhoods.

CONSISTENCY:

Public safety services are provided for the community by the City and County regarding their respective disciplines. From a neighborhood perspective, Terracina will comply with the City's requirement to form a Neighborhood Watch program in its villages in conjunction with and as required by local law enforcement/sheriff agencies.

3.8.4 Schools Goal and Policies

Goal 9

Encourage all school districts serving Lake Elsinore to provide school facilities that are adequate to serve all students.

Policies

9.1 Encourage the establishment and development of a trade school, junior college, and/or four-year college campus within the City boundaries.

9.2 Continue cooperation between school districts and the City to provide joint use of recreational facilities.

CONSISTENCY:

The Lake Elsinore Unified School District regional facilities plan does not show the need for the location of a school (i.e. elementary, middle, high school) within the Terracina site.

Although there are no school facilities proposed within the project site the developer is required by law to pay school mitigation fees for the project.

3.8.6 Libraries Goal

Goal 10

Encourage the County of Riverside's County/City Public Library System to provide adequate library facilities for City residents.

CONSISTENCY:

The Terracina land uses and design do not provide for the location of a library within its boundaries.

3.8.8 Animal Services Goal and Policies

Goal 11

Provide high quality animal control services to ensure timely response and effective control that protect both citizens and animals.

Policies

11.1 Continue to foster and participate in the operation of a regional animal control facility through participation in the South Western Communities Financing Authority.

11.2 Continue to develop an educational program in conjunction with Animal Friends of the Valley regarding animal control services, including spay and neuter programs.

CONSISTENCY:

The subject goal and policies do not apply to the Terracina project.

3.8.10 Utilities Goal and Policies

Goal 12

Ensure that adequate electrical, natural gas and telecommunications systems are provided to meet the demand of new and existing development.

Policies

12.1 Coordinate with the utility agencies to provide for the continued maintenance, development and expansion of electricity, natural gas, and telecommunications systems to serve residents and businesses.

12.2 Encourage developers to contact Southern California Edison early in their planning process, especially for large-scale residential and non-residential development or specific plans, to ensure the projected electric loads for these projects are factored into SCE's load forecasts for the community.

12.3 Encourage developers to incorporate energy efficient design measures into their projects and pursue available energy efficiency assistance programs from SCE and other utility agencies.

CONSISTENCY:

Providing sewer, water and recycled water for Terracina are the responsibility of Elsinore Valley Municipal Water District. Recycled water will not be required by EVMWD. Sewer and water service will be provided for each home and maintained by EVMWD after construction of the facilities and occupancy of the homes.

Gas and electric services will be provided to each home in Terracina and similarly will be turned over to Southern California Gas Company and Southern California Edison Company, respectively, for maintenance of the system after construction and occupancy of each home.

3.8.12 Trash and Recycling Goal and Policies

Goal 13

Encourage the City's franchise trash hauler(s) to provide and expand service for the collection, storage, transportation, recovery, and disposal of solid waste to meet the needs of the City.

Policies

13.1 Request the City's franchise trash hauler(s) to establish long-term solid waste management plans that include goals for recycling and source reduction programs.

13.2 Request that the City's franchise trash hauler(s) provide a public education program in recycling and source reduction techniques for homes, businesses, and construction.

CONSISTENCY:

It is anticipated that the City's franchise trash hauler which currently provides service to the existing surrounding community will expand its area of service to include the Terracina project. Therefore, once the residents of the Terracina project has been accepted into the service area of the hauler, they will be provided with information on a monthly basis regarding any public education programs in recycling and source reduction.

3.8.14 Telecommunications Goal and Policies

Goal 14

Encourage the pursuit of state of the art Information Technology.

Policies

14.1 Encourage the use of information technology as a communication tool to improve personal convenience, reduce dependency on nonrenewable resources, take advantage of ecological and financial efficiencies of new technologies.

14.2 Maintain and update the City's website with information about current events and issues, key leadership figures, community involvement opportunities, and educational tools such as solid waste management techniques and emergency preparedness programs.

CONSISTENCY:

The stated goal and policies do not apply to the Terracina project.

Chapter 4.0 - Resource Protection and Preservation – Part I

4.2.5 Biological Resources Goals and Policies

Goal 1

Identify and conserve important biological habitats where feasible while balancing the economic growth and private property right interests of the City, its residents, and landowners.

Policies

1.1 The City shall continue to participate in the Western Riverside County Multiple Species Habitat Conservation Plan, the LEAPS program, and the Implementing Agreement; with a strategy that focuses on quality assemblage of conservation acreage. The City shall work toward the lower end of the conservation acreage range as promised by the County during the adoption of the MSHCP by the City.

1.2 Evaluate the installation of barrier fencing or other buffers between MSHCP Conservation Areas and proposed public and private land uses that may be incompatible with the Conservation Areas in order to minimize illegal/unauthorized public access, domestic animal predation, or dumping in the Conservation Areas while not impeding wildlife movement.

1.3 The City's Conceptual Reserve Design shall be developed in accordance with Section 3.2.3 of the MSHCP as amended, and may rely upon the flexibility permitted by the MSHCP where appropriate in conducting the Reserve Assembly Accounting set forth in Section 6.7 of the MSHCP.

1.4 Encourage revegetation with native plants compatible with natural surrounding habitat where soils have been disturbed during construction, and discourage plants identified in the MSHCP as unsuitable for conservation areas.

1.5 The City shall coordinate with the Regional Conservation Authority to have that agency acquire native habitat areas as permanent open space and allow public trail access where appropriate.

1.6 The City shall establish a plan for a trail network intended for active or passive use within public open space areas and traversing around and through MSHCP Conservation areas where compatible with guidelines set forth in the MSHCP and City Council MSHCP policies.

1.7 The City shall require all new trails, trailheads, conservation signage, interpretive centers, and maintenance facilities established within MSHCP Conservation areas to follow the Guidelines for the Siting and Design of Trails and Facilities, as set forth in Section 7.4.2 of the MSHCP.

1.8 The City shall consult with the Regional Conservation Authority (RCA) and adjacent jurisdictions to ensure proper adherence to MSHCP guidelines and to allow for a maximum level of regional interconnection of trails systems. The City shall reduce, modify or add to the regional interconnections and linkages based on new biological analysis brought forward during the CEQA and LEAP processes.

CONSISTENCY:

The Terracina plan proposes a cohesive blend of residential open space and recreational land uses while conserving a sensitive biological habitat area in Village 3. The site is not located within a Critical Cell of the County's MSHCP nor within the City's conceptual Reserve Design and, therefore, Terracina is not required to conserve any lands under these programs.

Goal 2

Protect sensitive plant and wildlife species residing or occurring within the City.

Policies

2.1 Biological resources analyses of proposed projects shall include discussion of potential impacts to any plant or wildlife species that is officially listed as threatened or endangered by the United States Fish and Wildlife Service and/or the California Department of Fish and Game but not covered by the MSHCP.

2.2 Development or modification shall be discouraged in areas containing riparian habitat of high functions and values or corridors with 80% or more of natural native habitat that link larger patches of natural native habitat containing 80% or more native plant species. Further, development in areas described for conservation, including areas planned for riparian/riverine restoration included in the MSHCP, shall also be discouraged.

2.3 The City shall encourage the development of a Native Tree Planting and Maintenance Program that presents guidelines for selecting and locating trees to support wildlife, improve air and water quality, and reduce energy consumption.

CONSISTENCY:

In compliance with this goal and policies, biological studies discussing the location, impacts to and mitigation provided for any threatened or endangered species, and consistent with the MSHCP, have been prepared for the Terracina project .

The Terracina plan proposes to preserve the only area on-site that has value as a biological habitat which is located in Village 3.

4.3.4 Open Space Goal and Policies

Goal 3

Provide an open space layout within the City that will enhance the recreational and visual experiences of all City residents and visitors.

Policies

3.1 Maximize the MSHCP conservation areas and other open space that is available for public use.

3.2 The City shall ensure that passive and active open space uses are incorporated into development areas.

3.3 Development on steep slopes in public or private property shall require contour grading.

3.4 Preserve the City's visual character, in particular the surrounding hillsides, which topographically define the lake region.

CONSISTENCY:

The existing knoll in the southerly portion of the site will be treated in a sensitive manner by the design of a circular road traversing its sides, thereby leaving the majority of its sides in a natural open space condition protecting the visual experiences of existing residents in the area and future residents of Terracina.

4.4.3 Water Resources Goal and Policies

Goal 4

Improve water quality and ensure the water supply is not degraded as a result of urbanization of the City.

Policies

4.1 Encourage developers to provide clean water systems that reduce pollutants being discharged into the drainage system to the maximum extent feasible and meet required federal National Pollutant Discharge Elimination System (NPDES) standards.

4.2 Support public education and awareness programs to reduce pollutant discharges into the drainage system.

4.3 Require Best Management Practices through project conditions of approval for development to meet the Federal NPDES permit requirements.

4.4 The City shall utilize the 1998 North American Vertical Datum to be consistent with the national standard for mean sea level, which would increase the measurement of the mean sea level for Lake Elsinore by approximately 2.4 feet.

CONSISTENCY:

The Terracina project proponents have contracted with a civil engineering consulting firm which specializes in the preparation of Water Quality Management Plans. Mitigation is proposed in the preliminary WQMP prepared for the project site which reduces pollutants exiting the site. Infiltration of storm water is required by the Regional Water Quality Control Board. If site soils do not allow infiltration, additional measures such as basins, must be proposed as mitigation and to reduce pollutants before the flows can leave the site.

Through the approval process the project builder will be conditioned to mitigate pollutants through the preparation of a Storm Water Pollution Prevention Plan as required by NPDES.

4.5.3 Mineral Resources Goal and Policies

Goal 5

Balance the importance of conserving mineral resource areas that have been determined to be significant, the need for extracted materials for local construction, and the potential impacts and conflicts that may result.

Policies

5.1 The City shall consider the public benefits in allowing extraction activities of mineral resources when making land use decisions.

5.2 The City shall require mined property to be left in a condition suitable for reuse in conformance with the General Plan land use designations and the California Surface Mining and Reclamation Act (SMARA).

5.3 The City shall encourage the reuse and recycling of existing aggregate construction material for new residential, commercial and industrial development.

CONSISTENCY:

There are no significant mineral resources found on the Terracina project site which need to be conserved.

Chapter 4.0 Resource Protection and Preservation – Part II

4.6.8 Cultural and Paleontological Resources Goals and Policies

Goal 6

Preserve, protect, and promote the cultural heritage of the City and surrounding region for the education and enjoyment of all City residents and visitors, as well as for the advancement of historical and archeological knowledge.

Policies

6.1 Encourage the preservation of significant archeological, historical, and other cultural resources located within the City.

6.2 The City shall consult with the appropriate Native American tribes for projects identified under SB 18 (Traditional Tribal Cultural Places).

6.3 When significant cultural/archeological sites or artifacts are discovered on a site, coordination with professional archeologists, relevant state and, if applicable, federal agencies, and the appropriate

Native American tribes regarding preservation of sites or professional retrieval and preservation of artifacts or by other means of protection, prior to development of the site shall be required. Because ceremonial items and items of cultural patrimony reflect traditional religious beliefs and practices, developers shall waive any and all claims to ownership and agree to return all Native American ceremonial items and items of cultural patrimony that may be found on a project site to the appropriate tribe for treatment. It is understood by all parties that unless otherwise required by law, the site of any reburial of Native American human remains or cultural artifacts shall not be disclosed and shall not be governed by public disclosure requirements of the California Public Records Act.

6.4 If archeological excavations are recommended on a project site, the City shall require that all such investigations include Native American consultation, which shall occur prior to project approval.

CONSISTENCY:

The cultural resources survey prepared for Terracina found no sites or artifacts needing preservation. An SB 18 consultation was completed and the project will comply with general plan policies if cultural resources are discovered during project construction.

Goal 7

Support state-of-the-art research designs and analytical approaches to archeological and cultural resource investigations while also acknowledging the traditional knowledge and experience of the Native American tribes regarding Native American culture.

Policies

7.1 Consult with California Native American tribes prior to decision-making processes for the purpose of preserving cultural places located on land within the City's jurisdiction that may be affected by the proposed plan, in accordance with State or Federal requirements.

7.2 Continue to identify, document, evaluate, designate, and preserve the cultural resources in the City.

7.3 Continue to update a citywide inventory of cultural resources in conformance with state standards and procedures while maintaining the confidentiality of information as required by law.

7.4 Support the permanent curation of archaeological artifact collections by universities or museums or appropriate tribal facilities.

7.5 Increase opportunities for cultural heritage tourism by promoting the history of Lake Elsinore to attract cultural heritage travelers while maintaining the confidentiality of Native American sites, places and other information as required by law.

CONSISTENCY:

The stated goal and policies do not apply to the Terracina project.

Goal 8

Preserve paleontological resources occurring within the City.

Policy

8.1 For development in areas delineated as “High” or “Undetermined” potential sensitivity for paleontological resources, require the project applicant to hire a certified paleontologist, who must perform a literature search and/or survey and apply the relevant treatment for the site as recommended by the Society for Vertebrate Paleontology.

CONSISTENCY:

The City’s General Plan exhibit for Paleontological Resources shows the Terracina site located within a “High A “(HA)” area. However, a site reconnaissance revealed no resources needing preservation.

4.7.3 Historical Preservation Goals and Policies

Goal 9

Assure the recognition of the City’s heritage through preservation of the City’s significant historical sites and structures.

Policies

9.1 Require the developer to obtain a professional, qualified historian to conduct a literature search and/or survey for any project that entails demolition or modification of an existing structure that may be of historical value in relation to the City’s cultural heritage.

9.2 Apply the General Plan “Historic Elsinore Design Standards” to the Lake Elsinore historic district, as defined in the City zoning ordinance.

9.3 Work with the Lake Elsinore Historical Society to create and periodically update a historic register of structures and other landmarks valuable to the cultural heritage to the City.

9.4 Where historic structures that do not possess a meaningful association with the immediate surroundings are identified within the City, the City shall consider allowing relocation of the structure to an appropriate site.

CONSISTENCY:

A consulting firm specializing in historical preservation and after site reconnaissance found no historical sites or structures which need preservation. The City's General Plan exhibit Historical Resources shows an "unrecorded Historic Mine Location" near the Terracina site but not within its boundaries.

Goal 10

Encourage the preservation, protection, and restoration of historical and cultural resources.

Policies

10.1 Continue to implement the Historic Preservation Guidelines that guide historic preservation efforts as set forth in the Historic Elsinore Design Guidelines and the Downtown Master Plan.

10.2 Integrate historic and cultural resources in land use planning processes where feasible to avoid conflict between the preservation of historic resources and alternative land uses.

10.3 All City-owned sites designated as historical resources should be maintained in a manner that is consistent with the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties.

10.4 Encourage owners of historic resources to utilize federal incentives including Federal Rehabilitation Tax Credits, façade and conservation easements, and to coordinate with the State Historic Preservation Office.

CONSISTENCY:

(Refer to previous consistency comments regarding Goals 6, 7, 8, and 9)

4.8.3 Aesthetics Goals and Policies

Goal 11

Provide and maintain a natural and built environment that is visually pleasing to City residents and visitors.

Policies

11.1 For new developments and redevelopment, encourage the maintenance and incorporation of existing mature trees and other substantial vegetation on the site, whether naturally-occurring or planted, into the landscape design.

11.2 Maintain and improve the quality of existing landscaping in parkways, parks, civic facilities, rights-of-ways, and other public open areas.

11.3 Where appropriate, encourage new planting of native and/or non-invasive ornamental plants to enhance the scenic setting of public and private lands.

11.4 Incorporate the City's identification symbol into street signage, planters, benches, public buildings, City vehicles, streetscape furnishings, and other appropriate applications.

11.5 Support a high level of Code Enforcement to encourage neighborhood beautification and to maintain property values and quality of life.

11.6 Coordinate with agencies to screen, landscape and otherwise obscure or integrate public utility facilities, including electric power substations, domestic water and irrigation wells, switching and control facilities.

11.7 Promote and facilitate the placement of public art that creates a unique setting and enhances a cultural and aesthetic character throughout the City.

CONSISTENCY:

The Terracina plan preserves the majority of the visually appealing natural open space of the prominent knoll feature in the southerly portion of the site adjacent to Lakeshore Drive. And as such, substantial vegetation will remain in its natural condition as well. Terracina will propose a pleasing landscape palette throughout the development in the street parkway landscaping, graded slopes, parks, recreation center and drainage basins. The landscaping scheme for the project will obscure irrigation boxes, electrical panels and other utility features without interfering with the access needed by the utility companies.

Goal 12

Preserve valued public views throughout the City.

Policies

12.1 Encourage development designs and concepts that provide public views of Lake Elsinore and local ridgelines through proper siting, building design, and landscape design.

12.2 Encourage the dedication of open space land in hillside development proposals to preserve and enhance view opportunities from transportation corridors and surrounding development.

12.3 Encourage new development and redevelopment to incorporate views of Lake Elsinore from roadways and other public spaces that

provide residents and tourists with scenic vistas to the water, marinas, and lakeshore activities.

12.4 Establish a series of City and community gateways and entry statements to promote the visual character of the Districts.

12.5 Consider petitioning Caltrans to take control of portions of the SR-74 corridor, in order to promote signage and landscaping that enhance and preserve the corridor's aesthetic setting.

CONSISTENCY:

The Terracina design concept proposes to take advantage of an otherwise challenging topographic site by creating the maximum number of view lots which capture view-shed opportunities of the lake to the southeast, the Elsinore Mountains to the west and the hill areas to the west and north. Terracina's terraced grading techniques and super-pads on the eastern portions of the site create view lots at the top of a slope which is a minimum of 20' high, providing views over the adjacent homes and village below. Almost all of the lots designed around the westerly knoll have views of the lake and/or mountains as the local street winds its way up the sides to its upper portions. Views of the lake and mountains from the top of this knoll are some of the most spectacular in the City.

Terracina will have a hierarchy of entry monumentation and landscaping features. The entry off of Terra Cotta Road will be designed in such a manner as to depict it as the primary entry and a statement of "arrival" for the project. Other entries will be secondary in nature with less landscaping features.

Goal 13

Minimize activities, development, and landform modification that could distract viewers from the City's visual character.

Policies

13.1 Discourage extractive activity from being conducted in highly visible areas and require reclamation of these mining areas. If such uses must occur in visible areas, the City shall require extensive visual screening with landscaping and/or fencing.

13.2 Discourage extractive uses or development that entails excessive light and glare visible from private and public viewpoints.

13.3 Require grading plans for any hillside development to include specifications for revegetation and new planting to minimize hillside scarring.

CONSISTENCY:

Instead of completely removing the prominent knoll land form on the southerly portion of the site, Terracina’s design preserves the majority of this topographic feature by aligning a road around its side to the top while creating value and view opportunities for the future residents of the lake and mountains.

Grading and landscape plans prepared for Terracina will show a re-vegetation scheme approved by the City according to the City’s Landscape Design Guidelines to minimize hillside scarring.

4.9.2 Sustainable Environment Goal and Policies

Goal 14

Reduce greenhouse gas emissions from all activities within the City boundaries to support the State’s efforts under AB-32 and to mitigate the impact of climate change on the City, State and world.

Policies

14.1 By 2020, the City will reduce greenhouse gas emissions from within its boundaries to 1990 levels consistent with AB 32.

14.2 Measures shall be established that aim to reduce emissions generated from City uses, community uses (community actions) and new development (City discretionary actions).

14.3 The City shall strive to increase public awareness of climate change and climate protection challenges.

14.4 The City will participate in the Sustainable Communities Strategy/Regional Blueprint Planning effort to ensure that local plans are consistent with the Regional Plan.

CONSISTENCY:

(Refer to Section IV.F “Climate Action Plan” of this Specific Plan.)

ALBERHILL DISTRICT

1.3.3 Overall District Goal and Policies

Goal 1

The primary goal of the Alberhill District is to support and maintain a healthy transition from extractive/mining activities to a network of residential communities with a balanced mix of residential, commercial, light industrial, business professional, and institutional/public uses that provide a sense of place and high quality of life.

Policies

AH1.1 Continue to encourage proper reclamation and enhancement of areas impacted by extractive/mining activities for the public's health, safety and welfare.

AH1.2 Consider the preservation of vacant lands in areas with high elevations in the north, east and southwest in order to provide an adequate amount of conserved lands, open space and wetland areas.

AH1.3 Encourage proper land use compatibility between mining activities and surrounding uses.

AH1.4 Impose conditions, as necessary, on mining operations to minimize or eliminate the potential adverse impact of mining operations on surrounding properties and the environment.

AH1.5 Encourage new non-mining land uses adjacent to existing mining operations to provide an adequate buffer with a buffer distance from mining operations based on an evaluation of: noise, aesthetics, drainage, operating conditions and operating hours, biological resources, topography, lighting, traffic and air quality.

AH1.6 Periodically revise and update the City's surface mining reclamation ordinance to ensure the most recent SMARA developments are reflected in the City's code.

CONSISTENCY:

Terracina is located at the southerly end of the Alberhill District and away from the prominent mining activities in the north-central portions of the District. As such, Terracina proposes no mining activities. Topographically, Terracina, a residential development is naturally buffered from the mining activities by a major, hilly land form to its northerly side. This natural feature provides for an ideal buffer against noises, operating conditions, lighting, traffic and air quality issues associated with mining.

1.4.1 Goals and Policies

Goal 2

Create a strong urban design that would support the Alberhill District as a distinct community.

Policies

AH2.1 Through the project and CEQA processes create strong connections to Lake Street between neighborhoods and community supporting uses.

AH2.2 In areas outside approved specific plans, the City should strive to establish design standards that are consistent with the Alberhill District's adopted specific plans in order to ensure a standard design motif for new developments.

AH2.3 Consider the establishment and construction of a series of pedestrian routes as part of the City's trail system from residential areas to Lake Street's commercial and institutional uses and to the open space and MSHCP areas to the north, west, and southeast areas of the Alberhill District.

AH2.4 Support the placement of community identification signs along the commercial/institutional uses and intersections along Lake Street and I-15.

AH2.5 Encourage the use of distinctive trees along Lake Street identified in the City's Street Tree Program.

CONSISTENCY:

Terracina, although topographically isolated from the central Alberhill District, is but a short distance northerly on Lakeshore Drive from its main arterial of Lake Street located to the west of the project. This Specific Plan, through its Design Guidelines and Regulations, provides for similar construction techniques, materials used and landscaping palettes as used in other established areas of the District.

1.5.1 Goals and Policies

Goal 3

Preserve and enhance the cultural and historical resources of the Alberhill District.

Policies

AH3.1 Support the relocation and restoration of the Alberhill School as a 20,000 square foot community center promoting education awareness of the District's cultural heritage including mining, homesteading, the railroad, and the Terra Cotta town.

AH3.2 Support educational awareness programs that inform residents and visitors of the District's cultural heritage.

AH3.3 Encourage the use of signs within recreational areas along Lake Street depicting the Alberhill District's historical and cultural significance.

CONSISTENCY:

A consultant who specializes in analyzing cultural and historical resources and during a site reconnaissance found no such resources on-site and, therefore, Terracina is consistent with the stated goal and policies.

1.6.1 Goals and Policies

Goal 4

Support a multi-modal transportation system with connections to new development, Interstate 15, recreational and open space areas, and districts to the south that serve the needs of residents.

Policies

AH4.1 The interchange at Lake Street and I-15 shall be improved to meet the future traffic demand and satisfy the minimum level of service required by the City.

AH4.2 Through the project and CEQA processes identify and require improvements to Lake Street and Nichols Road as the most significant roadways within the Alberhill District for transit, landscaping, pedestrian travel, and bikeways.

AH4.3 Through the project and CEQA processes require the construction or expansion of roadways serving new developments located east and west of Lake Street.

AH4.4 Lake Street shall be constructed in accordance with Urban Arterial standards.

AH4.5 Encourage the use of traffic-calming measures within commercial and institutional developments along Lake Street when recommended by traffic studies.

CONSISTENCY:

Terracina plays an integral part in the connectivity of the transportation system of the region by expanding Lakeshore Drive on its southerly boundary and extending Terra Cotta Road to Nichols Road on the north approximately one-half mile off-site. These two arterial roadways increase the total lane-miles for traffic making its way to the I-15 Freeway via Lake Street (one-half mile to the west) and Nichols Road (one-half mile to the north.)

1.7.1 Goals and Policies

Goal 5

Encourages a wide variety of open space and recreational opportunities that are integrated within adopted master planned communities and future developments.

Policies

AH5.1 Encourage the creation of an extensive system of open space and preservation lands throughout the Alberhill district to ensure a healthy balance between development and the natural environment.

AH5.2 Support joint-use of recreational facilities with the Lake Elsinore Union School District.

AH5.3 Pedestrian and hiking trails shall be considered between neighborhoods and surrounding open space and MSHCP preservation areas.

CONSISTENCY:

The Terracina project provides for the preservation of natural open space and biologically sensitive areas, and the construction of a centrally located amenitized park facility. Bicycle lanes will be provided throughout the Terracina development within all local street rights-of-way and the perimeter arterials of Lakeshore Drive and Terra Cotta Road.

III. EXISTING SETTING

A. On-site and Surrounding Land Uses

There are two existing land uses for the 151-acre site as referenced in the City's General Plan: Low Density Residential ("LDR") and Low-Medium Density Residential ("LMDR") (Exhibit III-1 "Existing General Plan/Land Use".) The LDR designation comprises 26.9 acres and is located in the southerly area of the site. The LMDR designation is for the remainder of the site, or 123.9 acres.

The maximum lot yield for the low density designation is 3.0 du/ac (dwelling units per acre) while the maximum lot yield for the low medium density designation is 6.0 du/ac., thereby generating a maximum yield for the overall site of 824 dwelling units.

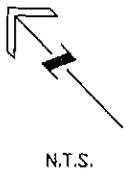
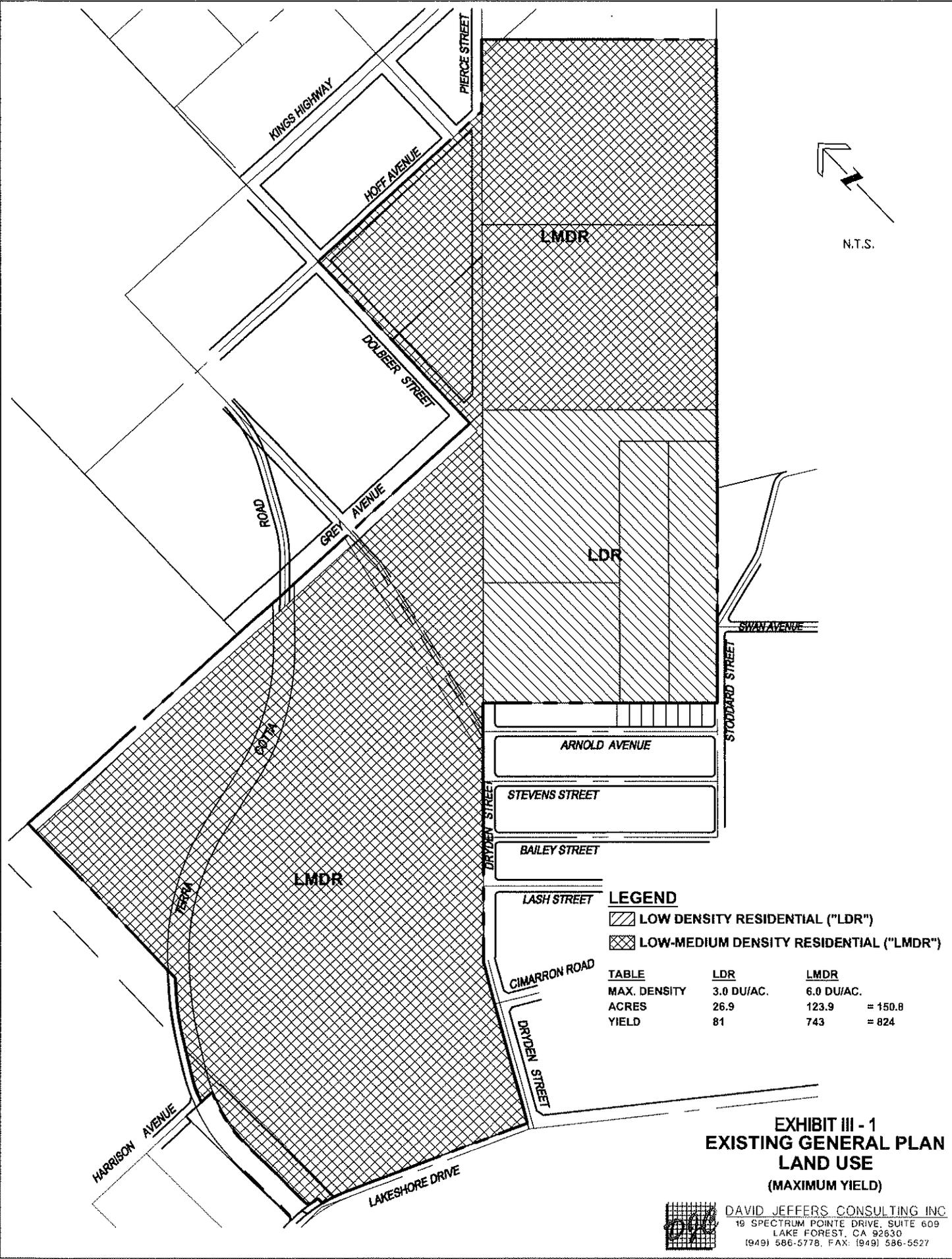
The surrounding land uses under the City's General Plan are residential in nature with some areas already developed and built-out. The areas on the northerly side of Terra Cotta Road, the westerly side of Lakeshore Drive, the southerly side of Dryden Street and the easterly side of Stoddard Street are all existing residential land uses. All other areas surrounding the site consist of existing scattered residential or vacant lands ultimately planned for residential development.

Criteria cells identified in the Western Riverside County Multiple Species Habitat Conservation Plan borders the project site on the north. (Exhibit III-2: "MSHCP Exhibit".) This area under the MSHCP is called out as Group U and Criteria Cell 4157. The MSHCP was created for the conservation of species and allows development within its boundaries only under certain conditions. This proposed project and Specific Plan is not within the boundaries of the Cell Group or Criteria Cell.

B. Environmental Setting

A considerable number of environmental studies, reports and permitting were prepared for the previously approved Tentative Tract Map and were updated for this new proposed Specific Plan. The discussion below is borrowed from those previously approved and updated documents.

The Existing Biologically Sensitive Area in Village 3 is 3.8 gross acres (including the graded slopes) and 2.3 net acres in size. In addition to the biological sensitivity, the area also preserves portions of wetland features as defined by the U.S. Army Corps of Engineers, the California Regional Water Quality Control Board and the California Department of Fish and Wildlife Service. (Exhibit III-3: "Existing Biologically Sensitive Area".) The wetland features and biologically sensitive nature of the site is described in updated reports prepared by Glenn Lukos Associates.



LEGEND
 [Diagonal lines symbol] LOW DENSITY RESIDENTIAL ("LDR")
 [Cross-hatch symbol] LOW-MEDIUM DENSITY RESIDENTIAL ("LMDR")

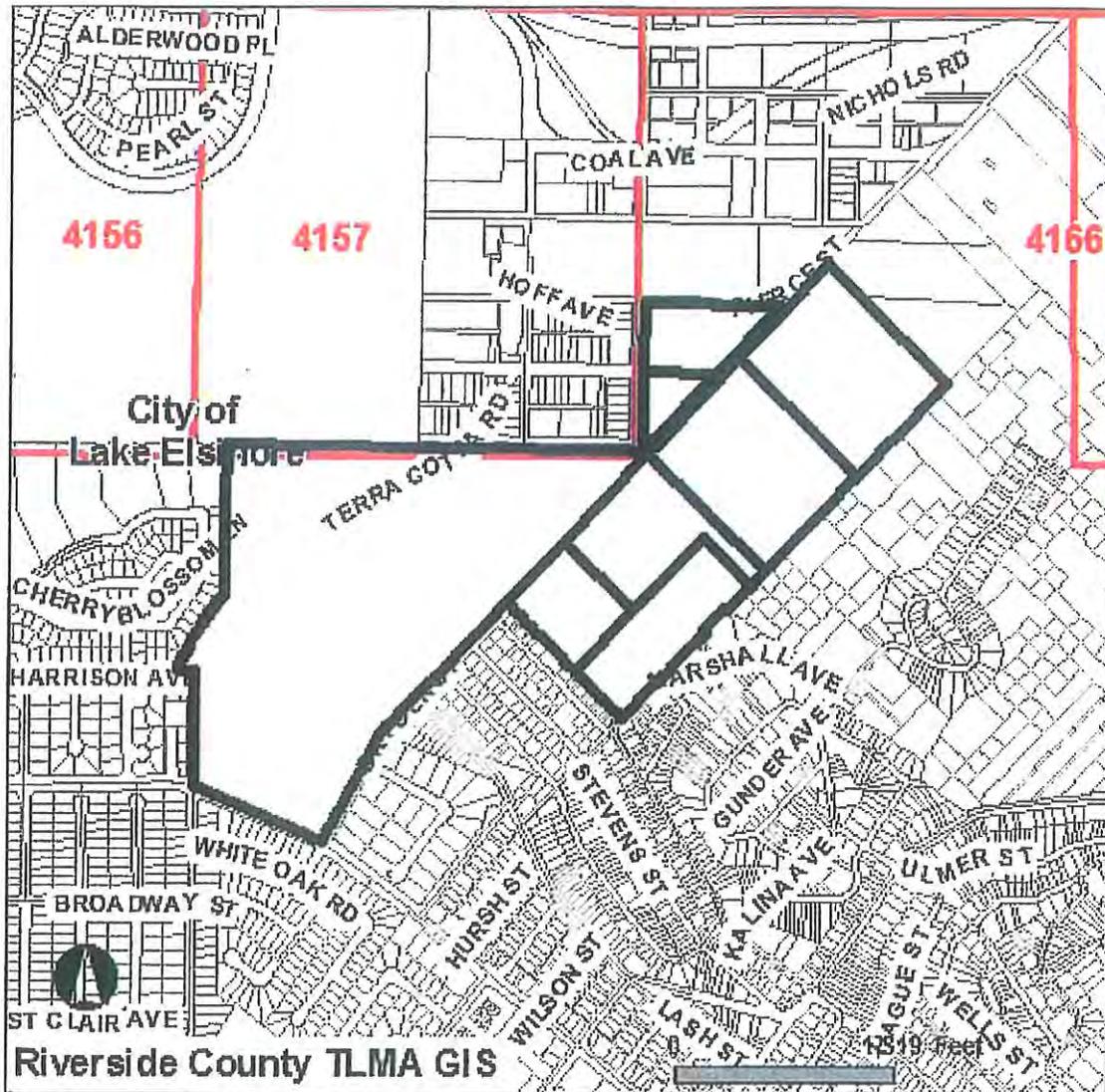
TABLE	LDR	LMDR
MAX. DENSITY	3.0 DU/AC.	6.0 DU/AC.
ACRES	26.9	123.9 = 150.8
YIELD	81	743 = 824

**EXHIBIT III - 1
 EXISTING GENERAL PLAN
 LAND USE
 (MAXIMUM YIELD)**



DAVID JEFFERS CONSULTING INC.
 19 SPECTRUM POINTE DRIVE, SUITE 609
 LAKE FOREST, CA 92630
 (949) 586-5778, FAX: (949) 586-5527

TERRACINA-MSHCP



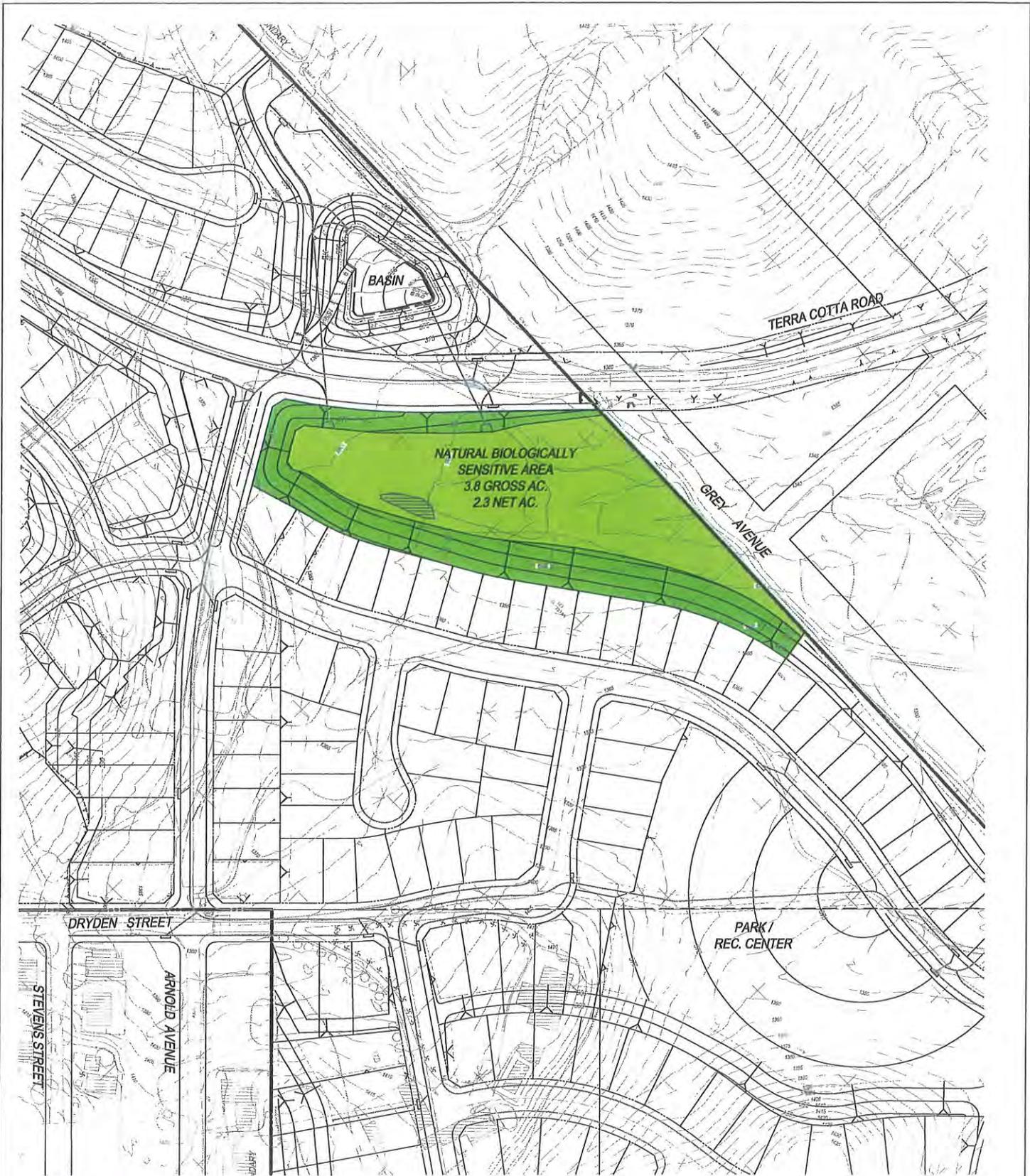
Selected parcel(s):

378-040-004 378-040-005 378-040-006 378-040-007 378-040-012 389-180-001 389-180-002
389-190-002

EXHIBIT III - 2
MSHCP EXHIBIT



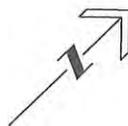
DAVID JEFFERS CONSULTING INC.
19 SPECTRUM POINTE DRIVE, SUITE 609
LAKE FOREST, CA 92630
(949) 586-5778, FAX: (949) 586-5527



GRADED SLOPE



BIOLOGICAL AREA



N.T.S.

**EXHIBIT III - 3
EXISTING BIOLOGICALLY
SENSITIVE AREA**



DAVID JEFFERS CONSULTING INC.
19 SPECTRUM POINTE DRIVE, SUITE 609
LAKE FOREST, CA 92630
(949) 586-5778, FAX: (949) 586-5527

C. Public Facilities, Services and Utilities

The following public facilities, services and utilities are needed for the implementation of this project as proposed under this Specific Plan:

- Police/Sheriff
- Fire
- Waste Management
- Schools
- Sewage/Wastewater
- Water
- Storm Drainage
- Gas
- Electric
- TV/Cable

Police/Sheriff: The City of Lake Elsinore Police Department currently services neighborhoods surrounding the Terracina project to the west, south and east. Once constructed, Terracina will be added to the Police Department's service area.

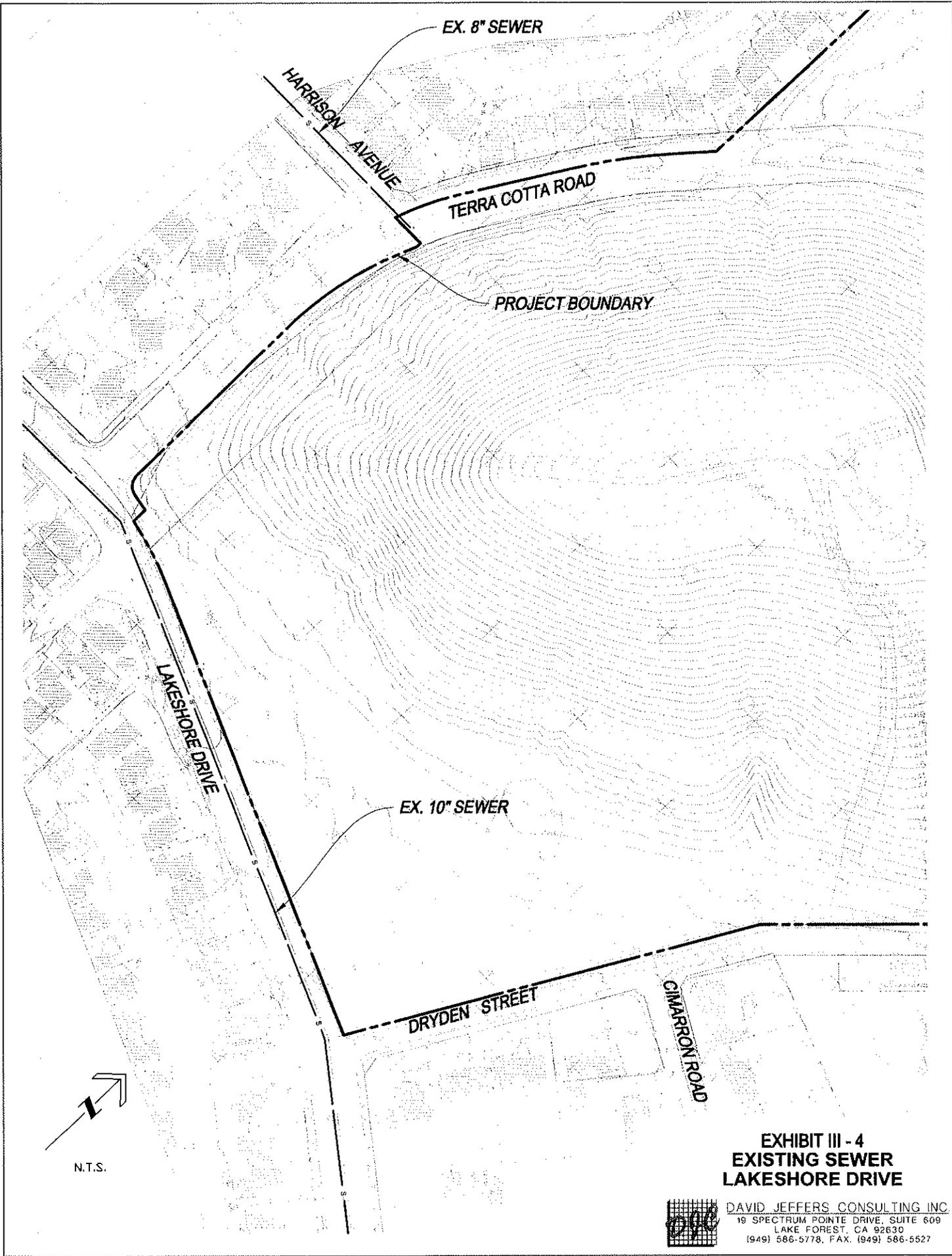
Fire: The City of Lake Elsinore Fire Department currently services neighborhoods surrounding the Terracina site to the west, south and east. Once constructed, Terracina will be added to their response area.

Waste Management: The waste management company contracting with the City currently serves all neighborhoods surrounding the Terracina project. Once constructed, the service area will be expanded to include Terracina.

Schools: The Lake Elsinore Unified School District has existing High Schools, Middle Schools and Elementary schools in neighborhoods surrounding the Terracina project. Students generated from the Terracina project will attend these schools.

Sewerage/Wastewater: This utility is provided by Elsinore Valley Water Municipal District which operates and maintains treatment facilities, pump stations and existing pipelines in the surrounding area, which, by extension will serve the Terracina site.

A recent sewer area study for the project was prepared by KWC Engineers which discusses the various components needed for service of the site which are further discussed below. The western-most portion of the project proposes a gravity line flowing to an existing sewer line in Lakeshore Drive which then flows in a southeasterly direction to Lift Station 1A. (Exhibit III-4 "Existing Sewer – Lakeshore Drive".)



N.T.S.

**EXHIBIT III - 4
EXISTING SEWER
LAKESHORE DRIVE**



DAVID JEFFERS CONSULTING INC.
19 SPECTRUM POINTE DRIVE, SUITE 609
LAKE FOREST, CA 92630
(949) 586-5778, FAX. (949) 586-5527

Water: Domestic water is provided also by Elsinore Valley Municipal Water District which operates existing pipes in and surrounding the project. (Exhibit III-5 "Existing Water Lines".)

Under the previously approved project, EVMWD constructed a portion of a water line, fire hydrants and other appurtenances on-site. This water line, fire hydrants and appurtenances do not follow the street design for the proposed Terracina Tentative Tract Map and will, most likely, have to be removed or relocated.

Storm Drainage: The existing topography of the site has four (4) main flow areas or tributary areas. (Exhibit III-6 "Existing Drainage Areas".) When constructed, the future development and its drainage patterns should mimic those existing tributary areas so that drainage diversion from one area to another does not occur

The project's storm drain system should be designed in such a manner as to keep streets from flooding during a major 100-year storm event. The system should include underground storm drain pipes of various sizes as well as catch basins in the streets to capture flows for the pipes.

There is an existing 42" storm drain in Lakeshore Drive which will serve the westerly portion of the project. (Exhibit III-7 "Existing Storm Drain in Lakeshore Drive".)

Gas: The Southern California Gas Company currently serves neighborhoods surrounding the Terracina site. Once constructed, Terracina will be added to the gas company's service area.

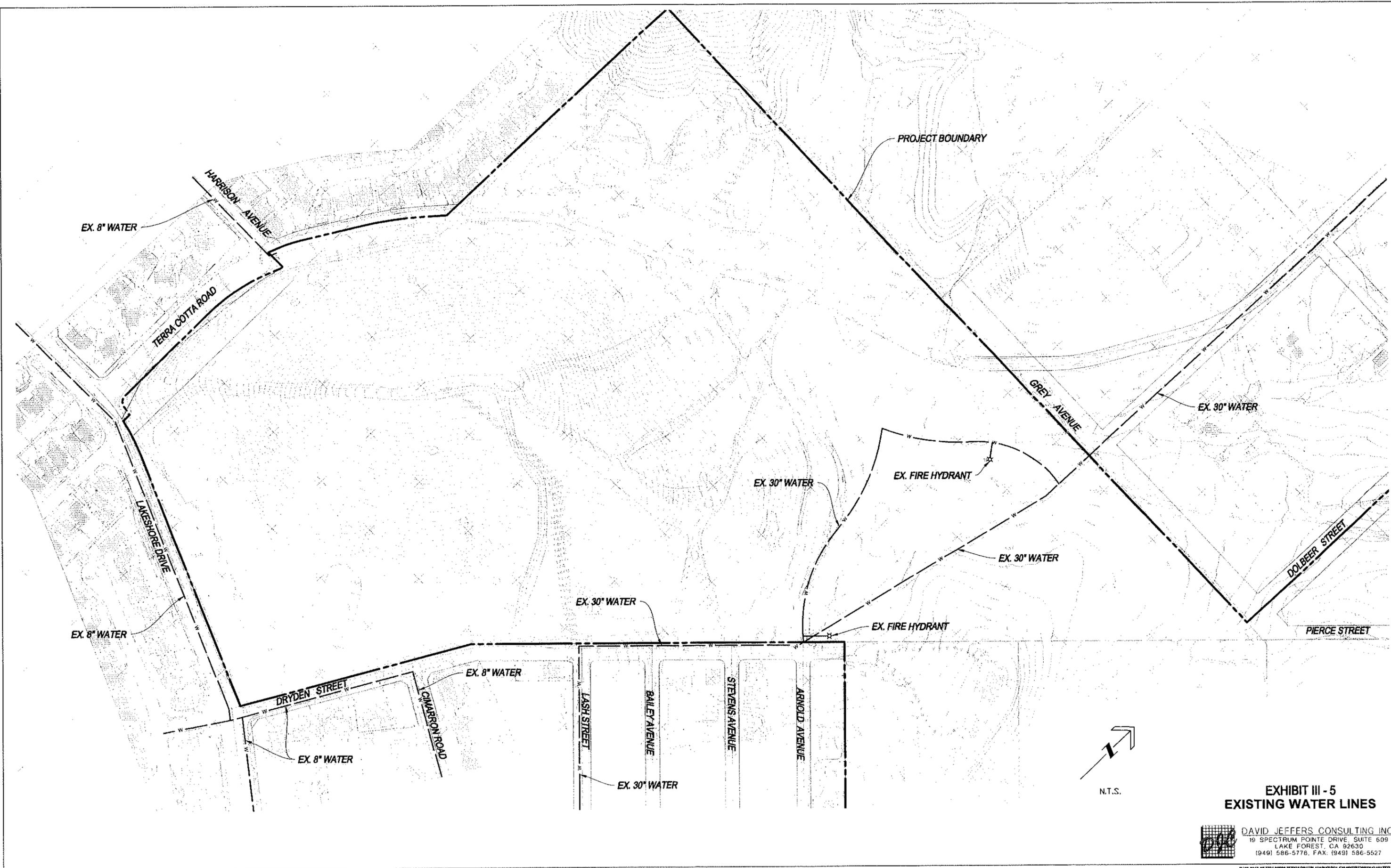
Electric: The Southern California Edison Company currently serves neighborhoods surrounding the Terracina site. Once constructed, Terracina will be added to the Edison's service area.

TV/Cable: The service area of the existing TV/cable provider will be expanded to include Terracina once constructed.

D. Issues, Constraints and Opportunities

Issues and constraints involved in the design and development of the site are: economic and zoning, topographic, water quality, land use and fire hazard.

The land use design and zoning must be implemented in such a manner that will provide a balanced, quality development. The proposed design under this Specific Plan creates mini-neighborhoods, or villages, within the development which function together to make a cohesive development.



**EXHIBIT III - 5
EXISTING WATER LINES**



DAVID JEFFERS CONSULTING INC.
19 SPECTRUM POINTE DRIVE, SUITE 609
LAKE FOREST, CA 92630
(949) 586-5778, FAX: (949) 586-5527

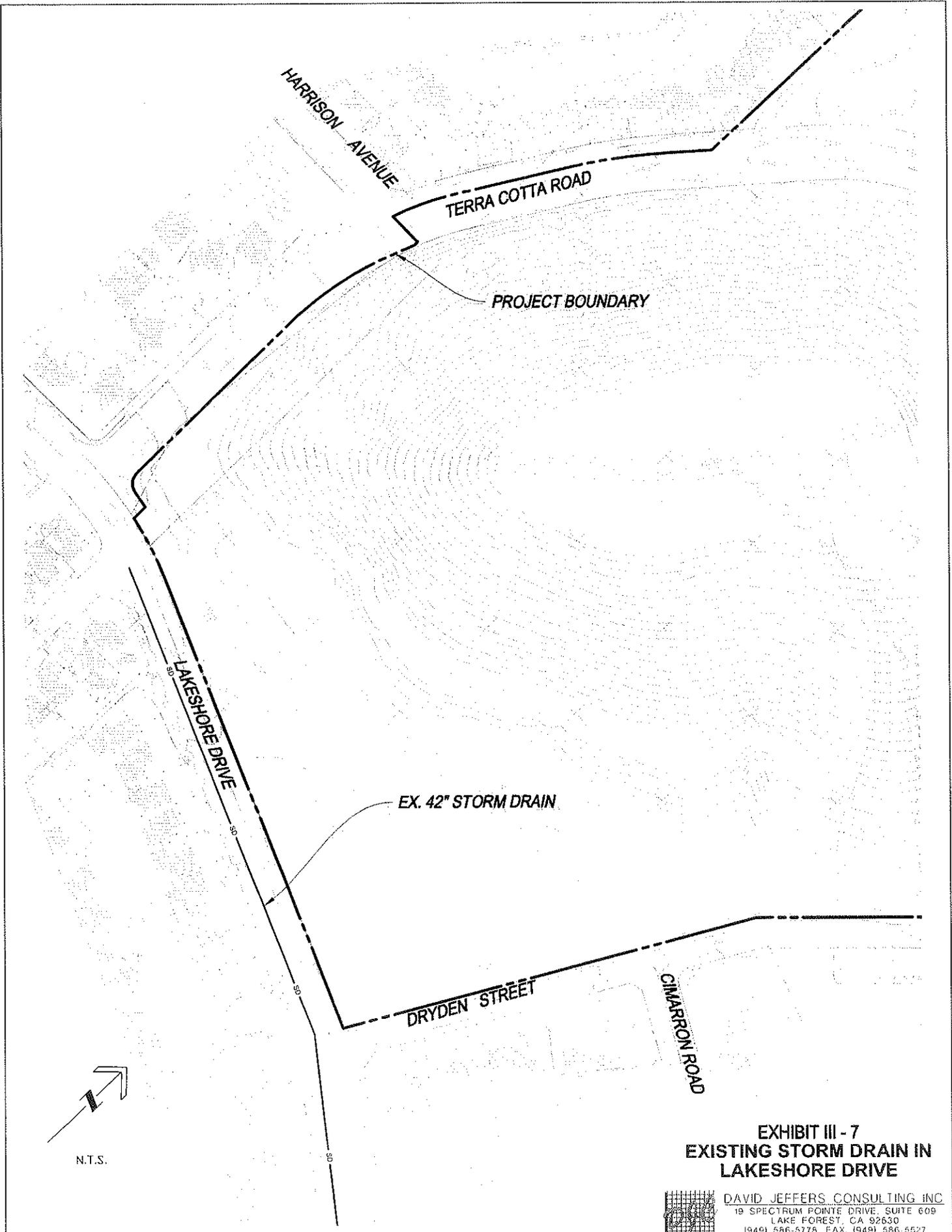
P112-0017-07 TTM 02788 TERRACOTTA PLANNING AND GRAPHIC ARCHITECTURE AND ENGINEERING WATER.DWG



**EXHIBIT III - 6
EXISTING DRAINAGE AREAS**



DAVID JEFFERS CONSULTING INC.
19 SPECTRUM POINTE DRIVE, SUITE 609
LAKE FOREST, CA 92630
(949) 586-6776, FAX: (949) 586-5527



HARRISON AVENUE

TERRA COTTA ROAD

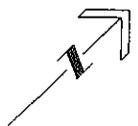
PROJECT BOUNDARY

LAKESHORE DRIVE

EX. 42" STORM DRAIN

DRYDEN STREET

CIMARRON ROAD



N.T.S.

**EXHIBIT III - 7
EXISTING STORM DRAIN IN
LAKESHORE DRIVE**



DAVID JEFFERS CONSULTING INC
19 SPECTRUM POINTE DRIVE, SUITE 609
LAKE FOREST, CA 92630
(949) 586-5775, FAX: (949) 586-5527

The topographic constraint is two-fold: the first is the prominent knoll on the westerly end of the site; the second is the relief of the remainder of the site to the east. The constraint of the knoll will be handled by minimizing the impact to it by designing a road around the sides to the top thereby minimizing the grading but grading the top just enough to create view pads/lots and where the dirt generated will be used in other portions of the site for an on-site balance of earthwork thereby eliminating the possibility of importing or exporting dirt from the site.

The easterly portion of the 151-acre site has a relief of 173 feet: the knoll on the southerly boundary has a high point of approximately 1448 and the flow line at the easterly boundary has a low point of approximately 1275. The design of the site layout could yield view lots of the hills to the north and east.

All projects are now constrained by trying to meet the State of California Regional Water Quality Control Board requirements. The Board now requires that projects retain development water on-site through infiltration or harvest and reuse or bio-retention. All three methods of water quality mitigation will be analyzed with the design of Terracina within the Water Quality Management Plan.

The site is located within a Very High Fire Hazard Zone of the City's Wildlife Susceptibility Plan of the General Plan. Because of this designation certain mitigation and design features must be incorporated in the land plan design as recommended by a fire suppression consultant who specializes in creating a plan that helps protect the future homes of the project. Such measures as thinning zones, irrigation zones and setbacks will be implemented into the project to assist in the protection of future homes and property.

The issues and constraints, as discussed above, can become opportunities. The land uses and densities associated with this Specific Plan have been specifically chosen to provide a variety of lot and home size product type in order to implement the objectives of the City's General Plan and the project proponents. The land use and design components of this plan are further discussed in Section IV.

The topographic/grading issues can be addressed in such a manner as to create view opportunities of the Elsinore Mountains to the south and Lake Elsinore to the southeast from the westerly knoll. Home sites in the easterly portions of the site can also be designed as view lots with terrace-grading techniques to create "super-pads" or "villages" with individual identities which are separated from one another both horizontally and vertically.

Terra Cotta Road will serve as the main entrance to the site. As another design feature of the project it will be extended northerly to existing Nichols Road. This extension will be used by the future residents of Terracina and also residents of areas surrounding the project and

throughout the City as it provides another arterial road for the vicinity and improves traffic circulation in the community and region.

IV. DEVELOPMENT PLAN

A. Land Use Plan

1. General Discussion/Opportunities

The plan provided for in this Specific Plan offers a variety of lot sizes with a “village” design of various planning areas within the site.

The Terracina project consists of approximately 151 acres with six (6) planning areas or villages for residential housing, a park site, a natural biological area, natural open space areas throughout the site and three (3) drainage basins strategically located to mitigate increased run-off and water quality issues.

The site is currently surrounded by various street rights-of-way. Some are partially improved and some are proposed to be improved or partially improved by this project.

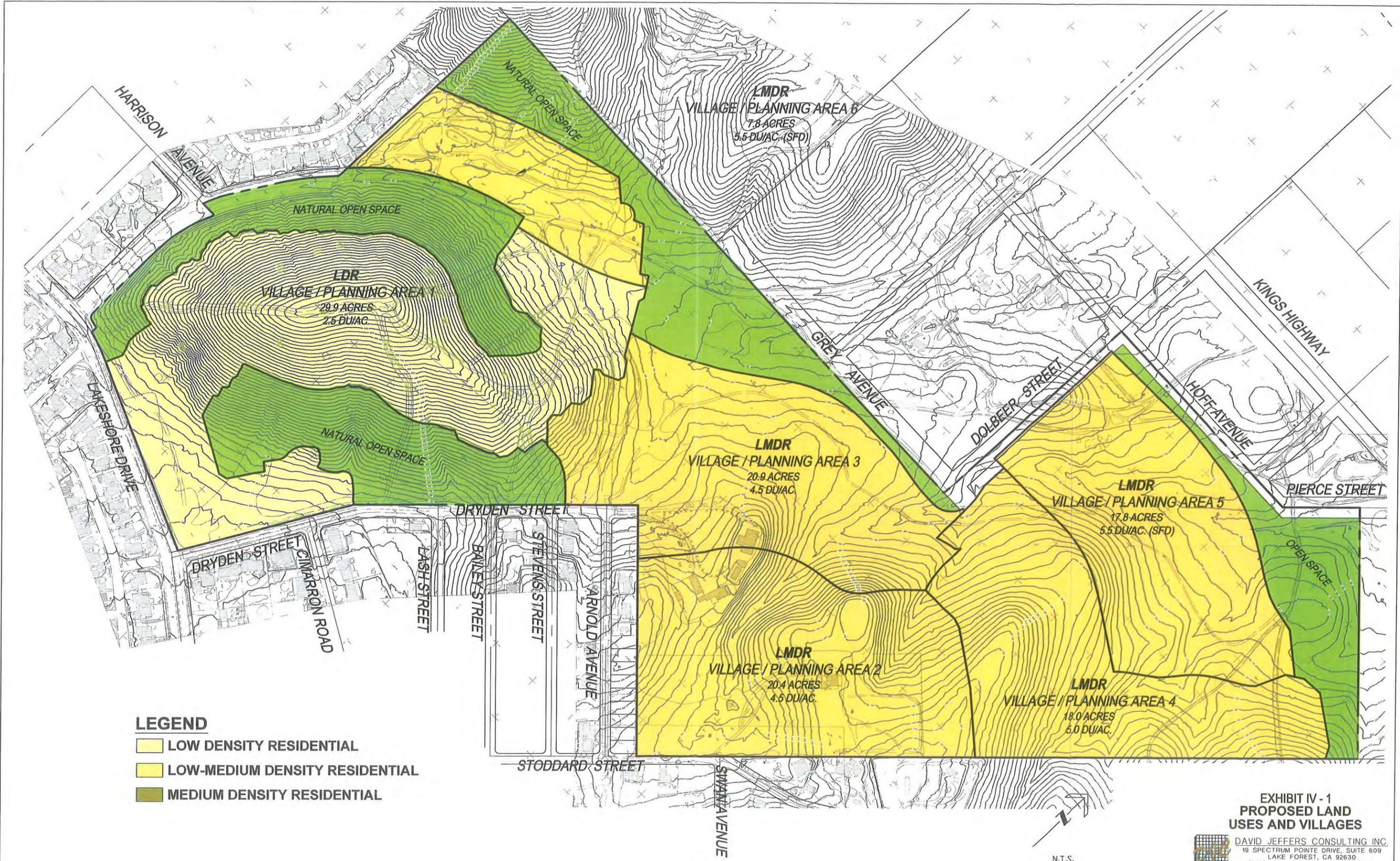
Terra Cotta Road is partially improved up to the project boundary on the north. Lakeshore Drive, Dryden Street and Stoddard Street are partially improved with half-width improvements on the westerly and southerly boundaries of the site respectively. The northerly boundary of the site abuts existing dedicated right-of-way for Grey Avenue, Dolbeer Street, Hoff Avenue and Pierce Street.

The on-site extension of full-width improvements for Terra Cotta Road will occur with the approval of this project as well as an off-site extension with partial improvements running northerly to existing Nichols Road.

2. Planning Areas/Villages

The irregular-shaped 151-acre site is divided into six (6) separate, individual planning areas or “villages” ranging in size from 7.8 acres to 29.9 acres. (Exhibit IV-1: “Proposed Land Uses and Villages”.) These planning areas will have a variety of lot sizes offering a variety of housing product in an effort to create distinction in the community.

The six (6) Villages are broken down into only two (2) land use designations: “Low”, and “Low Medium” density residential. The Low density designation applies only to Village 1 while Villages 2 through 6 are Low-Medium designations.



LEGEND

- LOW DENSITY RESIDENTIAL
- LOW-MEDIUM DENSITY RESIDENTIAL
- MEDIUM DENSITY RESIDENTIAL

**EXHIBIT IV - 1
PROPOSED LAND
USES AND VILLAGES**

DAVID JEFFERS CONSULTING INC.
19 SPECTRUM POINTE DRIVE, SUITE 609
LAKE FOREST, CA 92630
(949) 586-5778, FAX: (949) 586-5527



Each village is physically (i.e. horizontally and vertically) separated from other villages to create an individual identity with no overlap of different housing types or lot sizes. All planning areas have two separate points of ingress and egress as required by the City of Lake Elsinore and emergency response teams.

The following includes a general paragraph of discussion followed by more detailed components of each village.

a. Village 1

Village 1 is located on the westerly portion of the site comprised of the prominent knoll surrounded by Terra Cotta Road, Lakeshore Drive and Dryden Street. The design of this Village should show grading sensitivity to the natural terrain/knoll by designing a circuitous street from Dryden Street around the sides and up to the relative top of the knoll. The design for this area incorporates a significant proportion of view lots within this Village. The majority of lots in Village 1 will have some sort of view either of the surrounding terrain, the Elsinore Mountains or Lake Elsinore.

The residential portion of Village 1 totals 29.9 acres and has a maximum density of 2.5 dwelling units per acre and a maximum yield of 72 lots. The largest home product size within Terracina is intended for this Village 1 as it contains the largest lot sizes and contains a valuable view component as described above. The minimum lot size will be 6,000 square feet.

Village 1 contains one of three water quality/detention basins and the only one with infiltration capabilities due to the soil characteristics for water quality mitigation purposes. (For additional water quality details refer to item "H" of this section.)

The main project entry to the southeast of Terra Cotta Road will be one of the two points of access to Village 1. This main entry street will feature monumentation on the southerly side at Terra Cotta Road with a center median leading into the project. The other access into this area will be from existing Dryden Street.

b. Village 2

Located in the southern portion of the plan and consisting of 20.4 acres, Village 2 has a maximum development density of 4.5 du/ac for a total yield of 84 lots planned for single family detached homes. The minimum lot size in Village 2 will be 5,500 square feet.

Access into Village 2 comes from partially improved Stoddard Street and Swan Avenue on the south and proposed streets from Villages 3 and 4 to the north. The connector street between Village 3 and 4 also provides direct access to the Park in Village 3.

c. Village 3

Village 3 is centrally located within the Terracina development plan with its main access taken from the project's main entry off Terra Cotta Road, another off of existing Dryden Street at Arnold Avenue and a third access from Village 4 to the north.

Village 3 consists of 20.9 acres and has a maximum density of 4.5 du/ac with a maximum yield of 75 dwelling units. Village 3 will have a minimum lot size of 5,000 square feet.

A biologically sensitive area is located to the northwest and adjacent to Village 3 and consists of 3.8 gross acres and 2.3 net acres. This area is referred to in the environmental studies for the project as an area to be left in its natural state in an effort to conserve certain habitat features as well as preserve wetland areas as defined by various resource agencies. (Exhibit III-3: "Existing Biologically Sensitive Area.")

Village 3 contains the public park consisting of 5.1 gross acres (Exhibit IV-2: "Park Exhibit.")

The public park shall include:

- An informal sports field
- Restrooms approximately 300 sf
- On-site parking
- 1 covered picnic area with 4 tables
- 4 waste containers
- Drinking fountain
- Half court basketball
- 8 benches
- One 2-5 year and one 5-12 year playground with shade
- Perimeter walking trail with exercise stations
- Park monument sign
- Security lighting
- Lockable gate to the parking lot

. The final park design shall be subject to approval by the City of Lake Elsinore's Director of Community Services or designee.



- LEGEND...**
- ① PARKING FOR (10) CARS
 - ② PARK SIGNAGE
 - ③ LOCKABLE GATES
 - ④ RESTROOM BUILDING (300 SF)
 - ⑤ DRINKING FOUNTAIN
 - ⑥ PLAY ZONES (2-5) & (5-12)
 - ⑦ PICNIC SHELTER
 - ⑧ PICNIC TABLE
 - ⑨ PARKING - H/C STALL
 - ⑩ 1/2 COURT BASKETBALL
 - ⑪ TRAPGAMES (OPEN PLAY ZONE)
 - ⑫ PARK BENCH
 - ⑬ BBQ UNIT
 - ⑭ RG. RUNNING TRAIL
 - ⑮ EXERCISE STATION
 - ⑯ FENCE (3')
 - ⑰ RECREATIONAL BASEBALL FIELD
 - ⑱ BACK STOP
 - ⑲ BOLLARDS
 - ⑳ WALKWAY

**EXHIBIT IV - 2
PARK EXHIBIT**

DAVID JEFFERS CONSULTING INC.
 19 SPECTRUM POINTE DRIVE, SUITE 609
 LAKE FOREST, CA 92630
 (949) 586-5778, FAX: (949) 586-5527

d. Village 4

Village 4 is located in the eastern portion of the project and consists of 18.0 acres. The maximum density allowed is 5.0 du/ac with a maximum yield of 89 lots. The minimum lot size will be 4,500 square feet.

Access to Village 4 is from local streets within Village 3 to the west and Village 5 to the north from the existing right-of-way of Dolbeer Street.

e. Village 5

Located on the far northerly portion of the project site, Village 5 is 17.8 acres in size and includes a water quality/detention basin in the Village. The density proposed is a maximum of 5.5 du/ac for a maximum yield of 94 lots for a single family detached residential lot type. The minimum lot size for Village 5 will be 4,500 square feet.

Village 5 is bounded by Dolbeer Street on the west and Hoff Avenue and Pierce Street on the north. All three streets are unimproved but with right-of-way dedications in place. These streets will be improved to half-width City standards with Hoff Avenue extending westerly to meet the extension of Terra Cotta Road which eventually connects to existing Nichols Road to the north.

A water quality/detention basin is located in this Village as it is, from a drainage standpoint, the most down-stream of Villages 2 through 5. The purpose of the basin is to serve as mitigation for water quality purposes as well as detention of increased run-off caused by the development.

f. Village 6

Village 6 is located on the northern side of Terra Cotta Road and forms a triangular shaped area with the northern-most property boundary corner. Village 6 is 7.8 acres in size and is proposed to allow for a single family detached residential product.

This single family product will have a maximum density of 5.5 du/ac and a maximum lot yield of 38 homes. Village 6 will have a minimum of 4,500 square feet for single family residential product.

Due to the city's street intersection spacing requirements for Terra Cotta Road, a Secondary Highway, there can be only one access into Village 6 to the north of Terra Cotta Road. With the single family detached residential layout, a cul-de-sac should not exceed 600 linear feet on either side of the entrance street off of Terra Cotta Road.

The northerly portion of Village 6 has an existing natural slope ratio that is, for the most part, undevelopable and will be left in a natural condition except for any areas which might be needed for fuel

modification adjacent to the proposed residential structures by using a 2:1 graded slope containing fire resistant plantings as well as irrigation as is referenced in the project's Fuel Modification Plan in item "G" of this section.

A detention/water quality basin is located at the easterly side of the Village. This basin handles flows from the proposed residential area as well as flows coming into the area from the north.

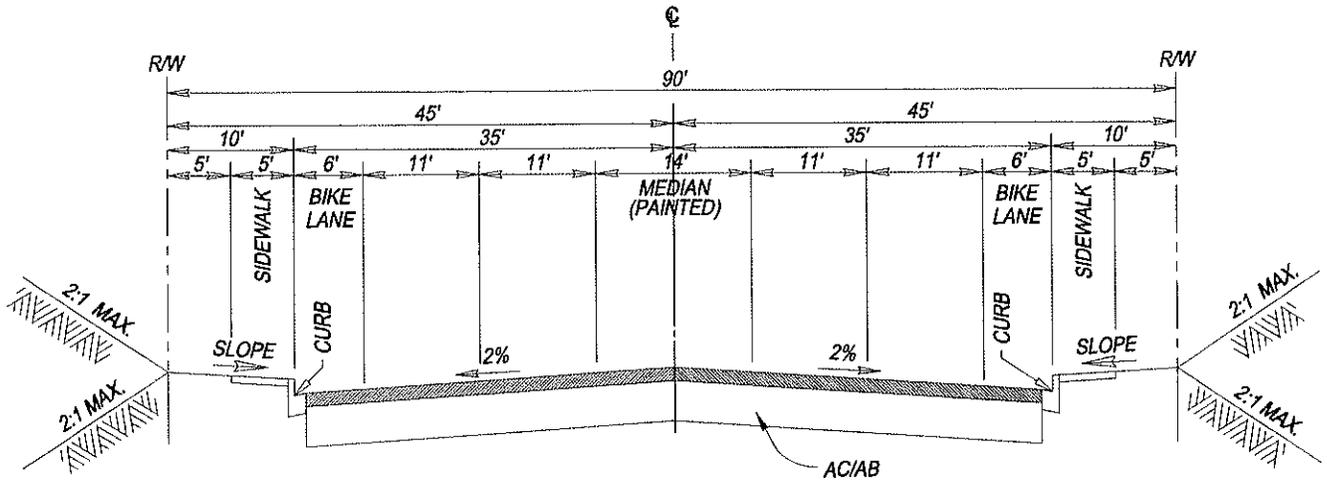
The following Table IV-1 "Maximum/Dwelling Unit Count Per Village" is a summary of the villages discussed above showing the maximum dwelling units for each village based on the acreage and maximum density of the village.

Table IV-1 Maximum Dwelling Unit Count Per Village

VILLAGE	ACRES	DENSITY (DU/ACRE)	MINIMUM LOT SIZE	LOTS (MAX.)
1	29.9	2.5	6,000	72
2	20.4	4.5	5,500	84
3	20.9	4.5	5,000	75
4	18.0	5.0	4,500	89
5	17.8	5.5	4,500	94
6	7.8	5.0	4,500	38
TOTAL				452

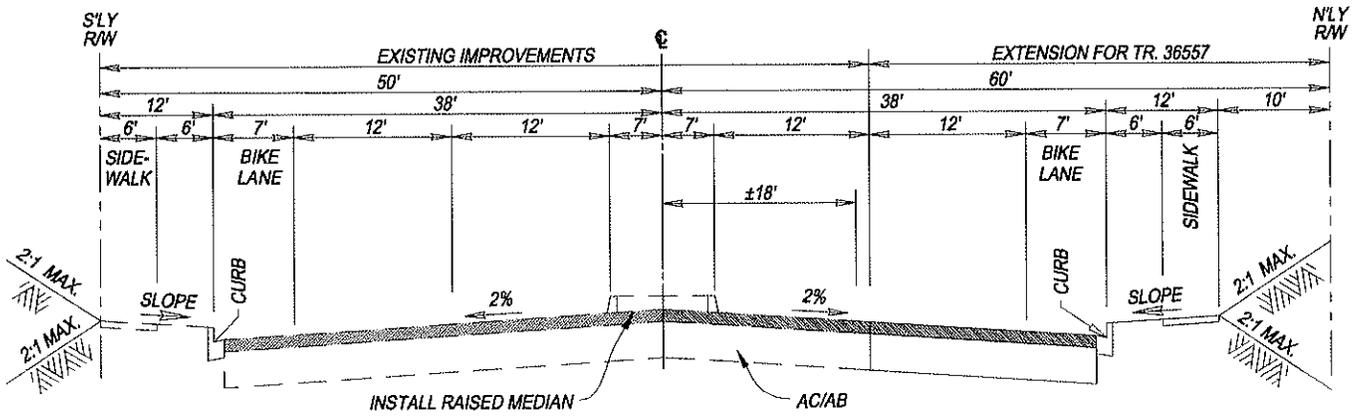
B. Circulation Plan

The approximately 151-acre Terracina project site is surrounded by either partially improved streets and/or streets with existing dedicated rights-of-way which provide access to the site. Existing streets of Terra Cotta Road and Dryden Street intersect with Lakeshore Drive on the westerly portion of the project. Lakeshore Drive is proposed as a 120-foot right-of-way under the City's General Plan as an Urban Arterial with a divided roadway of six (6) lanes of traffic. Terra Cotta Road, a 90-foot right-of-way and a Secondary Highway under the City's General Plan, is partially improved from Lakeshore Drive to the northerly boundary of the project site (Exhibit IV-3: "Terra Cotta Road and Lakeshore Drive Cross Sections".) A meandering dirt road exists from that point northerly to existing Nichols Road. The developer of Terracina will construct full-width improvements to the project's northerly boundary and, in addition, improve Terra Cotta Road from the north project boundary to Nichols Road with a paved roadway section, as approved by the City Engineer. To further enhance traffic circulation in the project and surrounding areas



**SECONDARY HIGHWAY
TERRA COTTA ROAD**

N.T.S.



**URBAN ARTERIAL
LAKESHORE DRIVE**

N.T.S.

**EXHIBIT IV - 3
TERRA COTTA ROAD AND
LAKESHORE DRIVE CROSS SECTIONS**



DAVID JEFFERS CONSULTING INC.
19 SPECTRUM POINTE DRIVE, SUITE 609
LAKE FOREST, CA 92630
(949) 586-5778, FAX (949) 586-5527

Hoff Avenue will be extended westerly to Terra Cotta Road with a paved roadway section as approved by the City Engineer. (Exhibit IV-4: "Terra Cotta Road and Hoff Avenue Off-site Extensions".)

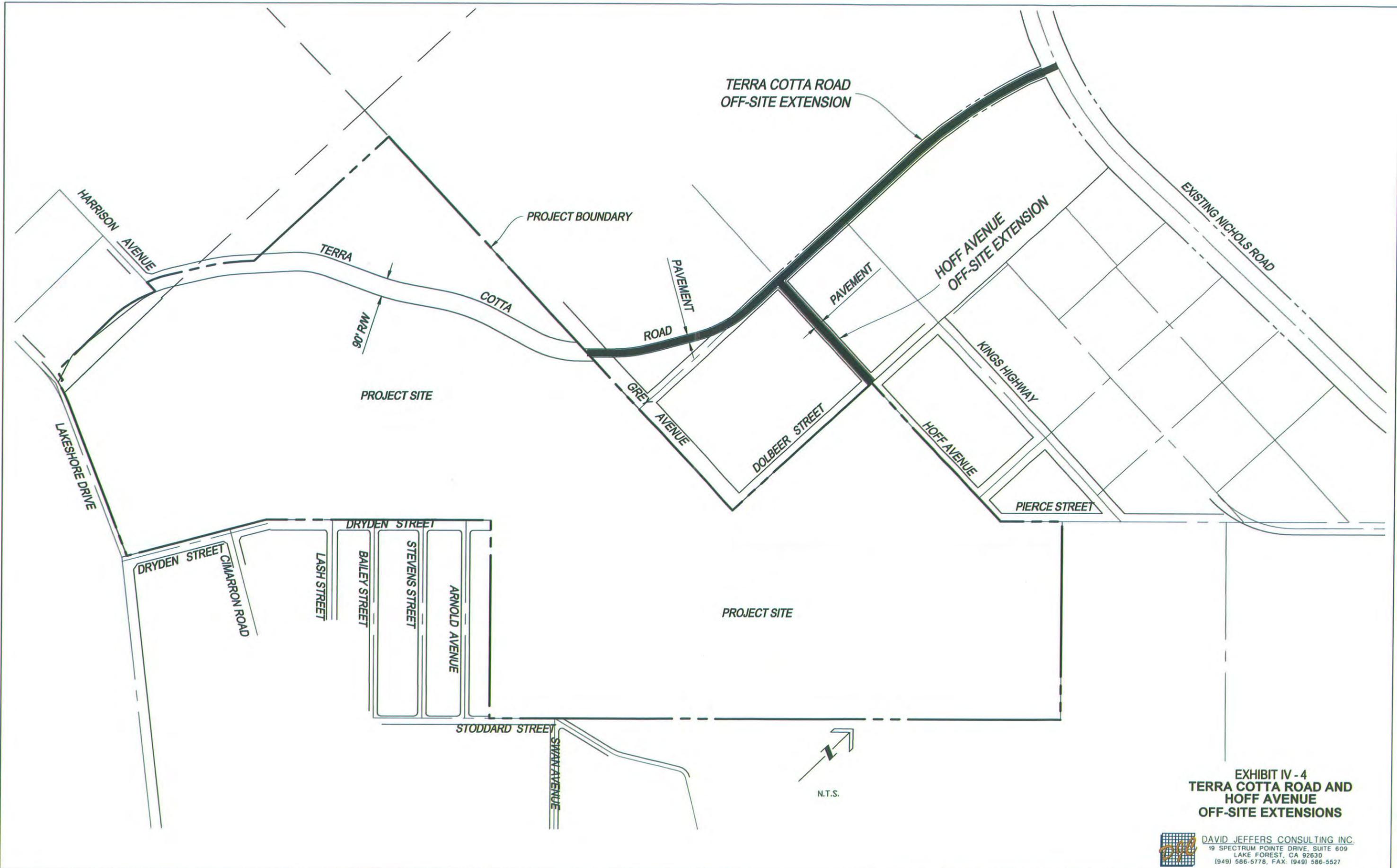
Lakeshore Drive is an existing Urban Arterial with existing half-width improvements along the frontage of the project. The Terracina project will complete the improvements on the north side of Lakeshore Drive consisting of pavement, curb and gutter, sidewalk and parkway landscaping.

Dryden Street is located along the southerly boundary of the site and is constructed on its southerly side to half-width improvements. Terracina will complete the improvements for Dryden Street thereby providing full-width access to the project. Although the length of frontage for Stoddard Street on the south is only approximately 350 feet, Terracina will also complete its half-width improvements to provide full-width access to the project. (Exhibit IV-5: "Dryden Street and Stoddard Street Cross Sections".) The extended improvements include paving, curb and gutter, sidewalk and landscaping in the parkway.

Bordering the westerly portion of the project is Dolbeer Street, Hoff Avenue and Pierce Street rights-of-way with no existing improvements. These three streets will be improved, under the Terracina project, to the City standard of half-width improvements consisting of pavement, curb and gutter, sidewalk and parkway landscaping. (Exhibit IV-6: "Dolbeer Street, Hoff Avenue, and Pierce Street Cross Sections".)

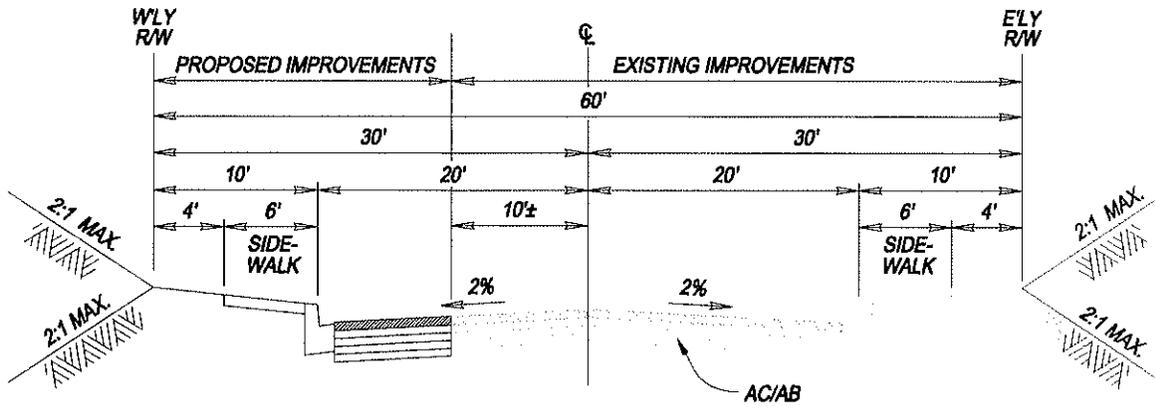
The interior local streets, as proposed for the Terracina project, will be dedicated to the City of Lake Elsinore as public streets for maintenance by the City. These local streets will have a 50-foot wide right-of-way. The improvements will consist of paving, curb and gutter, sidewalks and landscaping on both sides. The curb to curb roadway width will be 40' wide allowing parking on both sides. (Exhibit IV-7: "Local Streets Cross Section".) A 3' Public Utility Easement (P.U.E.) will be included on both sides behind the sidewalk.

The main access into the bulk of the project (Villages 1 through 4) will be from Terra Cotta Road. This main access road is the project's "marketing window" and will have a right-of-way width of 70 feet and will include a 10-foot wide median for landscaping purposes from Terra Cotta Road into the project. (Exhibit IV-8: "Main Entry Street Cross Section".)



**EXHIBIT IV - 4
TERRA COTTA ROAD AND
HOFF AVENUE
OFF-SITE EXTENSIONS**

 **DAVID JEFFERS CONSULTING INC.**
 19 SPECTRUM POINTE DRIVE, SUITE 609
 LAKE FOREST, CA 92630
 (949) 586-5778, FAX: (949) 586-5527

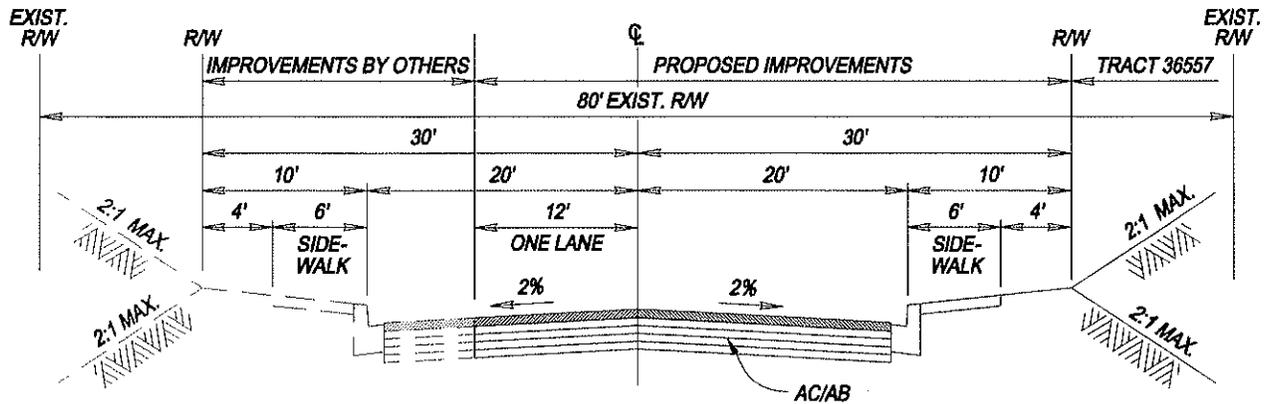


CROSS SECTION
DRYDEN STREET & STODDARD STREET
 N.T.S.

EXHIBIT IV - 5
DRYDEN STREET AND
STODDARD STREET CROSS SECTIONS



DAVID JEFFERS CONSULTING INC.
 19 SPECTRUM POINTE DRIVE, SUITE 608
 LAKE FOREST, CA 92630
 (949) 586-5778, FAX: (949) 586-5527

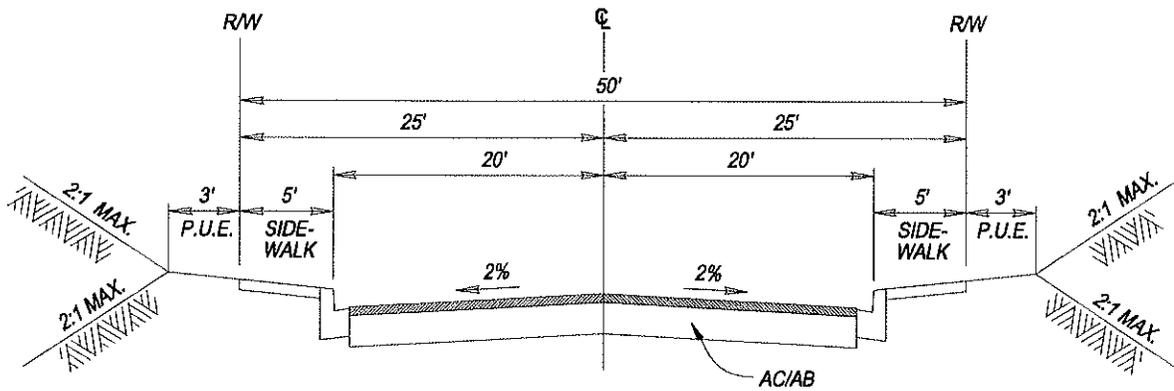


CROSS SECTION
DOLBEER STREET, PIERCE STREET &
HOFF AVENUE
 N.T.S.

EXHIBIT IV - 6
DOLBEER STREET, PIERCE STREET AND
HOFF AVENUE CROSS SECTIONS



DAVID JEFFERS CONSULTING INC
 19 SPECTRUM POINTE DRIVE, SUITE 609
 LAKE FOREST, CA 92630
 (949) 586-5776, FAX (949) 586-5527

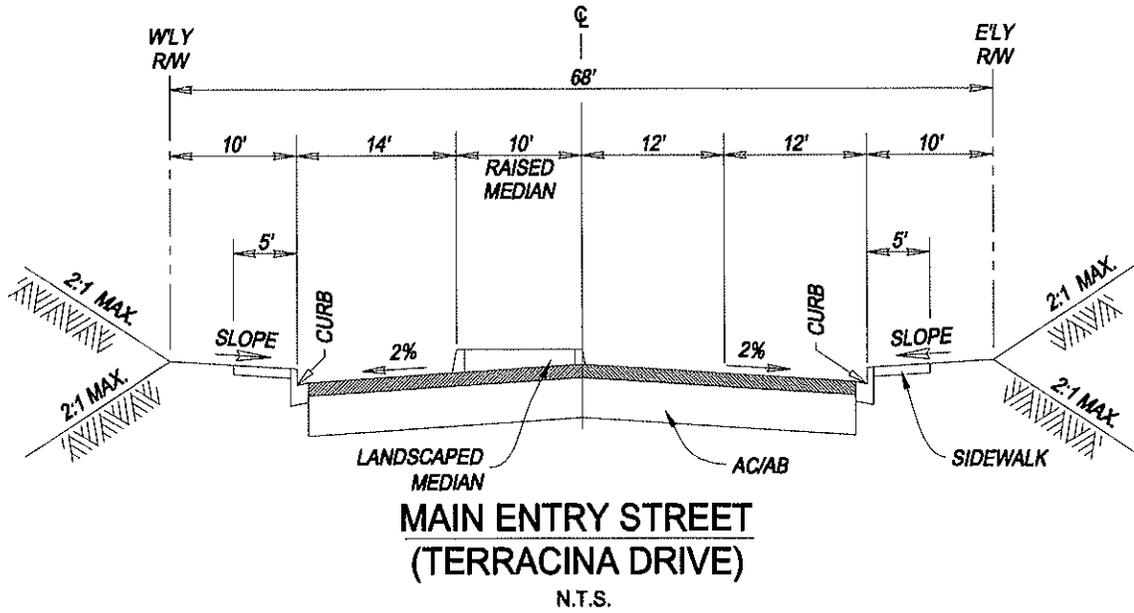


TYPICAL SECTION
LOCAL STREETS
 N.T.S.

EXHIBIT IV - 7
LOCAL STREETS
CROSS SECTIONS



DAVID JEFFERS CONSULTING INC.
 19 SPECTRUM POINTE DRIVE, SUITE 609
 LAKE FOREST, CA 92630
 (949) 586-5778, FAX (949) 586-5527



**EXHIBIT IV - 8
MAIN ENTRY STREET
CROSS - SECTION**



DAVID JEFFERS CONSULTING INC
19 SPECTRUM POINTE DRIVE, SUITE 609
LAKE FOREST, CA 92630
(949) 586-5778, FAX: (949) 586-6527

The circulation patterns of the Terracina plan will ultimately connect each Village, with the exception of Village 6 which is isolated on the north because Terra Cotta Road bifurcates the project site. As discussed above, there are six (6) (Exhibit II-4: "Existing Street Access") streets providing site ingress/egress to the project and each Village has two separate access points. The exception, due to the City's intersection spacing requirements, is Village 6 where access is provided off Terra Cotta Road by a publicly dedicated road 60 feet wide (Exhibit IV-9: "Entry Street-Village 6") and public right-of-way cul-de-sacs on either side.

C. Public Facilities, Services and Utilities

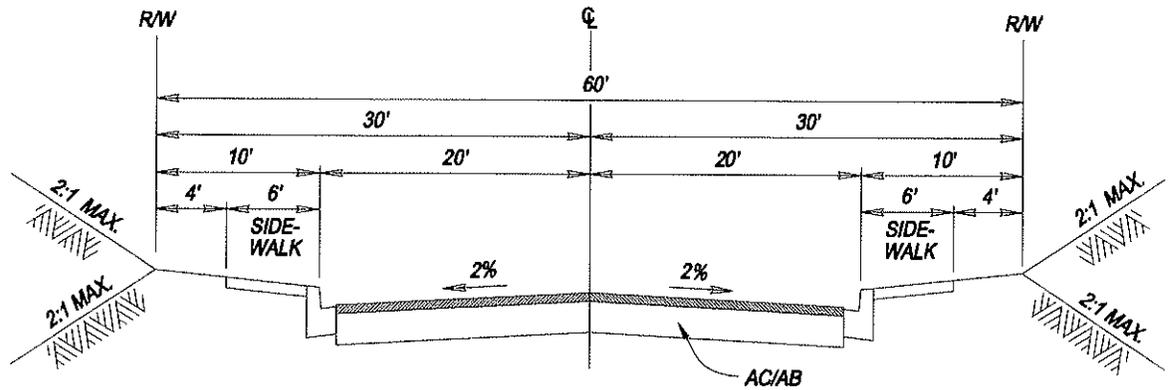
The Terracina development will be dependent upon the following public facilities, services and utilities as provided by the City or other utility companies:

- Fire and Police
- Schools and Libraries
- Animal Services
- Utilities
- Electric and Natural Gas
- Trash and Recycling
- Telephone and Cable TV

1. Fire and Police: Although there are no fire or police stations/sheriff sub-station proposed to be located within the Terracina project boundaries there are existing fire and police stations located nearby the project. The nearest fire station is located at Vicker Canyon Park approximately 1.5 miles southwesterly of the project site. The nearest police station is located approximately 1.5 miles from Terracina on the westerly edge of the lake at Riverside Drive and Lincoln Street.

2. Schools and Libraries: Terracina is served by the Lake Elsinore Unified School District for elementary, middle and high schools.

The elementary schools serving Terracina are located in the Alberhill project just north and adjacent to Terracina and another one located south of Terracina on Jay Street approximately one-mile from the project. Terra Cotta Middle School is located on Lake Street at Lakeshore Drive approximately one-half mile from Terracina. The high school serving the project is Lakeside High School on Riverside Drive approximately two miles away to the south near the westerly side of the lake. The nearest library to the Terracina site is Vick Knight Community Library located at Lakeside High School near the western side of the lake.



CROSS SECTION
ENTRY STREET VILLAGE 6
 N.T.S.

EXHIBIT IV - 9
ENTRY STREET - VILLAGE 6



DAVID JEFFERS CONSULTING INC.
 19 SPECTRUM POINTE DRIVE, SUITE 609
 LAKE FOREST, CA 92630
 (949) 586-5778, FAX (949) 586-5527

3. Animal Services: Animal Friends of the Valley is a private company under contract with the City for animal services and is located at 33751 Mission Trail in Wildomar.

4. Utilities (Water, Wastewater and Reclaimed Water): The Elsinore Valley Municipal Water District (EVMWD) serves Terracina with domestic water, wastewater or sewerage and reclaimed or recycled water.

Existing water lines in Lakeshore Drive, Terra Cotta Road, Dryden Street, Stoddard Street and Swan Avenue will be used for connection purposes to the proposed water line system in the Terracina project. A looped system is required which assists in meeting domestic water pressure as well as fire-flow pressure requirements.

Wastewater or sewer lines are currently provided in Lakeshore Drive and will serve the Terracina project. The easterly portion of Terracina drains in an easterly direction to a proposed lift station in Village 5. The flows will then be pumped in a force main in a westerly direction towards the existing 10" sewer line in Lakeshore Drive. A sewer area study was prepared for Terracina by KWC Engineers which has been reviewed and approved by EVMWD.

Reclaimed water will not be required by EVMWD for the Terracina project as there are no existing lines in the vicinity of the project.

5. Electric and Natural Gas: Southern California Edison and Southern California Gas Company provide their respective utilities to the Terracina project. Existing lines for gas and electric exist in the existing surrounding streets of Terra Cotta Road, Lakeshore Drive, Dryden Street, Stoddard Street and Arnold Avenue. The necessary lines in the Terracina development will be connected to these existing lines for service.

6. Trash and Recycling: Residents of Terracina will be provided three (3) sixty (60) gallon containers for garbage, green waste and recycling by CR&R, the private company providing this service for the City.

7. Telephone and Cable TV: Verizon will provide the land line telephone service for the Terracina resident and the cable TV, cell phone and high speed internet services are provided by Comcast of Los Angeles.

D. Grading Plan

The existing topography of the site consists of a prominent knoll on the western portion of the site adjacent to Lakeshore Drive while the easterly portion consists of gentle rolling hills with a relief of

approximately 173 feet; the hill on the southerly boundary has an elevation of 1448 at its highest point and the flow line of the swale that exits the site at the easterly boundary has an elevation of 1275 at its lowest point. (Exhibit IV-10: "Existing Topography".)

The grading concept of Terracina is simplistic in nature. The knoll on the west will be lowered just enough to provide access to the top for view lots of the lake and surrounding hills and mountains. The excess dirt from the knoll grading will be used in the easterly portions of the site to create residential lots with the fill dirt.

Because there is a significant amount of natural topographic relief in the easterly portions of the site, terraced "super-pads" have been designed for the various Villages providing an elevation differential and separate identity from one Village to the next. Slopes created by the terraced grading concept allow for view lots along the edge, or top, of the slope. (Exhibit IV-11: "Terraced Grading Concept With View Sheds".)

The grading design concept also allows for "balance areas" within the layout (those areas which can be raised or lowered slightly during the final engineering design process) to allow for on-site balance of cut and fill quantities thereby eliminating the need for import or export dirt to or from the site.

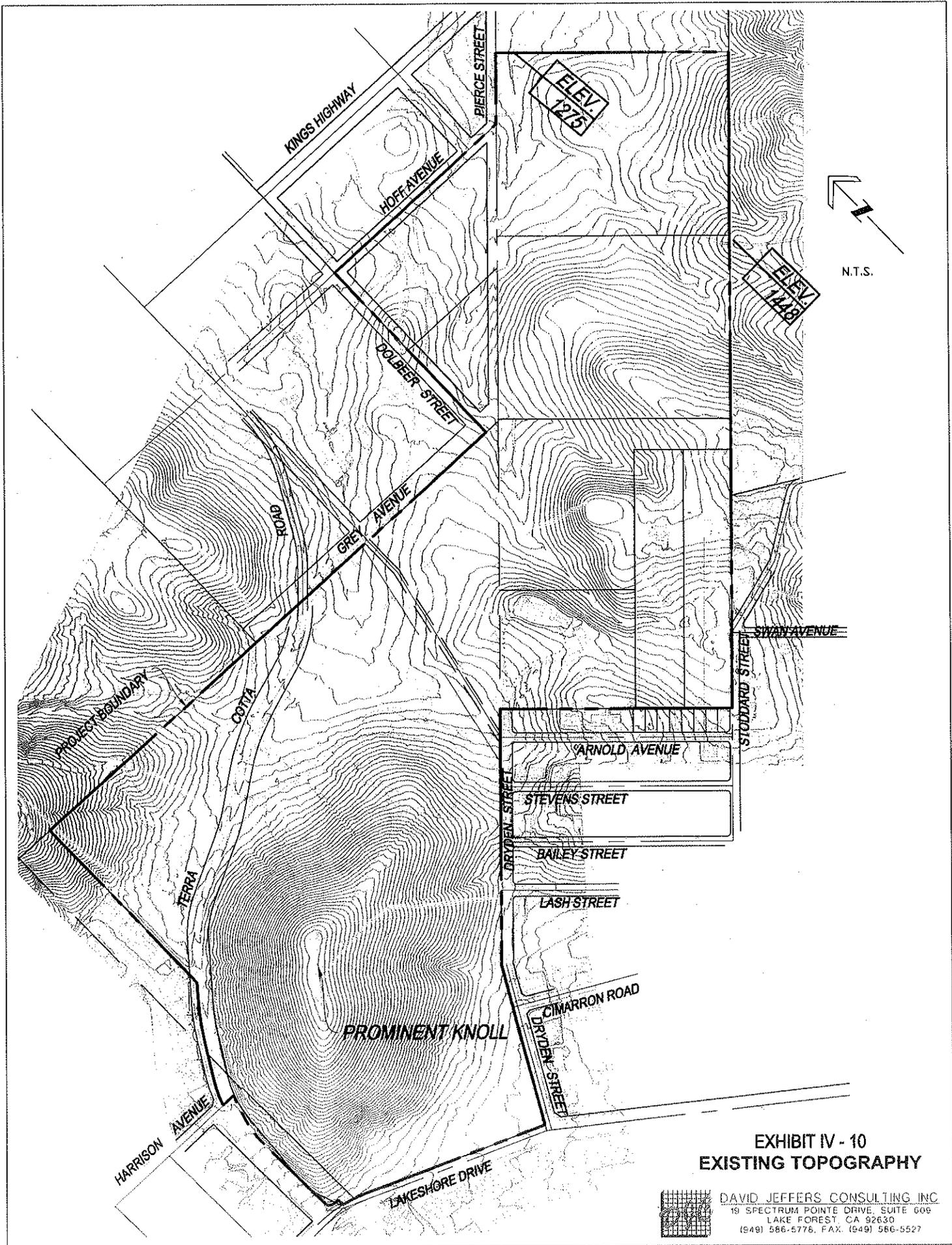
E. Maintenance Plan

The Maintenance Plan provides for the identity of necessary entities to maintain the various components of the project.

There will be three responsible parties involved in the upkeep and care of the Terracina project: the homeowners, a project homeowner's association (HOA), and the City of Lake Elsinore. (Exhibit IV-12: "Maintenance Plan".)

The homeowners will be responsible for maintaining their individual residential lots. For those residential lots with graded slopes (up slopes) in their rear or side yards, these slopes will be the owners' individual maintenance responsibility. Homeowners will also be responsible for maintaining any parkway between the home and the curb. Down slopes within the homeowners' lot will be maintained by the project HOA.

The project HOA will be responsible for the maintenance of all graded slopes abutting public street right-of-way which are not part of a residential lot, and all private streets. The exception is the up slopes from the public street right-of-way within private lots: these will also be maintained by the HOA.



**EXHIBIT IV - 10
EXISTING TOPOGRAPHY**



DAVID JEFFERS CONSULTING, INC.
19 SPECTRUM POINTE DRIVE, SUITE 609
LAKE FOREST, CA 92630
(949) 586-5776, FAX: (949) 586-5527



EXHIBIT IV - 11
TERRACED GRADING CONCEPT
WITH VIEW SHEDS

DAVID JEFFERS CONSULTING INC.
 19 SPECTRUM POINTE DRIVE, SUITE 609
 LAKE FOREST, CA 92630
 (949) 586-5778, FAX: (949) 586-5527





- TO BE MAINTAINED BY PROJECT HOA
- TO BE MAINTAINED BY CITY OF LAKE ELSINORE
- TO BE MAINTAINED BY HOMEOWNER
- TO BE MAINTAINED BY EVMWD

N.T.S.

**EXHIBIT IV - 12
MAINTENANCE PLAN**



DAVID JEFFERS CONSULTING INC.
19 SPECTRUM POINTE DRIVE, SUITE 609
LAKE FOREST, CA 92630
(949) 586-5778, FAX: (949) 586-5527

The main project HOA is also responsible for the maintenance of natural, ungraded open space/hillsides (as in Villages 1 and 6) including the fuel modification areas.

The City of Lake Elsinore will be responsible for the long-term maintenance of all public streets (paving, curb and gutter, sidewalks and parkway landscaping) within and off-site of the project, such as the off-site extension of Terra Cotta Road to existing Nichols Road to the east and the off-site extension of Hoff Avenue to Terra Cotta Road's extension to the north.

Once completed and fully improved, The City of Lake Elsinore shall be responsible for maintenance of the 5.1 acre public park

The project HOA will be responsible for the maintenance of the biologically sensitive natural area located on the southeasterly side of Terra Cotta Road in Village 3. The project HOA will also be responsible for the maintenance of the three water quality/retention basins located in Villages 1, 5 and 6. These maintenance efforts mainly include keeping the areas free of debris which could clog inlets and pipes and to keep landscaping in a healthy condition to prevent erosion of the basin as well as the upkeep of all storm drain facilities which function for and within the basin.

The lift station site located near the water quality/detention basin in Village 5 will be maintained by EVMWD.

The funding for maintenance of Terracina comes from the homeowner for maintenance of his lot; the HOA monthly dues (but maintained by a company selected by the HOA Board of Directors); or by a City-created Landscape and Lighting District which will impose a tax created for the Terracina development but maintained by various City departments or city-selected entities.

F. Climate Action Plan (CAP)

A Climate Action Plan, approved by the City December 13, 2011, was created as a recommendation of the recently updated City General Plan. As such, all projects are recommended to comply with its "Project-Land CAP Consistency Worksheet". Following is a discussion regarding Terracina's compliance with the City's CAP:

Project-Level Climate Action Plan Consistency:

1. Is the project consistent with the General Plan land use designation?

Discussion: Yes. The Terracina project does not propose a land use change from the existing General Plan designations of Low Density Residential and Low-Medium Density Residential for

the 151-acre site. Using these designations, the City's General Plan allows a maximum of 824 dwelling units. Terracina proposes a maximum of 468 homes.

2. Is the project consistent with the General Plan population and employment projections for the site, upon which the CAP modeling is based?

Discussion: Yes. The population projected for the Terracina project is 1,523 persons using 3.37 persons/household and a total of 468 homes. The maximum persons allowed under the General Plan is 2,776 persons.

3. Does the project incorporate the following CAP measures as binding and enforceable components of the project? Until these measures have been formally adopted by the City and incorporated in to applicable codes, the requirements must be incorporated as mitigation measures applicable to the project (CEQA Guidelines, Section 15183.5(b)(2)).

T-1.2 Pedestrian Infrastructure

- Does the project provide sidewalks along new and reconstructed streets?

Discussion: Yes. As required by the Public Works/Engineering Department of the City, Terracina will provide sidewalks along both sides of all streets proposed within the development as well as streets bordering the project and needing expansion to full-width improvements. Terracina will construct 8.5 miles of sidewalks within the development and on its perimeter.

- Does the project provide sidewalks or paths to internally link all uses in a project where applicable?

Discussion: Yes. The main features of the project (the 2.1-acre park in Village 3 and open space areas in Villages 1 and 6) are all accessed by public streets with paved sidewalks.

- Does the project provide connections to neighborhood activity centers, major destinations, and transit contiguous to site?

Discussion: There are no neighborhood activity centers, major destinations and/or transit facilities connected with or adjacent to the site that would allow easy pedestrian access.

The Riverside Transit Agency has three routes (#7, 8 and 22) in the vicinity of the project. Routes 7 and 8 provide a circuitous route around the Lake; Route 7 on the easterly side and

Route 8 on the westerly side. Route 8 has a bus-stop nearest the project at the intersection of Lakeshore Drive and Machado Street approximately one block to the south. These two routes provide access to such destinations as: Stater Brothers, Albertsons, the Outlet Mall, Lakeside High School and La Laguna Resort and Boat Launch on the northerly side of the Lake and Walmart and Chase Bank on the east side of I-15 at Railroad Canyon Road. Route 22 connects with Route 7 at Collier Avenue and Central Avenue and connects riders to Perris, Woodcrest, Mead Valley and downtown Riverside.

T-1.4 Bicycle Infrastructure

- Where applicable, does the project implement the network of Class I, II, and III [sic] bikeways, trails and safety features identified in the General Plan, Bike Lane Master Plan, Trails Master Plan and Western Riverside County Non-Motorized Transportation Plan?

Discussion: Yes. The Terracina project will be constructing Class II bikeways in Lakeshore Drive and Terra Cotta Road per the City's General Plan/Bike Lane Master Plan. The City's Trails Master Plan shows the nearest trail approximately one mile from the site.

- Does the project, where applicable, provide connections to the network identified in those plans?

Discussion: Yes. The City's Bike Lane Master Plan shows Class II bike lanes adjacent to the project site on Lakeshore Drive. And although Terra Cotta Road does not show as a Bike Lane on the City's Bikeway Plan the standard cross-section for this road, a Secondary Highway, does show bike lanes within the right-of-way which will be constructed per this plan. Bike lanes within the right-of-way of these roads within or adjacent to the project boundaries will be constructed by the Terracina project.

T-1.5 Bicycle Parking

- Does new, non-residential development that is anticipated to generate visitor traffic provide permanently anchored bicycle racks within 200 feet of the visitor entrance, readily visible to passers-by, for 5% of visitor motorized vehicle parking capacity, with a minimum of one two-bike capacity rack?

Discussion: The Terracina development is a residential project and has no "visitor traffic". However, the Terracina project will install permanently anchored bike racks at the recreation area and park within the development.

- Does the development propose a building with over 10 tenant spaces? If so, does it provide secure bicycle parking for 5% of tenant-occupied motorized vehicle parking capacity, with a minimum of one space?

Discussion: The Terracina development is residential in nature and does not have “tenants”.

T-2.1 Designated Parking for Fuel-Efficient Vehicles

- Does a non-residential development designate 10% of its total parking spaces for “Clean Air Vehicles?”

Discussion: Terracina is a residential project.

E-1.1 Tree Planting

- Does the developer provide a 15-gal non-deciduous, umbrella-form tree per 30 linear feet of boundary length, near buildings, or to shade pavement in parking lots and streets?

Discussion: The developer of the Terracina project will follow the City’s project level Conditions of Approval and City Codes requiring the installation of trees within the local street right-of-way and on the perimeter roads of the development to a ratio of at least one tree per home. Additional trees will be provided along project perimeter streets and within the recreation area and park. Trees may also be required by the City on graded slopes and within the detention/water quality basins as referenced in the City’s Landscape Design Guidelines.

E-1.2 Cool Roof Requirements

- Does the new non-residential development use roofing materials having solar reflectance, thermal emittance or Solar Reflectance Index 3 per CalGreen Tier 1 values?

Discussion: Terracina is a residential project.

E-1.3 Energy Efficient Building Standards

- Does new construction achieve CalGreen Tier 1 energy efficiency standards?

Discussion: Yes. The builder of Terracina will comply with all City-adopted measures or ordinances requiring that new construction exceed the California Energy Code requirements based on the 2008 Energy Efficiency Standards by 15% which is consistent with Cal Green Tier 1 Standards.

E-3.2 Energy Efficient Street and Traffic Signal Lights

- Does the project involve the installation of street or traffic signal lights? If so, are they Low Emitting Diode (LED) lights?

Discussion: Yes. The developers of Terracina will comply with all City-adopted codes and/or ordinances requiring LED lights in street lights and traffic signals required for the project.

E-4.1 Landscaping

- Does the development comply with the City's AB 1881 Landscaping Ordinance?

Discussion: Yes. The developers and future builders of Terracina will comply with the City's new/updated Landscape Ordinance.

E-4.2 Indoor Water Conservation Requirements

- Does the development reduce indoor water consumption by 30%, consistent with CalGreen Tier 1, Section A5.303.2.3.1?

Discussion: (Section A5.303.2.3.1 is a voluntary measure for non-residential developments. Terracina is a residential project.) However, many builders are aware of the many plumbing fixtures, fittings, etc. that can be installed in homes to reduce water consumption by 20%.

S-1.4 Construction and Demolition Waste Diversion

- Is the project accompanied by a waste management plan that demonstrates how 65% of the nonhazardous construction and demolition debris generated at the site will be recycled or salvaged?

Discussion: The Cal Green Code requires builders to divert 50% of construction waste from landfills to recycling. The builders of Terracina will comply with this measure.

G. Fuel Modification Plan

The City's General Plan shows the Terracina project site located within a very high fire hazard zone susceptible to wildland fires generally from the north and east. Areas surrounding the project to the west and south are, generally, not subject to wildland fires as these areas consist of existing residential development. (Exhibit IV-13: "Fuel Modification Plan")

Exhibit IV-13
Fuel Modification Plan

A fire prevention, suppression and fuel modification plan has been prepared by Firesafe Planning Solutions who specialize in these reports.

The Fuel Modification Plan for the Terracina project will be completed using a performance based criteria based on fire and wind modeling and the effects of topography, wildland fuels, fire and weather history and placement of the structure relative to the hazards. The conceptual fuel modification plan utilizes a combination of irrigated wet zone, thinning zones, physical barriers such as radiant heat walls and hardscape such as roadways to achieve defensible space that is appropriate for each interface as the micro modeling determined the risk to be in that specific area. The precise fuel modification plan will include a specific plant palette and other conditions for maintenance and future improvements within and adjacent to the fuel modification zones to insure that they remain in a condition that provides the protection that has been designed into them for this project.

H. Water Quality Management Plan

A Water Quality Management Plan (WQMP) is required by the State of California to appropriately address storm water drainage flows from the site which may have been polluted by the development. The implementation of a preliminary and final WQMP as approved by the City of Lake Elsinore, is the responsibility of the project developer and project HOA.

The WQMP will utilize Low Impact Development (LID) Best Management Practices (BMP's) to mitigate for "pollutants of concern" leaving the project. The LID BMP's will consist of one infiltration basin located in the southwest portion of the project in Village 1 and 2 extended detention basins: one located in the northeast portion of the site in Village 5 and one located in the northwest portion of the site in Village 6.

In addition, the majority of the offsite natural areas will be directed around the site. All three basins will also be utilized to mitigate increased runoff of drainage that will occur due to the hardscape development of the project.

I. Phasing Plan

Due to the size of the project, both in acreage and lot count, Terracina will be built out in several construction phases. Each phase will follow the Village layout of the plan (Exhibit IV-14.)

It is anticipated that the entire project will be rough graded as one grading operation. Actual construction phases will occur at such time as dictated by the market demands for housing in this area of Lake Elsinore.

The developer/builder reserves the right to adjust the phasing sequence to meet these market demands. However ultimately configured, the builder must supply utilities to each phase as well as a minimum of two points of ingress/egress.

V. DESIGN GUIDELINES

The architectural and landscaping guidelines of this section are non-specific, and in some cases, intentionally vague to allow maximum flexibility for the ultimate builder of Terracina. However, the ultimate builder must, still, at the construction plan stage of development comply with all necessary design regulations for architecture and landscaping.

A. Architectural Guidelines

1. Purpose and Intent: It is the purpose and intent of these architectural guidelines to give examples of how certain elements of the plan will be addressed architecturally. Below, the discussion includes design criteria, theming and site planning criteria; all in an effort to create a community with attractive and harmonious character with lasting quality.

2. Residential Design Criteria: Design criteria from which Terracina will ultimately be made should promote lasting quality. Building massing should be single and two story residential buildings and avoid boxy massing wherever possible. A mix of single and two story residential homes should be provided. Some two-story homes should have single story elements incorporated.

Quality can be defined by the materials used, the color-coordination between buildings and villages, the manner in which garages are handled, the use of balconies and entry courtyards, articulation in the facades and, simply stated but attractive front doors.

Other criteria to be considered should be a variety in roofing, both in color and in the use of materials and certain types of articulation; the use of covered porches, exposed chimneys, recessed areas by windows and window shutters to provide distinction and visual interest.

Consistent garage setbacks along a straight street provides for a monotonous street scene and should be avoided by using a varying setback as well as the possibility of side-on-garages. The site plan, wherever possible, should provide a curvilinear street pattern to avoid the monotonous street scene.

Flat roofs should be avoided where possible. The roof ridge elevation and orientation should provide visual variety and, from home to home, avoid sameness. They should harmonize and complement one another in form and color but roofs should not be the main focal point of the architecture.

3. Residential Theming: Residential theming, or style, should be diverse yet complimentary from Village to Village in massing,

color, materials, articulation and character, all within a chosen architectural style whether it be Santa Barbara, Tuscan, California Ranch, Spanish Bungalow, Craftsman or any other style chosen by the builder and approved by the City of Lake Elsinore Planning Commission. (Exhibits V-1 through V-10: "Architectural Styles".)

Consistent theming can be accomplished with architectural details such as window styles, roof shapes, and materials used. Windows can be inset into the building walls or popped out with appropriate trim. They can be articulated with sills, trim and shutters complementary to the theme chosen for Terracina. Because the front elevations are mostly seen from the public streets it is anticipated that the majority of the articulation and styling will occur on these facades although side and rear elevations should be articulated as well. Architecture for homes on corner lots and lots with public view should be treated as important areas of the building and within the community to warrant a more aggressive use of styling and articulation. Enhanced elevations shall be required on all residential elevations (i.e. front, rear and side) visible from streets and other public views.

As an example, if the builders of Terracina choose a Tuscan style of architecture, the architecture might consist of such elements of stone, warm colors of yellows, beiges, browns, arched window frames, window sills that might accommodate a large flower pot, or a similar arch used over windows.

The theme of the community should not only come from a consistent, harmonious architectural statement as the main element of a theme, but also be complemented by such things as landscaping.

4. Residential Site Planning Criteria: The overall site planning concept should be to create stand-alone villages consisting of different architectural product types with a variety of floor plans and, therefore, a range of price points to attract a larger portion of the home-buying public to Terracina.

The project design should respect the natural contour of the land, yet use the site's contour to create value (e.g. views) wherever practical.

Each village within Terracina should strive to have its own identity and to be separate from the other: no two lots from two different villages with different architecture should be located side-by-side. Most villages should be separated physically, and where practical, vertically, by a planted slope. The separation of villages, though, should be tied together by the selected architectural theme for Terracina.

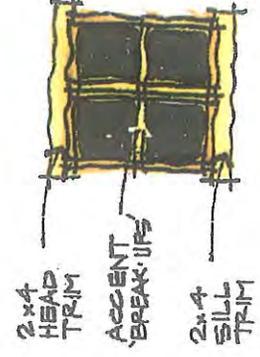
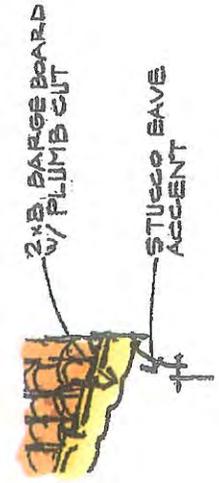
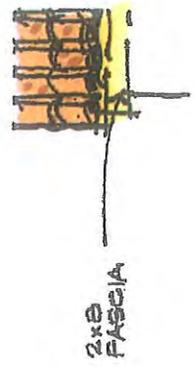
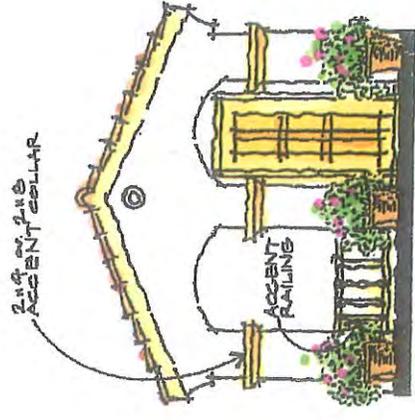
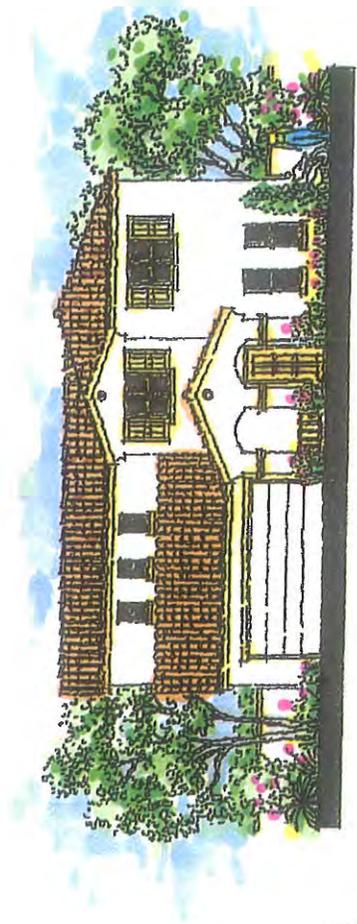
Architectural Style

Santa Barbara

Historical Characteristics

The Santa Barbara style is an adaptation of the original Spanish Colonial.

The style was popularized by the use of simple building forms. Roof framing features gable or hip conditions, along with shutters integral to the character.

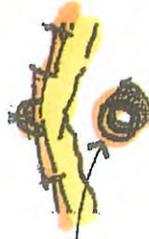


Architectural Style

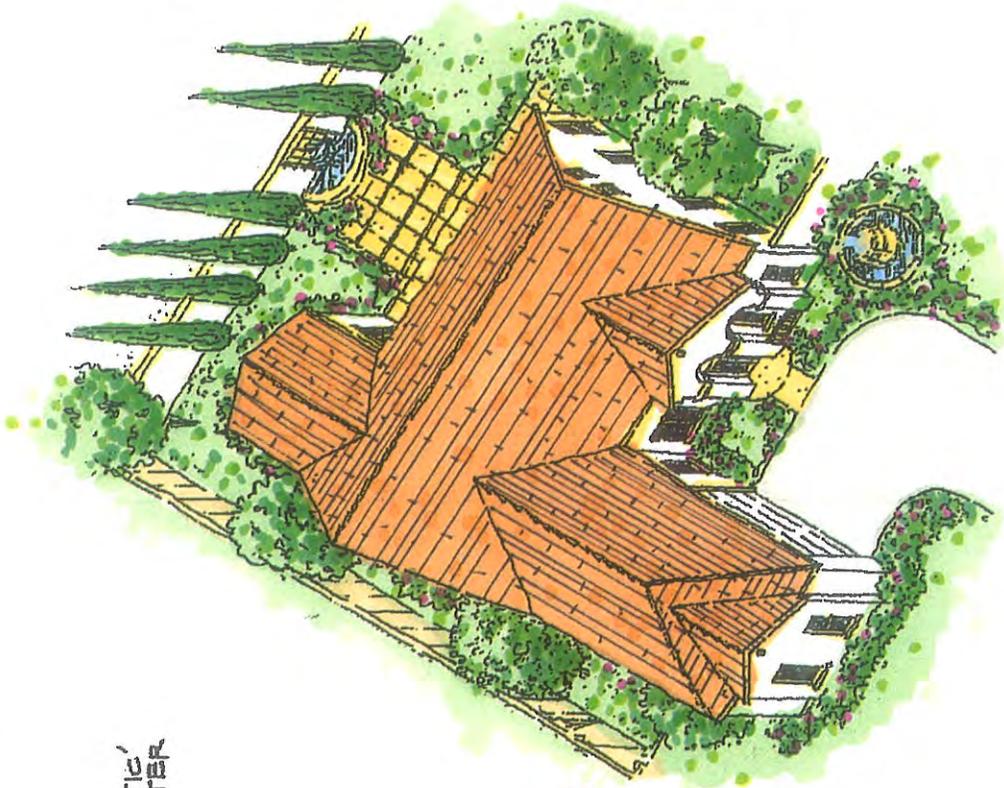
Santa Barbara



'RUSTIC'
SHUTTER



6" x 8" BARREL
ACCENT
TILE



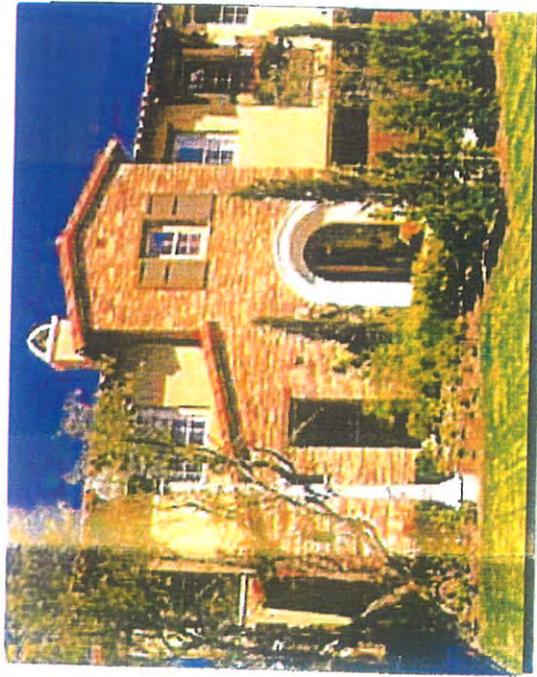
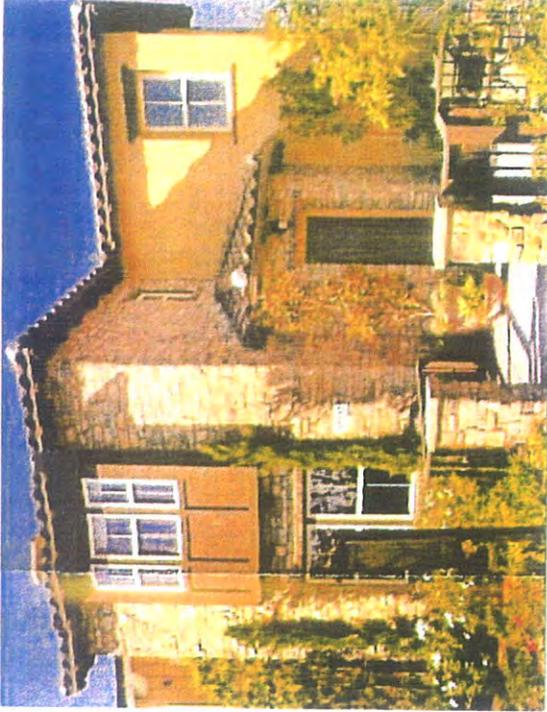
Design Elements

- ◆ Arched entry at architectural projection
- ◆ Recessed arched windows
- ◆ Window accent per style
- ◆ Wrought iron railing accent
- ◆ Stucco eave accent at gable end
- ◆ Accent tile at gable end

- ◆ 'S' concrete tile
- ◆ Roof pitch - 4:12
- ◆ 2 x 8 Fascia with 18" eave and 12" rake
- ◆ 2 x 2 Wood trim
- ◆ Plumb - Cut rake Ends
- ◆ Paneled garage door per style
- ◆ Accent lighting

Architectural Style

Tuscan



Design Elements

- *Shallow Pitched Tile Roof*
- *Earthy Colors*
- *Arched Windows and Doorways*
- *A Sense of Elegance*
- *Tall, Narrow Windows*

Architectural Style

Tuscan



Design Elements

- *Cantilevered Balconies in Front*
- *Building Materials of Painted Brick, Stucco and/or Siding*
- *Window Shutters*
- *Wrought Iron Details*

Architectural Style

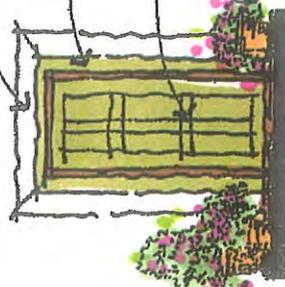
California Ranch



Historical Characteristics

The Ranch house was the primary focus of the cattle ranches developed by the early Californians. Over a period of time, the California Ranch was developed naturally from native materials. The houses were generally simple and straight forward while using barrel tiles, stucco walls and exposed rafter tails.

RECESSED STUCCO ENTRY
2x6 ACCENT TRIM
TRADITIONAL PANELED ENTRY DOOR



18" EAVE
12" RAKE



2x6 EXPOSED RAFTER TAILS
C 24" o.c.

2x4 HEAD TRIM
ACCENT BREAKTIPS
2x4 SILL TRIM

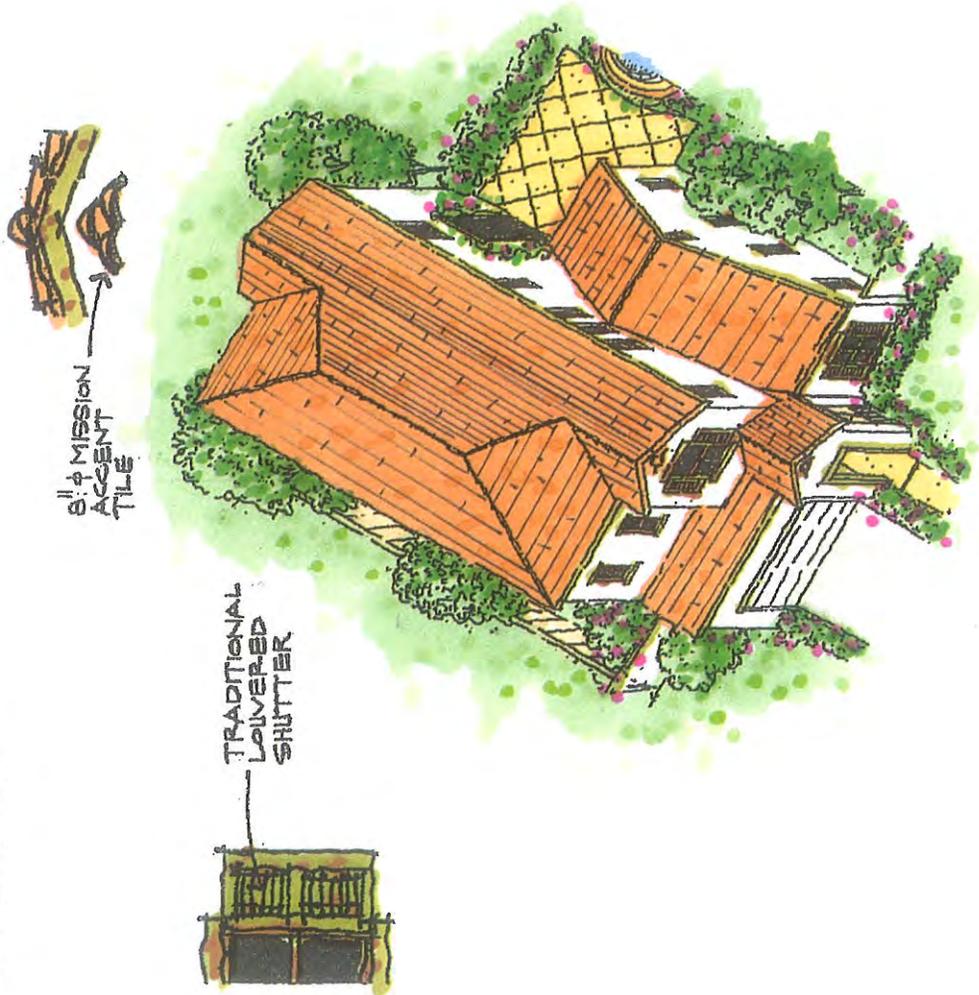


2x6 BARGE BOARD
w/ RADIUS SILL



Architectural Style

California Ranch



Design Elements

- ◆ Recessed entry architectural projection
- ◆ Window accent per style
- ◆ Traditional shutter accent
- ◆ 3 x 6 Wood exposed rafter tails
- ◆ Accent tile at gable end

- ◆ 'S' concrete tile
- ◆ Roof pitch - 4:12
- ◆ 2 x 8 Fascia with 18" eave and 12" rake
- ◆ Radius cut rafter tails
- ◆ 2 x Wood trim
- ◆ Paneled garage door per style accent lighting

Architectural Style

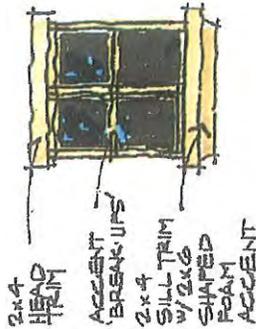
Spanish Bungalow



Historical Characteristics

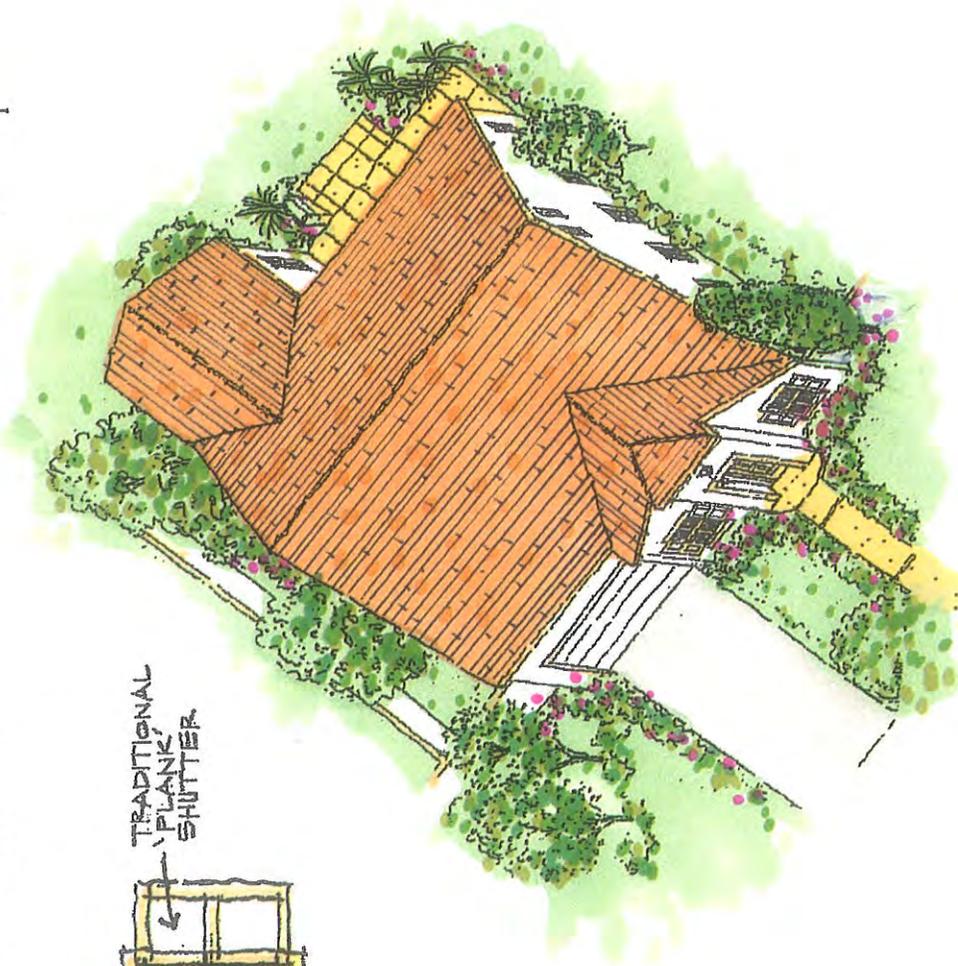
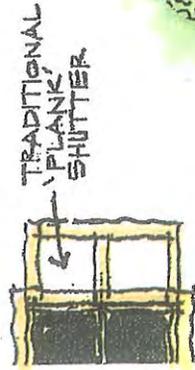
Spanish Bungalow is an adaptation of Spanish Eclectic. The style attained widespread popularity after its use in the Panama-California Exposition of 1915.

Architectural distinction was established through the use of lower profile tile roofs, stucco walls, simplicity and contrast of materials and textures.



Architectural Style

Spanish Bungalow



Design Elements

- Theme window at architectural projection
- Recessed entry accent
- Window accent per style
- Traditional 'plank' shutter accent
- Accent tile at gable end

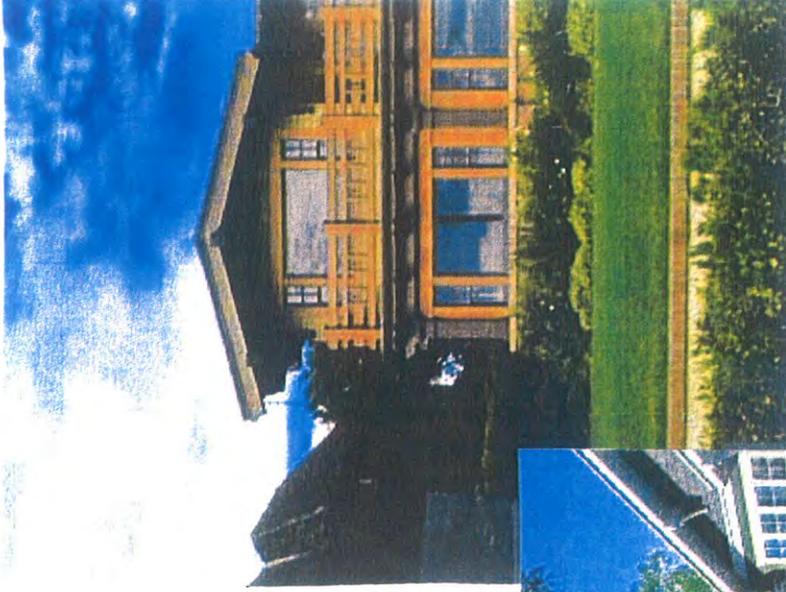
- 'S' low profile - concrete tile
- Roof pitch - 4:12
- 2 x 8 Fascia with 18" eave and 12" rake
- 2 x Stucco trim
- Plumb - Cut rake Ends
- Paneled garage door per style
- Accent lighting

Architectural Style

Craftsman

Historical Characteristics

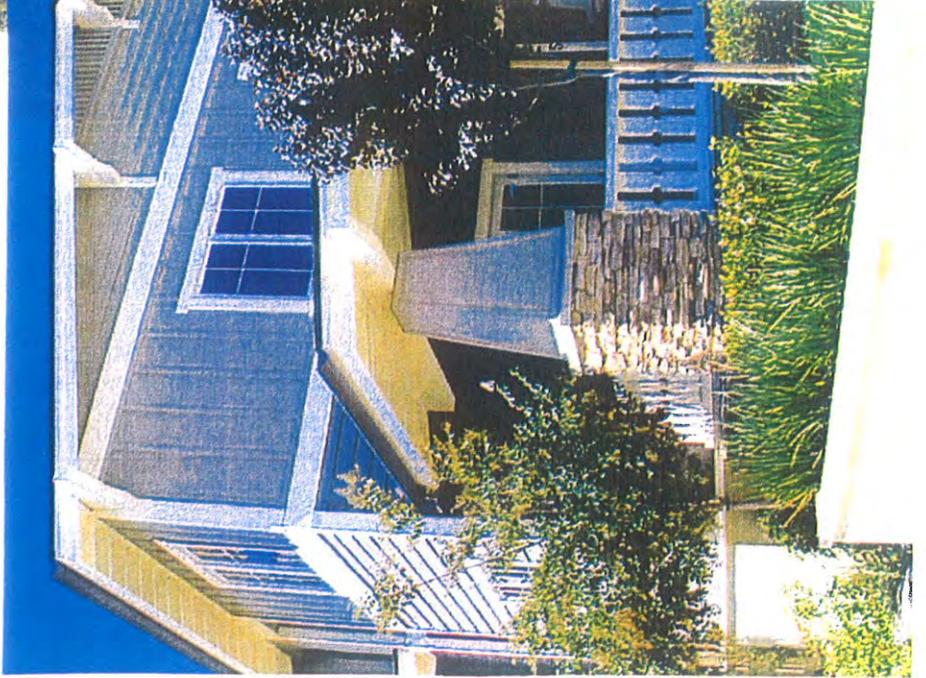
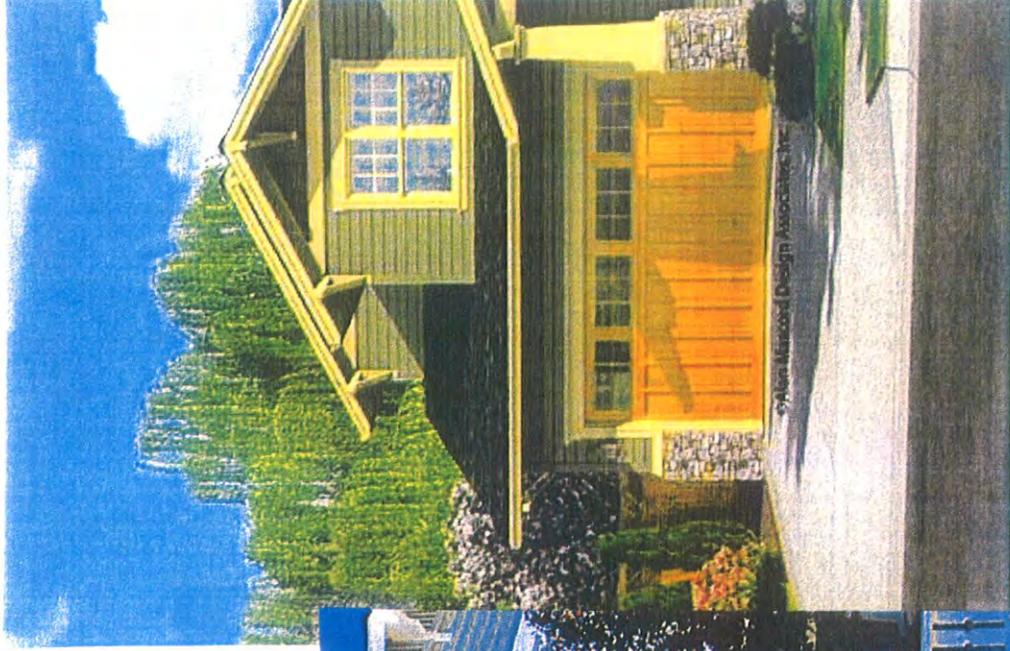
The Craftsman style features handicrafts with simple forms and natural materials. Many features of the Craftsman style are: Low pitched roofs, wood, stone or stucco siding.



Architectural Style *Craftsman*

Additional examples featuring:

- Numerous windows
- Stone porch supports
- Exposed roof Rafters



The street pattern within each village and throughout the development should be curvilinear to avoid straight, less interesting streets. Curvilinear streets provide more interest in the neighborhood. In order to minimize through-streets, cul-de-sacs should be used wherever possible. Because cul-de-sacs have a definitive end point and are shorter in length than thru-streets, traffic volumes are less and high speeds are more difficult to obtain, therefore making the street safer for children to play there. Knuckles, strategically located, will also cause slower traffic throughout the neighborhoods. Cul-de-sac bulbs and knuckles also provide “pie-shaped” lots for buyers who desire a larger rear yard.

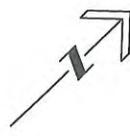
Due to the existing development around the southern and eastern portions of the project and the limited access potential from the north, the main entrance to this site should be from Terra Cotta Road. The entrance should evoke a “sense of arrival” by the use of landscaping and signage/monumentation. Other entrances to the site should offer secondary and less significant statements of pavement and landscaping.

There are many view opportunities surrounding the Terracina site, of Lake Elsinore, the Elsinore Mountains to the south and the hills to the west. Residential lots should be placed wherever possible to take advantage of these view-shed areas.

B. Landscape Guidelines

1. Purpose and Intent: The purpose and intent of the landscape guidelines is to provide a landscape plan for the Terracina project which complements the project’s architectural theme and characteristics while meeting water usage requirements of the City of Lake Elsinore and State of California and providing for an attractive and pleasing community in Terracina. The landscape design should enhance the neighborhood style and character and also the “sense of place” and at the various project entries, a “sense of arrival”.

2. Entry Statements: Each entry into the Terracina project should have a degree of landscaping commensurate with the importance of the entry. The main project entry of Terra Cotta Road should be the prominent statement with decorated pavement, signage/monumentation and landscaping. The statement at the main entry should be one of “arrival” as well as one which compliments the project theme. For instance, for the Tuscan theme the builder might use, Mediterranean-themed landscaping. This could be provided to signify the “arrival” and the sense of a theme when first entering the project. (Exhibit V-II: “Main Entry Statement”.)



N.T.S.

**EXHIBIT V - 11
MAIN ENTRY STATEMENT**

 **DAVID JEFFERS CONSULTING INC.**
19 SPECTRUM POINTE DRIVE, SUITE 609
LAKE FOREST, CA 92630
(949) 586-5778, FAX: (949) 586-5527

Secondary entries throughout the project could have less impactful statements but would also implement pavement and landscaping to provide the sense that one has entered at Terracina.

3. Parks, Recreation Area and Open Space: It is important that the 5.1-acre recreation area and park located in the center of the project in Village 3 be designed and amenitized in such a manner that the residents of Terracina and the City of Lake Elsinore use it often. The amenity package shall be constructed/installed by the project builder subject to City approval of the park design. The central location within the project implies that it is not too far to walk or bicycle to the park with family and friends leaving the car at home. Landscaping as well will play a significant role in attracting residents to use this park/recreation area. (Exhibit IV-2: "Park Exhibit.")

4. Slopes and Natural Open Space: The natural topographic relief of the site is significant both in the western and eastern portions of the site. The westerly knoll and the relief in the easterly area of 173 feet provide for designed slopes throughout the project. Because of these natural topographic features, Terracina has been designed in vertically separated residential planning areas or villages. These separated areas produce slopes between them which will be landscaped to provide visually appealing scenery, will take advantage of view-shed opportunities as well as being sensitive to water usage and to prevent slope erosion. (Exhibit V-12: "Land Use Breakdown".)

The plant species for these slopes will be California native drought-tolerant plants selected by the builder's landscape architect and approved by the City and installed per the City's requirements.

The natural open space within Terracina is located primarily in Villages 1 and 6 and consists of the ungraded portions of the hillsides within those areas. (Exhibit V-12: "Land Use Breakdown".) Because of the desire to keep as much natural open space as practical, landscaping in these areas will be kept to a minimum except for those areas which may be needed to provide for fuel modification purposes to protect homes from wildland fires. Plant species for these landscaped fuel modification areas are dictated by the fire prevention report prepared for Terracina.

5. Lighting: Lighting is considered a landscaping feature in that it assists in calling attention to attractively landscaped areas of the project in the evenings. Lighting will occur within public street rights-of-ways for safety purposes, as required by the City, and will in some areas of the site cover landscaped areas as well.

LEGEND

	RESIDENTIAL/STREETS =	95.5 AC.
	PARK SITE =	5.1 AC.
	GRADED SLOPE/BASINS =	28.2 AC.
	NATURAL OPEN SPACE =	22.0 AC.
TOTAL =		150.8 AC.



**EXHIBIT V - 12
LAND USE BREAKDOWN**



DAVID JEFFERS CONSULTING INC.
19 SPECTRUM POINTE DRIVE, SUITE 609
LAKE FOREST, CA 92630
(949) 586-5778, FAX: (949) 586-5527

N.T.S.

But other areas of the site should have specific lighting sources to accent landscaping in these areas:

- various project entries;
- individual villages;
- the main recreation area and park;
- walkways in the park and recreation areas.

Lighting design and standards should be well chosen to complement the builder's theme. Different types of lighting standards can be upright, wall mounted (as in the recreation areas) or bollard in nature.

6. Basins: State and local laws, ordinances and regulations sometimes require the use of basins as a means to address and mitigate water quality issues as well as increased run-off naturally caused by development of the site.

Basins are located in Villages 1, 5 and 6 and vary in size and shape based on the amount of run-off, or flows, exiting the site at that particular location. Manufactured slopes are a normal design component of basins of this nature and can be 2:1 or 4:1, horizontal to vertical, slope ratio. All side slopes as part of a basin design must be landscaped in such a manner as to prevent erosion and failure of the slope or the basin itself. Groundcover, bushes and trees shall be California native drought-tolerant plants.

The Table below is a breakdown of the various components of the Terracina Land use Plan as discussed above with acreages and percentage of development in each category. (Exhibit V-12: "Land Use Breakdown")

Table V-1: Land Use Breakdown

Land Use	Acreage	Percentage of Project
Residential	95.5	63.9
Park/Rec. Area	5.1	2.8
Graded Slopes	28.2	18.7
Natural Open Space Basins	22.0	14.6
TOTAL	150.8	100.0%

VI. DEVELOPMENT REGULATIONS

The Terracina Specific Plan proposes general standards and regulations for development of the project over its buildout and beyond. This section of Development Regulations serves as the zoning document for the Terracina project. Zoning regulations and uses for development of the project which are not explicit in this document will be subject to the City's codes, ordinances and regulations. The City of Lake Elsinore Community Development Director or designee shall have the authority to interpret issues not specifically covered in the Specific Plan. Such interpretation shall be considered clarification and shall not cause the submittal of a Specific Plan Amendment.

A. Zoning

Zoning classifications referenced herein are customized designations for the Terracina Specific Plan but fashioned after the City of Lake Elsinore Municipal Code (LEMC) Title 17. There is only one residential zone allowed in the Terracina project: "R-1".

B. Uses, Standards and Regulations

The uses, standards and regulations of the Terracina Specific Plan will, for the most part, follow those established in the City's zoning code. Where discrepancies between the two are made herein, this document shall prevail. Where interpretation is needed it shall be interpreted by the City's Community Development Director.

The R-1 District

Purpose.

The R-1 district is intended to accommodate low density projects comprised of quality single-family residences developed in an urban environment with public services and infrastructure.

Permitted uses.

Uses permitted in this district shall include those uses listed below when developed in compliance with the purpose and intent of this Specific Plan. Each use shall be evaluated in terms of its design characteristics and specific site location in keeping with the goals, policies and various design considerations of the Specific Plan.

- A. Single-family detached dwelling units: one dwelling unit per lot.
- B. Accessory uses and structures pursuant to LEMC 17.76.040.
- C. Small family day care and residential care facilities pursuant to Chapter 17.52 LEMC.
- D. Large family day care homes in compliance with the provisions of Chapter 17.52 LEMC.

E. Public utility distribution and transmission facilities excluding private radio, television, and antennas and towers.

F. Government buildings and service facilities.

G. Public parks and/or playgrounds.

H. Community centers and recreation buildings.

I. Places of religious assembly or institution located on a site at least one-half acre in size.

Uses subject to a conditional use permit.

It is recognized that certain uses, while similar in characteristics to permitted uses herein, may have the potential to impact surrounding properties and therefore require additional approval and consideration.

Uses permitted subject to approval of a use permit, pursuant to Chapter 17.168 LEMC, in the R-1 district shall be as follows:

A. Keeping of exotic animals or birds, or more than two dogs or two cats, on the same lot as a permitted dwelling for pets only and not for commercial purposes. The Planning Commission shall impose adequate limitations to assure that the residential character of the property and neighborhood is maintained.

B. Other uses that the Planning Commission finds by resolution to be in accord with the purpose of this chapter and having characteristics similar to those listed in this section.

Accessory uses and structures.

The following accessory buildings and uses may be located on the same lot with a permitted dwelling; provided, that they are found to be compatible with the residential character of the village and that any buildings or structures be harmonious with the architectural style of the main building and overall project theme. With the exception of open trellis-type patio covers and detached garages, all accessory buildings and/or structures shall be located only in the rear of the lot.

A. Uses.

1. Home occupations; subject to the completion and approval of an application for a home occupation issued by the Planning Department and compliance with the provisions of Chapter 17.48 LEMC.

2. Noncommercial hobbies.

3. Keeping of household pets (when no commercial activity is involved). For the purpose of this chapter, a household pet is an animal clearly considered customary to a residential use, e.g., dogs, cats, birds, and fish. Said pets shall be limited to a maximum

of two weaned dogs and two cats. Birds shall be permitted only inside the main dwelling unit, unless a use permit is obtained by the Planning Commission.

B. Structures.

1. Group I. Sheds, children's playhouses, and similar enclosures of less than 120 square feet provided they do not exceed a maximum height of six and one-half feet above the pad or yard elevation of the main structure or home. Such structures may be located on property line provided the design of the structure complies with the City's fire and building code.

2. Group II. Unenclosed structures such as gazebos, and patio covers (both trellis-type and solid) as well as detached enclosed structures not included in Group I, but containing less than 600 square feet of floor area such as sheds, children's playhouses and workshops, provided they do not exceed a maximum height of 10 feet above the pad or yard elevation of the main structure or home and are located no closer than five feet to a side property line, or 10 feet to a rear property line. Attached, enclosed structures in this category shall be located no closer to a property line than the setback prescribed for the main dwelling unit.

3. Group III. Garages, enclosed patios, workshops, cabanas, and similar enclosed structures containing 600 or more square feet of floor area provided they are located no closer to a property line than the setback prescribed for the main dwelling unit, except that straight-in entry garages may be required a greater setback.

4. Group IV.

a. Swimming pools, jacuzzis, spas, and associated equipment; provided they may be permitted only within rear yard areas or the enclosed portion of a side yard. Pool equipment located within 10 feet of a property line shall be separated from the adjacent property by a minimum six-foot-high masonry wall or other City-approved noise reduction feature. Otherwise there shall be no required setback provided the design and installation complies with the City's building codes and the Design Guidelines and Development Regulations of this Specific Plan.

b. Open trellis-type patio covers may not be located in a front yard area.

Lot area.

The minimum lot area for any new lot created in the R-1 district shall be as follows:

A.

- Village 1 : 6,000 square feet
- Village 2 : 5,500 square feet
- Village 3 : 5,000 square feet
- Village 4,5,&6 : 4,500 square feet

B. Exception. Whenever a lot is adjacent to a lower density zoning district or to an existing developed parcel with a larger lot size than required in the R-1 district, a

transition or buffer shall be provided between the adjacent property and a new subdivision, which may include, but is not limited to, lot size, lot width, lot depth, increased setbacks, or slopes. The purpose of this transition shall be to minimize the disparity between different densities of development. The adequacy of this transition shall be subject to the review and approval of the Community Development Director on a case-by-case basis.

C. In the implementation of subsection (C) of this section, any change in a lot size which would leave the lot at a size at least 75 percent the size of the largest adjacent developed lot will be presumed appropriate, absent unusual circumstances. Any application to change a lot to a size lower than said 75 percent standard will be permitted only upon a showing of good cause. It is the intent of this subsection to set a standard but also to allow flexibility.

Street frontage width.

The minimum street frontage width for any new lot created in the R-1 district shall be as follows:

A. Standard interior lots:

- Village 1 : 60 feet
- Village 2 : 50 feet
- Village 3 : 50 feet
- Village 4,5,&6 : 40 feet

B. Corner lots:

- Village 1 : 65 feet
- Village 2 : 55 feet
- Village 3 : 55 feet
- Village 4,5,&6 : 45 feet

C. Knuckle or cul-de-sac lots: 35 feet; measured at the building setback line provided the average width is equal to the standard minimum width measured at the mid-point of an arbitrary bisecting line of the lot depth.

D. Flag lots: 15 feet; provided the average width of the principal portion of the lot is 50 feet.

E. Extra depth lots: the minimum width of any lot in the R-1 District may be measured 40 feet from the front property line provided that the lot has a minimum depth of 120 feet measured through the center of the lot. This provision is provided to promote varying building set back along the street.

Setbacks.

The following minimum setbacks shall apply to all new construction within the R-1 district:

A. Front Yard.

1. Main dwelling unit: 10 feet.

2. Garage: 18 feet; provided, however, that turn-in entry garages may encroach to within 15 feet of the front property line. Automatic garage door openers shall be required for front-entry garages with less than an 18-foot setback; but in no case shall the garage door be less than 15 feet.

B. Side Yard.

1. Main dwelling unit: Adjacent to interior lot lines there shall be a minimum side yard of 5 feet. Adjacent to a public right-of-way the minimum side yard shall be 10 feet.

2. Accessory structures: In the rear one-half of the lot, as specified in LEMC 17.76.040, otherwise the same as required for the main dwelling unit with the exception that where straight-in entry garage gains access via the side yard, the setback shall be 18 feet.

C. Rear Yard.

1. Main dwelling unit: 15 feet.

2. Accessory structures: As specified in LEMC 17.76.040, with the exception that where straight-in entry garage gains access via the rear yard, the setback shall be 18 feet.

3. Finished slopes in excess of 5 feet in height shall not be permitted within 10 feet of the rear of the main dwelling unit.

4. Rear yard patio covers may encroach a minimum of 10 feet into the required yard setback.

Lot depth:

The minimum lot depth for any new lot created in the R-1 district shall be as follows:

A. Standard interior lots:

- Village 1 : 90 feet
- Village 2 : 90 feet
- Village 3 : 90 feet
- Village 4,5,&6 : 90 feet

B. Cul-de-sac and knuckle lots:

- Village 1 : 85 feet
- Village 2 : 85 feet
- Village 3 : 85 feet
- Village 4,5,&6 : 85 feet

Any cul-de-sac or knuckle lot having a minimum width of 57 feet (measured at the mid-point of the lot) shall have a minimum depth of 75 feet.

Lot coverage.

The maximum lot coverage of all structures in the R-1 district shall be 50 percent.

Building height.

Except as otherwise provided for accessory structures, the maximum building height in the R-1 district shall be 35 feet. In the case of split levels, no continuous vertical section through the building shall measure more than 35 feet.

Minimum dwelling unit size.

The minimum dwelling unit size within the R-1 district shall be 1,000 square feet exclusive of garage area.

Parking.

The provisions of Chapter 17.148 LEMC shall be used to determine the required parking for each Village in the R-1 District.

Signs.

The provisions of Chapter 17.196 LEMC shall be used to determine permitted signs in the R-1 district.

Design review.

No building permits shall be issued for the construction of any building or structure in the R-1 district until the applicant has obtained design review from Planning Commission approval pursuant to the provisions of Chapter 17.184 LEMC, Design Review. The following exemptions shall apply:

- A. Additions or alterations to an existing structure which do not change the use from one permitted in the district and which do not increase the floor area by more than 50 percent.
- B. Groups I, II, and IV accessory structures.
- C. Fences and walls.

Although the above exempted structures do not need formal design review approval, their proposed location and design must be approved by the Director of Community Development or his designee prior to construction or installation.

VII. IMPLEMENTATION

All future development applications (e.g. Tentative Maps, Vesting Tentative Maps, Final Maps, grading permits, building permits, etc.) are required to be approved by the City of Lake Elsinore based on City ordinances and various codes applicable to land development.

A. Administrative Review Process

The Terracina project is a standard master planned residential development with associated amenities and should be processed as such through the City of Lake Elsinore.

Terracina Specific Plan does not intend to modify, alter or amend any of the various application review procedures currently established by the City of Lake Elsinore under its various submittal requirements, applications and/or codes.

B. Phasing and Scheduling

The Terracina project, due to its mere size and number and variety of residential product proposed, cannot be built all at the same time. Therefore, a phased pattern of development is proposed. The phasing of development must be flexible to meet market demands and sequences of infrastructure construction.

Certain development considerations are important in determining appropriate and sequential phasing: access, sewer service, storm drain service, domestic water availability, market product demand and others. Each of these will be addressed by the project builder in the determination of sequencing or phasing.

C. Amendments to the Specific Plan

California Government Code Section 65453 states that a specific plan shall be prepared, adopted and amended in the same manner as a general plan, except that a specific plan may be adopted by resolution or by ordinance and may be amended as often as deemed necessary by the City.

Amendments to this Specific Plan can be major or minor. Major amendments must be approved by the City Council and minor amendments are administrative and can be approved at a staff level by the Community Development Director.

Major amendments include:

- Changes to increase the maximum dwelling units allowed;
- Changes to the Development Regulations;

- Changes to density or intensity of the project as a whole or individually of any village;
- Changes to any previous approval provided by this Specific Plan;
- Major changes to the alignment of General Plan roadways;
- Changes that would jeopardize the Specific Plan's consistency with the City's General Plan or any ordinance or code;
- Major changes to any utility which affects the intensity or density of development.
- Significant changes to the natural open space and biologically sensitive areas of the site;
- Changes which affect any mitigation measures associated with the environmental studies for the project;
- Any changes to project Conditions of Approval.

Minor amendments should not be inconsistent with the intent and character of the Specific Plan and may include:

- Modifications to the shape of village boundaries;
- Modifications to acreages of villages such that the modification does not alter the total area by more than 10%;
- Modifications to amenities provided in the recreation centers of the project;
- Any changes in the landscape palette selections for various areas of the project;
- Modifications to street alignments provided the modification is merely an adjustment and does not affect the intensity or density of adjacent planning areas;
- Any aesthetic change that complies with the intended character of Terracina.

VIII. FINANCING OPTIONS

Financing is a critical component to the success of any development. Without viable funding mechanisms projects would not get built. This section will discuss options to be considered by the City and developer of Terracina so that Terracina is built per the guidelines, regulations and quality suggested by this Specific Plan.

A. Special Assessment Districts

Assessment districts are usually formed by utility companies or agencies to fund either new capitol public improvements within their system or to fund short-falls in certain improvement areas of the district. Assessment districts are usually formed for a specific area of benefit (AOB) either the district as a whole or a sub-section of the district.

There are two main acts which allow for the formation of assessment districts: the Improvement Act of 1911 and the Municipal Improvement Act of 1913. Both can be used for public improvements. The Improvement Bond Act of 1915 is typically used with the acts for the issuance of bonds to finance the improvements.

Assessment districts are typically formed based on a vote of all landowners who will benefit from the public improvement. Landowners consent to the forming of the district, its purpose, the improvement, the cost of the improvement and to be taxed on an annual basis for re-payment of the bonds.

This method of funding a developer's public improvements is not the most likely as he or his entity will be paying for the improvements anyway as required by the City.

B. Mello-Roos Community Facilities District (CFD)

The Mello-Roos Community Facilities Act of 1982 allows the City, special district, school district or county to form a district to finance public improvements and services. CFD's are usually formed in undeveloped areas where new homes are proposed. The CFD is created by a sponsoring local government agency for the developer. Municipal bonds in the amount to design, build and maintain the public improvements will be sold and re-paid over a specified period of time by the future home buyers of the project. The homeowners will be taxed on a yearly basis for a period of time needed to re-pay the bonds. A Mello-Roos CFD disclosure is required to be signed by all homebuyers within the project acknowledging that they are aware of this payment responsibility.

C. Builder Funding

Builders typically finance almost all of the design and construction components of their project with the possibility of some credits and/or reimbursements after the item has been constructed. The following list represents design and construction costs through grading and improvements, but does not include any costs associated with construction of the home itself.

1. Design Costs: (excluding home buildings)

- Tentative Tract map
- Tentative Parcel Map
- Cost/Analysis Construction
- Specific Plan
- Resource/environmental Studies
- Preliminary WQMP
- Grading Plans
- Street Plans
- Sewer Plans
- Storm Drain Plans
- Hydrology/hydraulic Studies
- Water Plans
- Landscape Plans
- Utility Plans (e.g. gas, electric, TV, etc.)
- Final Map (Tract Map and Parcel Map)
- Survey Plans

2. Construction Costs:

- Survey Staking
- Grading
- Street improvements
- Sewer improvements
- Storm drain improvements
- Water improvements
- Landscaping
- Amenities: Parks, Recreation Centers
- Water Quality Basin improvements
- Traffic signals (on-site and off-site)

3. Potential Credits and/or Reimbursements

Developers become eligible for credits and/or reimbursements when certain improvements are constructed within or in association with the project provided those improvements being constructed are shown on Master Plans of the jurisdiction and serve more than the project.

Developers are also sometimes provided refunds and reimbursements by utility companies when the developer constructs backbone infrastructure which will ultimately serve more than just the developer's project.